

TABLE OF CONTENTS

- 01 EXECUTIVE SUMMARY
- 02 RECOMMENDATION AND NEXT STEPS
- **03 THANK YOU PARTICIPANTS**
- 04 GOALS FOR SUCCESS
- 05 SPACE NEEDS PROGRAM
- 06 SPARK DESIGN WORKSHOP SESSION

DESIGN PROCESS

SKETCHES

COMMENTS

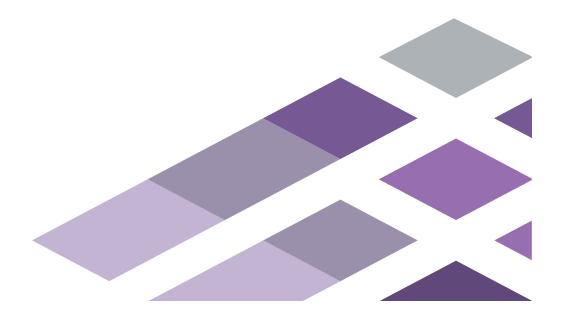
BUDGETS

VOTING AND CRITERIA CHART

- 07 FACILITY ASSESSMENT
- 08 STRUCTURAL ASSESSMENT
- 09 APPENDIX

MEETING MINUTES

SURVEY RESULTS



EXECUTIVE SUMMARY

FEH DESIGN was retained by the Worth County Board of Supervisors to conduct facilities planning for Worth County. The purpose of the study was to look at the present and future physical, financial, and organizational conditions of County facilities.

The needs of the County were determined by how it was used by citizens, employees, prisoners, and other visitors. Conducting a comprehensive study of the organizational structure of the County give clarity to the processes that would highlight any redundancies or oversights. The assessment determined the condition in which the County facilities currently function. Facilities were comprehensively studied through the lens of current and future needs. This was critical in determining the physical space needs and requirements which are necessary for the County departments to continue to function in the present and into the future. The safety and security of the public, staff, and prisoners are paramount, and that factor served as a guiding principle for all aspects of the planning process.

The facility planning tasks are as follows:

- Space needs assessment
- Facility condition assessment
- Public planning facilitation
- Spark Session (Design Workshop) to engage the public
- Develop capital budget opinions for the top-prioritized solution
- Community-wide survey

SPACE NEEDS ASSESSMENT

Space needs were evaluated for the following County Departments:

- Sheriff
- Jail
- Clerk of Court
- Courtrooms
- Assessor
- Attorney
- Auditor
- Board of Supervisors
- Recorder
- Treasurer
- IT/GIS
- Conservation
- **Emergency Management Services**
- Engineer
- Secondary Roads

The space needs were a result of a previous, outdated study and interviews with each department head to discuss present and future spaces.

FACILITY CONDITION ASSESSMENT

An evaluation of the following County buildings was conducted:

- Sheriff's Department and Jail
- Sheriff's Deputies
- County Courthouse
- County Engineering
- County Treasurer
- County Conservation
- Secondary Roads

The condition assessment reviewed Code, Maintenance, and ADA items and assigned costs for corrections categorized as urgent, required, and recommended.

PUBLIC PLANNING FACILITATION

The County Supervisors wanted to gather as much public input as possible and recruit a cross section of residents including staff, residents, officials, business representatives and community leaders to be a voice for the community. Invitations were sent out and individuals were asked to attend five Advisory Task Force meetings to help develop the Goals for Success, identify possible options to study, develop criteria to evaluate potential solutions, weight the criteria, participate in the SPARK workshop, and recommend preferred options to the County Supervisors.

Through multiple public meetings, county residents developed the Goals for Success, decision making criteria, and prioritization and weighing the criteria for evaluating design concepts at the on-site design workshop.

SPARK SESSION

A multi-day onsite design workshop was conducted to develop multiple concepts for the county buildings. Current County site were evaluated and the sites that scored high using the criteria chart were developed further. The workshop was conducted with public input from community. Numerous concepts were developed, studied, evaluated, and designed. Many sites had multiple iterations. At the end of the second day, the public was asked to select their favorite concepts. At the final Advisory Task Force meeting, the community was asked to prioritize the six county facilities (Administrative, County Conservation, County Roads, Engineering & Maintenance, Jail & Sheriff, Judicial). Each attendee was then asked which design concept was their preference, based on their facility priority.



BUDGETS

Opinions of cost were developed for several design options with a total project cost approach. The cost opinions include construction costs as well as 'soft costs' for owner-provided, non-building-construction related items.

COMMUNITY WIDE SURVEY

The Worth County Board of Supervisors issued a community-wide survey via paper and online versions. A total of 138 responses were received over the course of seven weeks. The responses provided guidance for the final recommendation.

RECOMMENDATION & NEXT STEPS

FEH DESIGN recommendation following the Advisory Task Force meetings and the community-wide survey.

- It is our opinion that a new courts, jail, and administrative County Courthouse facility should be constructed on the same site as the existing courthouse. A single, large project, if feasible, would save the County money.
- 75% of survey respondents supported renovating the courthouse versus new
 construction if the cost is equal. If funding is needed from a County vote, it will not easily
 pass if it is for a new building.
- Ongoing operating costs will be higher with a renovation. The most efficient design will be a new building constructed all at the same time.
- If the project is accomplished in a phased manner to align with funding support, it will be
 important to decide if the old courthouse remains. Existing courthouse floor levels will
 influence new floor levels; grade elevations should be raised to allow for ADA access into
 the existing main floor level. Construction phasing sequences should only require the
 departments to move once, into their final space. The sequences should not require the
 rental of other space for a long period of time.
- The County Roads department has facilities in Joice, Fertile, Manly, Kensett, and Northwood. Except for the almost 20-year-old structures at Kensett, all these structures are over 70 years old. The Northwood structures are located within a residential area with one structure possibly located in a city street right-of-way. These structures should be replaced to improve the maintenance garage and to provide better protection of the equipment investment and extend the life of County vehicles, materials, and equipment. A long-range plan should be developed to replace facilities over several years so that the cost of repairs and replacement of newer facilities can be spread across decades. The County should continue to look for opportunities to relocate and potentially consolidate County Roads.
- The County Conservation facility should be replaced. It would be logical to locate the new facility on the campus of other County facilities. The County should continue to look for opportunities to relocate and expand County Conservation.

/THANK YOU PARTICIPANTS



We want to thank the Worth County Supervisors and the citizens of Worth County who came and participated in the public meetings and the Spark Session design workshop.

Everyone's input and guidance was invaluable in the design, review and concept selection process.

GOALS FOR SUCCESS

WORTH COUNTY FACILITIES PLANNING NORTHWOOD, IOWA

- 1. Be in compliance with codes of State of Iowa.
- 2. Consolidate services to one location with sufficient space for all departments.
 - Provide space/infrastructure that increases staff efficiencies. a.
 - Provide flexible meeting room and office space. b.
- 3. Improve safety and security for staff and public.
- 4. Increase efficiency of building systems.
- 5. Separation of Courts and Jail from public and other services.
- 6. Update technology and infrastructure for today's uses.
- 7. A structurally sound and watertight building.
- 8. Reduce building maintenance requirements.
- 9. Improve public access and convenience.
 - ADA accessibility. a.
 - Design for COVID. b.
 - Single level building. c.
 - d. One location
- 10. Provide a controlled environment for historic document archive.
- 11. Accommodate and plan for future growth and change.
- 12. Preserve the historic character of the Courthouse and Treasurer buildings.

/SPACE NEEDS PROGRAM

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
SHERIFF			
Sheriff's Office	202	216	
Sheriff's Closet	105	78	
Deputy Sargent Office	147	120	
Sargent Office	121	120	
Deputies Work Area (4)	199	576	Open Office
Conference Room / Training Room	0	884	With dividing partition, shared by entire Worth County Govt staff.
Storage	104	94	
AV Equipment	0	38	
Evidence - Small	33	181	
Communication Supervisors Office	84	216	
Comm Supervisor Closet	0	56	
Jail Admin Office	128	216	
Jail Admin Closet	0	56	
Interrogation Vestibule	0	43	
Interrogation Room	0	138	
Reception / Clerk / Civil	274	335	
Comm. / 911 Equipment Room	0	220	
Copy / Work Room	0	174	
Breakroom / Kitchen	157	168	
Office Supplies Storage	104	66	
Breakroom	0	355	With lockers
Forensics	347	0	
SUBTOTAL =	2005	4,350	

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
JAIL			
Booking / Intake	168	400	
Holding Cell	77	72	
Holding Cell	0	72	
2 Person Accessible Cell	0	103	
2 Person Cell	122	93	6.67 x 14
Dayroom	186	256	With shower
2 Person Accessible Cell	0	103	
2 Person Cell	117	93	
Dayroom	0	256	With shower
2 Person Accessible Cell	130	103	
2 Person Cell	0	93	
Dayroom	0	256	With shower
Special Needs Cell	77	99	With Shower
Special Needs Dayroom	0	121	
Special Needs Cell	68	99	With shower
Special Needs Dayroom	215	121	
Jail Control / 911 Dispatch / Master Control	314	264	separate dispatch from Jail in ideal situation
Exercise - male	92	700	18 foot ceiling required
Exercise - female	0	0	18 foot ceiling required (can rotate groups thru)
Secure Vestibule	0	84	
Inmate Booking Records - Storage	0	200	
Inmate Property - Storage	0	90	
Laundry	0	192	
Food preparation	0	200	
Dry food storage	0	40	
Medication storage	0	4	
Video Visitation - Public	19	108	
Inmate Contact Visitation / Video Court	20	130	
Jail Storage	147	140	
Secure Elevator	0	64	
Vehicle Sally Port - Drive thru	483	2,600	(4) vehicles, (1) wash bay, UTV's, ATV's, storage, (5) garage doors
Large Evidence	0	650	
SUBTOTAL =	2235	7,806	
JAIL GENERAL AREAS			
Public Toilet		52	
Vestibule 1		56	
Vestibule 2		56	



ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Waiting		336	
Mens Toilet		157	
Womens Toilet		157	
Mechanical		336	
Janitors Closet		240	
SUBTOTAL =		1,390	
TOTAL PROGRAM SF =		13,546	
NETTO GROSS RATION =30%		4,064	
TOTAL W/ BUILDING FACTOR =		17,610	
JUDICIAL			
Jury Courtroom	1058	1,860	65-90 people
Jury Deliberation	265	378	
Jury Room 2	261	0	direct path from exterior, not through jury area
Jury Toilet 1	0	41	
Jury Toilet 2	0	41	
Conference Room 1	0	110	
Conference Room 2	0	110	
Conference Room 3	0	110	
Conference Room 4	0	110	
Holding / Secure Lobby	0	384	
Judge Chambers	159	196	
Judge Chambers	0	196	
Court Reporter / Attendant	138	232	Open Office (2)
Office area restroom	0	64	
Judicial Library	246	246	
Magistrate Courtroom	555	1,064	
County Attorney Suite (2)	529	392	Reception and Files (10 3-drawer), Office (144 SF)
Clerks Office	630	600	Open Office (3), window with view of lobby
Storage / Vault	187	208	
Storage / Vault	0	208	
Storage	187	220	some in attic now
SUBTOTAL =	4215	6,770	
JUDICIAL GENERAL AREAS			
Public Toilet 1		160	
Public Toilet 2		160	
Staff Toilet		50	
Mechanical Room		100	Use rooftop units for HVAC

2004	-VICTING		
ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Stair 1		200	
Stair 2		200	
Elevator		64	
Janitors Closet		64	
SUBTOTAL =		998	
TOTAL PROGRAM SF =		7,768	
BUILDING FACTOR = 30%		2,330	
TOTAL W/BUILDING FACTOR =		10,098	
ADMINISTRATION			
ADMINISTRATION Assessor Office	0	120	
	472		00(()1
Assessor Open Office (3)		420	Open Office, 1 desk by counter
Assessor Storage	399	420	
Plat Book Area	0	75	Shelves and table
SUBTOTAL =	871	1,035	
Auditor Office (2)	268	240	
Auditor Open Office (3)	452	420	Open Office and Work Room, Also handles
		1.60	elections
Auditor Voting location	0	160	multi use as conference room
Voting Machine storage		420	access controlled,
Auditor Storage	136	320	two vaults, one (60 SF) for frequent public
			access to transfer books
SUBTOTAL =	856	1,560	
GIS Office & work space	123	183	
IT Office & work space	0	320	(2) people & work room area
Plotter	0	142	
Server Closet	174	180	not adjacent to boiler room, individually air conditioned
SUBTOTAL =	297	825	
Recorder Office	0	120	
Recorder Open Office (3)	510	420	Open Office (3), Secure transaction counter,
Public Computers (2)	0	80	Scanning
Recorder Storage	190	240	vault
SUBTOTAL =	700	860	
Supervisors Meeting Room	290	600	30-40 people
Work/Office (3)	64	240	
SUBTOTAL =	354	840	
Treasurers Office	250	120	
Treasurers Open Office	625	625	Open Office (4)
Treasurers Storage/vault	283	504	access from office or open office
-	166	166	·
Newspapers vault	100	100	always been that way. Need sitting area to
			read, not a vault



ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Small Conference Room	0	140	shared
Testing Station	355	355	Open Office (3 Computers), Camera,
			Vision Screen
SUBTOTAL =	1679	1,910	
ADMINISTRATION GENERAL AREA	S		
Public Toilet 1		170	
Public Toilet 2		170	
Breakroom / Lounge		400	
Condo office space 1		120	
Condo office space 2		120	
Meeting Room Shared		200	shared
Vestibule 1		50	
Vestibule 2		50	
Stair 1		200	
Stair 2		200	
Elevator		64	
Elevator Equipment		48	
Janitors Closet		64	
Mechanical		64	
Mechanical		200	Use rooftop units for HVAC
SUBTOTAL =		2,120	Ose roor top units for rivac
TOTAL PROGRAM SF =		9,150	
BUILDING FACTOR = 30%		2,745	
TOTAL W/ BUILDING FACTOR =		11,895	
TOTAL W/ BOILDING FACTOR =		11,095	
ENGINEERING			
Garage engineering(334) and Maintenance(1003)	1337	1337	
Office (3)	1107	420	Open Office
Office	78	120	
Break Room		228	
Meeting Room		240	
Lab		180	
SUBTOTAL =		2,525	
BUILDING FACTOR = 30%		758	
TOTAL W/BUILDING FACTOR =		3,283	
EMERGENCY MANAGEMENT		1	
Emergency Operation Center	908	908	Can serve as meeting room for large
	122	200	groups
Supplies	123	200	
Office	128	128	
Storage	99	99	
SUBTOTAL	1258	1,335	

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
PUBLIC HEALTH			
	140	140	
Reception - (1) Exam Room	219	219	
Exam Room Conference Room			
	275	275	
HIPPA Room	73	73	
Storage	65	65	
Crisis Intervention	72	72	
Extra Nurse Office	113	113	
Break Room	149	149	
Сору	99	99	
Office - (1)	104	104	
Office - (1)	104	104	
Office - (2)	99	99	
Office - (2)	99	99	
Office - (2)	89	89	
Office - (2)	91	91	
SUBTOTAL	1791	1791	
VETERANS AFFAIRS			
Waiting	78	78	
Office	160	160	
Closet	8	8	
SUBTOTAL	246	246	
VETERANS AFFAIRS GENER	AL AREAS		
Public Toilet 1		170	
Public Toilet 2		170	
Breakroom / Lounge		400	
Meeting Room		192	
Vestibule 1		50	
Vestibule 2		50	
Stair 1		200	
Stair 2		200	
Elevator		64	
Elevator Equipment		48	
Janitors Closet		64	
Mechanical Mechanical		64	
Mechanical		200	Use rooftop units for HVAC
SUBTOTAL =		1,872	and the state of t
FOTAL PROGRAM SF =		3,372	
OTAL LINGUNANI DI		1,012	
BUILDING FACTOR = 30%			



ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Director's Office	0	130	
Deputy Director's Office	0	130	
Naturalist's Office	0	148	
Naturalist's Storage	0	152	
Technician's Office	0	180	two staff
Common work Area	0	292	printer, plotter, counter and cabinets
Reception	0	234	
Staff Break Area	0	228	
General Storage Garage	0	2,393	
Naturalist Storage Garage	0	408	
Maintenance Supervisor Office	0	130	
Maintenance Supervisor Storage	0	41	
Garage Entry Hallway	0	86	
Wood Shop	0	311	
Taxidermy Gallery	0	168	
SUBTOTAL =	0	5,031	
COUNTY CONSERVATION GENERA	L AREAS		
Public Toilet Men's		175	
Public Toilet Women's		200	
Vestibule/airlock		100	
Lobby		250	
Custodial Room		80	
Staff Toilet		80	
Mechanical/Storage Mezzanine		1,013	
Electrical/IT closet		40	
SUBTOTAL =		1,938	
TOTAL PROGRAM SF =		6,969	
BUILDING FACTOR = 30%		2,091	
TOTAL W/BUILDING FACTOR =		9,060	
SECONDARY ROADS SHOP	I		
Mechanic service truck with crane	0	420	14'x30'
Parts running vehicle, pick up truck	0	200	10'x20'
Parts room	0	600	
Office area	0	140	
Break Room	0	300	
Restrooms 2	0	260	with shower
Welding area	0	200	with Jib
custodial closet	0	20	
large hoist bay	0	1,080	24'x45'
standard hoist bay	0	540	18'x30'
Tools	0	32	4'x8'

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Drive lane	0	1,800	18'x100'
Loft and stairs	0	2,000	
SUBTOTAL =	0	7,592	
SECONDARY ROADS GARAGE			
Service Vehicles	0	480	10'x24' each
Large Trucks - (6)	0	4,800	16'x50'
Motor Graders	0	800	
Loaders, Skid steer	0	240	
Tractor backhoe	0	240	
Excavator	0	800	
Wood chipper	0	400	
Tractor	0	600	
Tractor mower	0	800	
trailer	0	240	
wash bay	0	1,300	26'x50'
bulk oil and chemical storage	0	200	
dispensing station	0	50	
sign shop storage		1,200	
Sign shop repair area		360	
Sign shop trailer		240	
center drive aisle		4,000	20x200
compressors		40	
Tire Storage		900	
Testing lab		180	
Loft storage and stair		2,000	
Vestibule/airlock		200	
Electrical/IT closet		40	
Utility and Mechanical room		300	
SUBTOTAL =	0	20,410	
BUNKERS			
Salt bunker	360	400	
Sand Bunker	360	400	
Mix Bunker	600	800	
SUBTOTAL =		1,200	
TOTAL PROGRAM SF =		29,202	
BUILDING FACTOR = 30%		8,761	
TOTAL W/ BUILDING FACTOR =		37,963	



THE FEH DESIGN SPARK SESSION



OUR DESIGNERS COME TO YOU

A unique service offered by FEH DESIGN is our well-refined Spark Session. While others in our region try to copy our success, FEH continues to set the standards for this intense and interactive design session. We are successful at engaging large numbers of participants, listening to their ideas, studying them and evaluating options in a way that builds ownership by all those involved. The result is client and community confidence built by working side-by-side with the FEH design team.

We tailor the timeline to leverage other community events, issues and gatherings to maximize participation. The FEH team will facilitate and or participate in a way that is most appropriate to the specific need or event. In today's digital driven world, we have been successful at transferring this very in person process online. Through virtual meetings, live website updates, and online surveys we have been able to adapt to the ever-changing world. We customize each process that best meets your wants and needs.









FAST-PACED

In a 1 or 2 day session we create concept drawings in a short span of time based on your ideas. These concepts are then presented creating awareness and enthusiasm.

ENGAGING

Input comes from your selected committee or from the collective thoughts of your entire community or business. Having a broad base of support, reflects the needs and desires of the community, school or business, and develops built-in ownership.

HIGHLY-FOCUSED

Our team of designers set up shop in your space with their design toolkits. There, we focus all our attention on listening and responding to your suggestions. We bring our tools, our creativity but no preconceived notions as we work with you.

DESIGN

Through the Spark Session, multiple design concepts are created. During the day we step back, reflect and then refine the designs. The best move forward and a concept moves to a more refined design.

PRE-SPARK



WE START AHEAD OF THE SPARK SESSION(S) BY ...

- Evaluating needs and priorities
- Defining the scope of the project
- Developing a building program that charts the specifics of the project
- Developing space requirements and other issues
- Conducting site visit(s)

STEP TWO

- **Bubble Diagrams**
- Block Planning
- Floor Plan/Site Plan Relationships
- Formal Review*











STEP ONE

- Site Analyses
- Circulation Issues
- Square Footage Requirements
- Site Development Concepts
- Formal Review*



*Formal Review ... Periodically, everyone steps back, takes a deep breath, and reviews all drawings and progress to ensure it's headed in the right direction.

A Spark Session is a Fast-paced, Engaging, Highly-focused Design Session.





"A Spark Session is a fancy way to say "drop-in during the day, tell us what building design features you like, tell us what to skip, drink our coffee, argue with the architects, vote for your favorite building design, ask why didn't the Library Director get donuts."

The session is pretty neat because the architects hang out all day, talk to people, and constantly draw and revise different building designs.

- Gerard Saylor, Library Director L.D. Fargo Public Library in Lake Mills, WI

STEP FOUR

- Floor Plans
- Site Plans
- Sections
- Feature Sketches
- Formal Review*



- Conceptual Floor Plans
- Site Plan Refinements
- Site Amenities
- **Building Massing Studies**
- Exterior Elevation Sketches
- Formal Review*

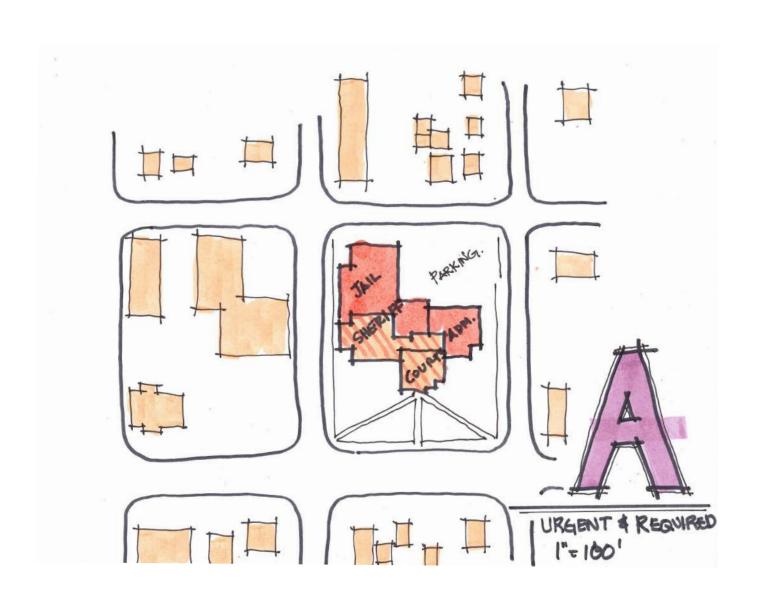




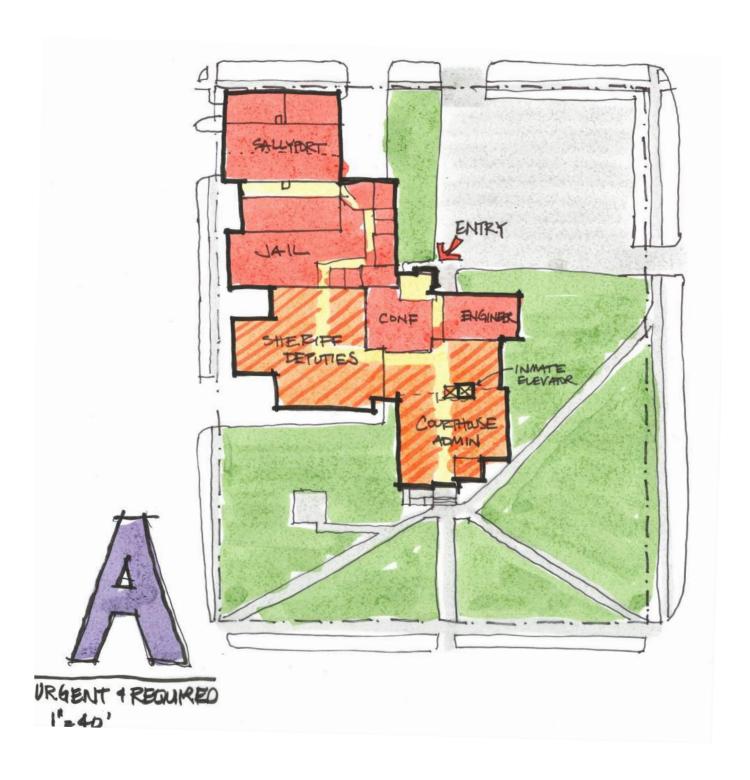
WHAT HAPPENS NEXT?

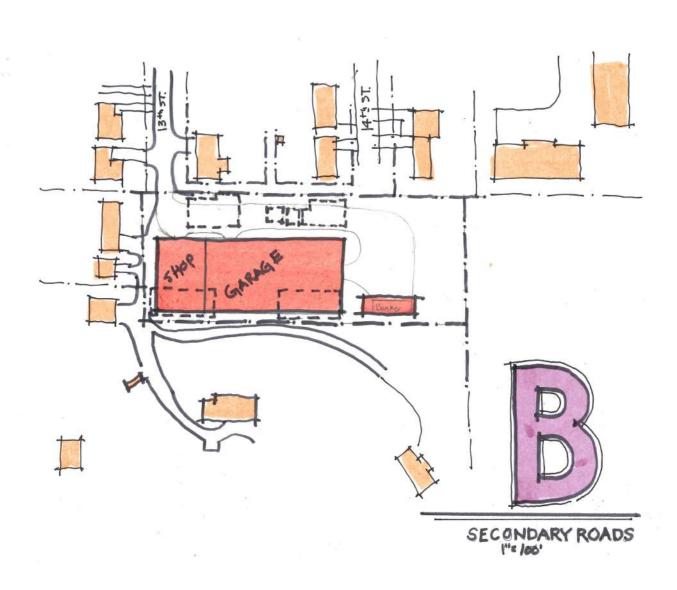
By the end of the one, two or three-day Session, the concept for your project will be clearly defined. With conceptual drawings in hand, we return to the office to develop and refine.



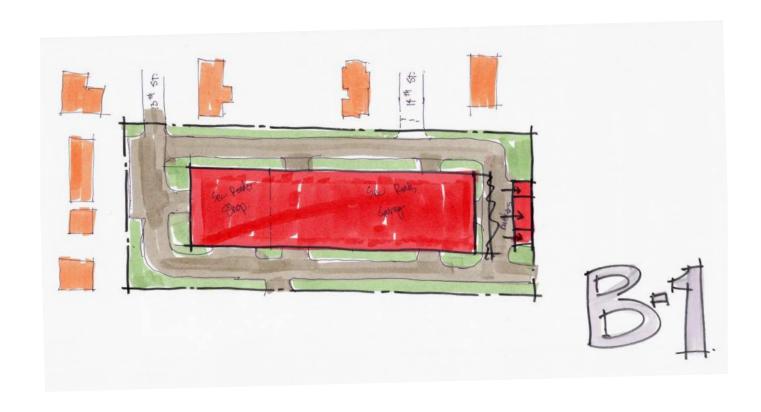


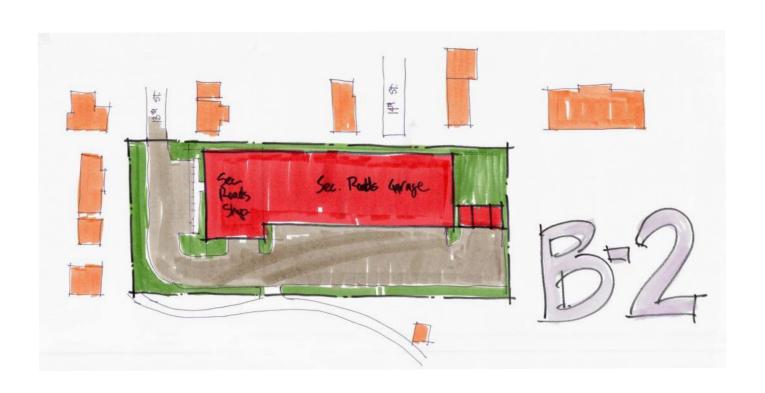


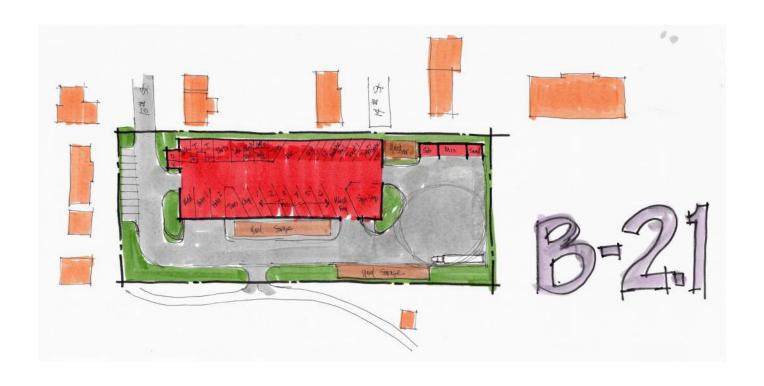


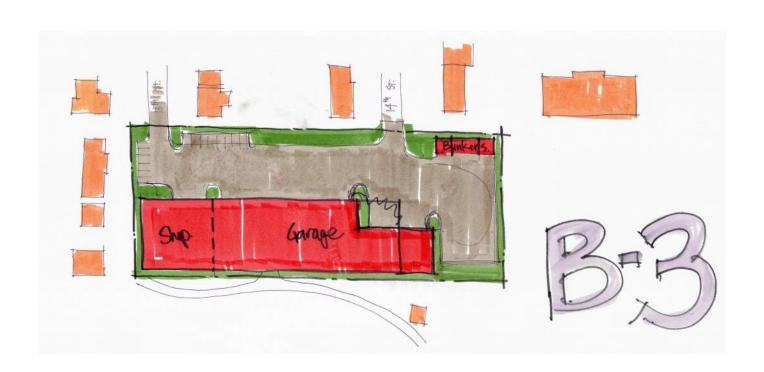




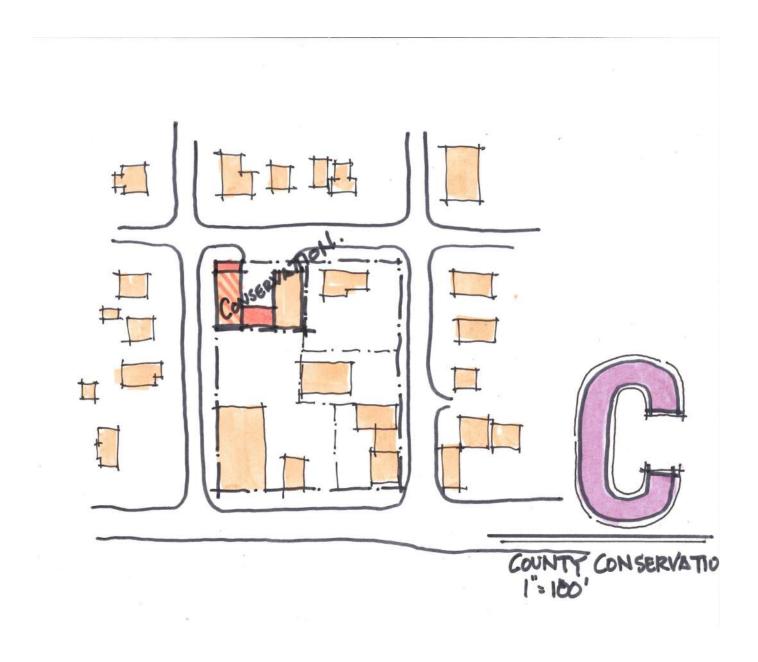


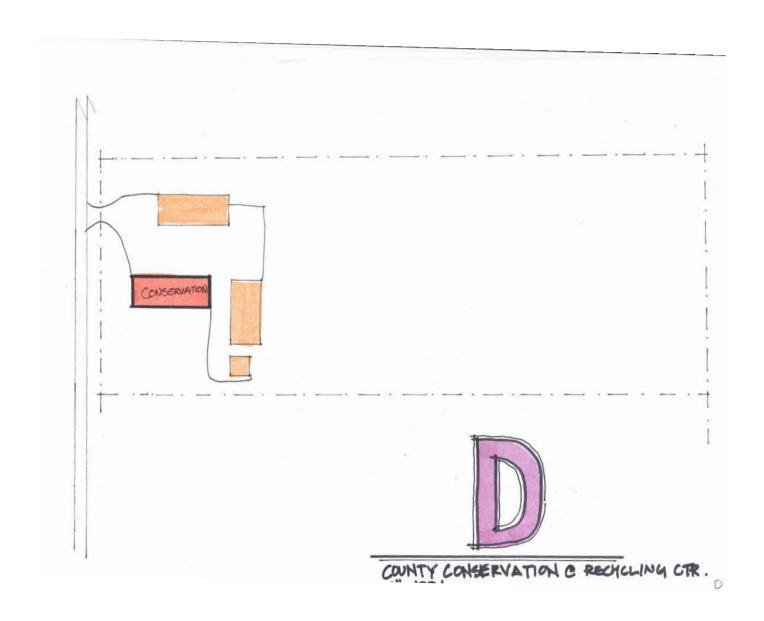




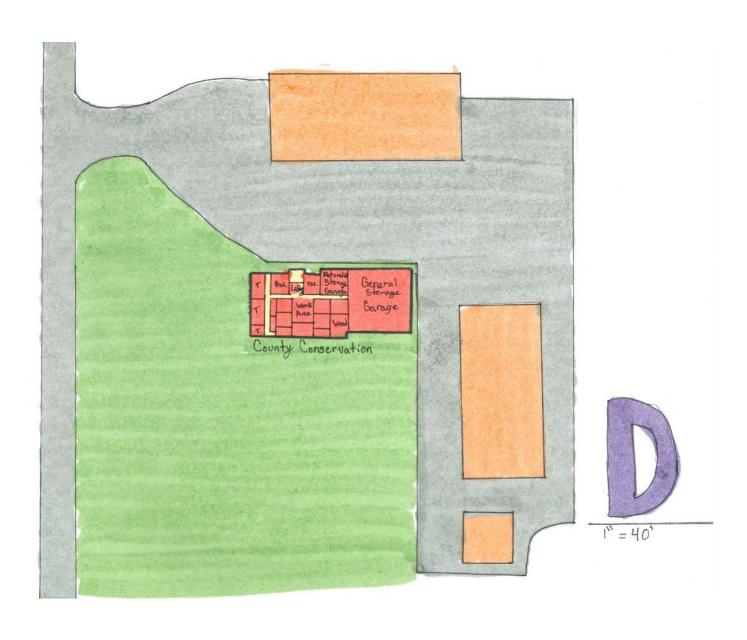


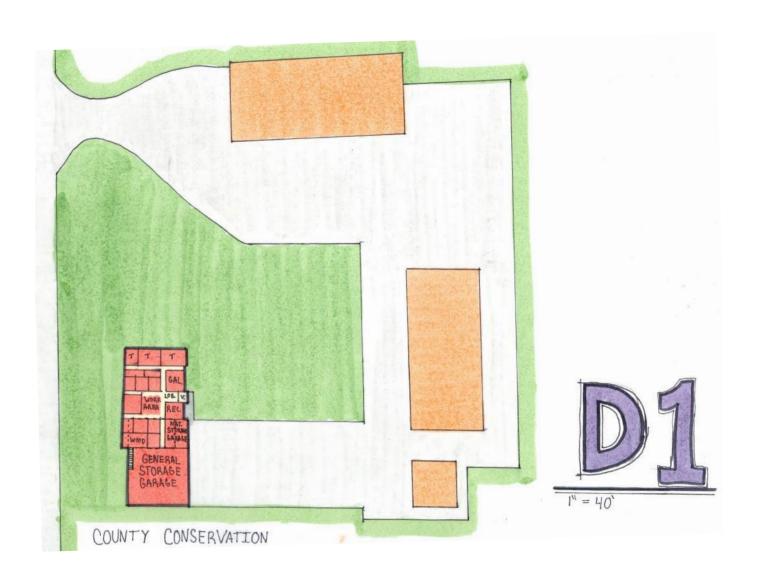




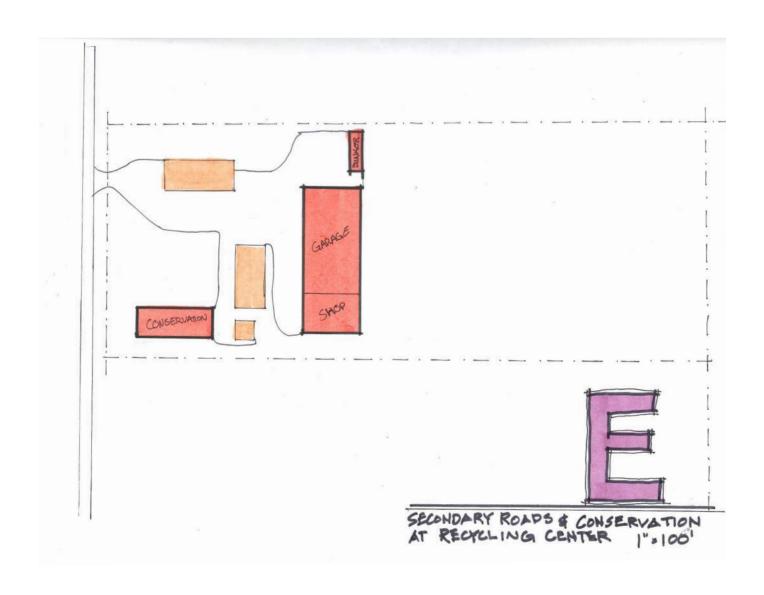




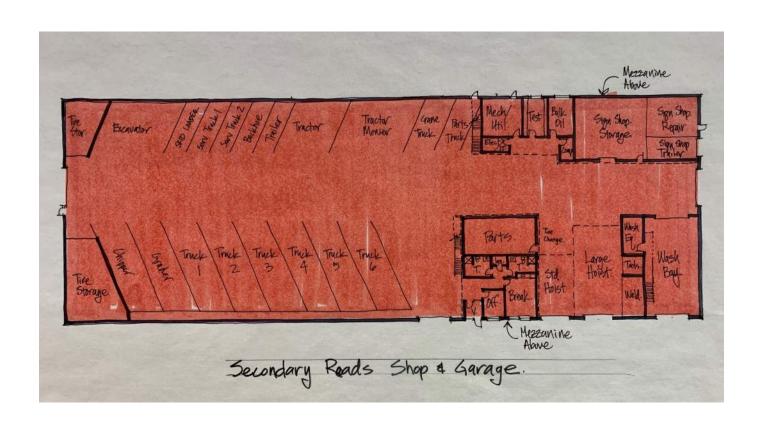


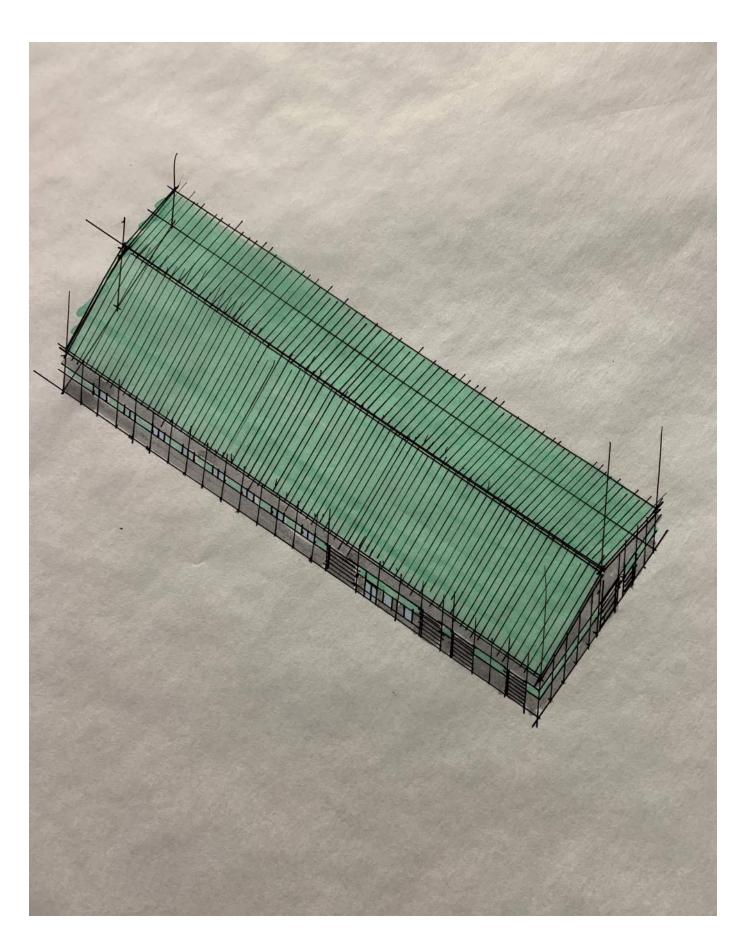










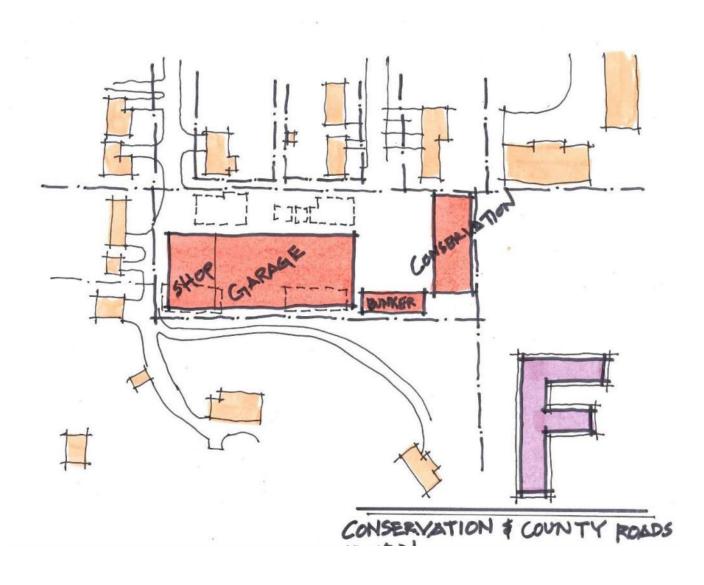






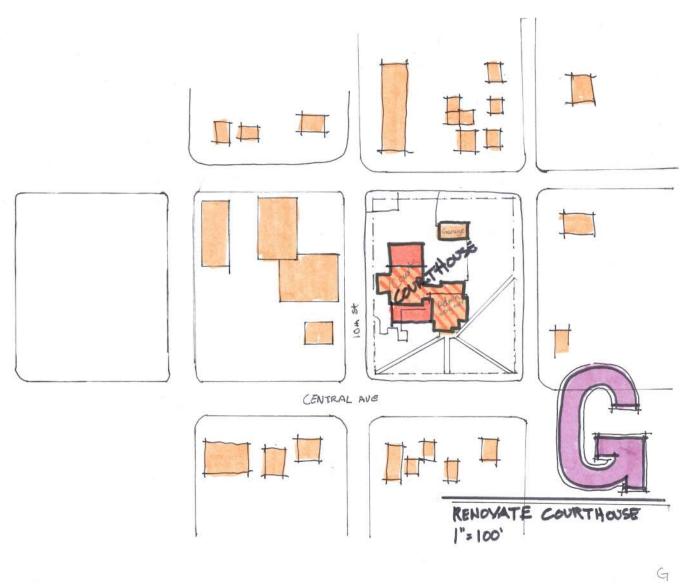




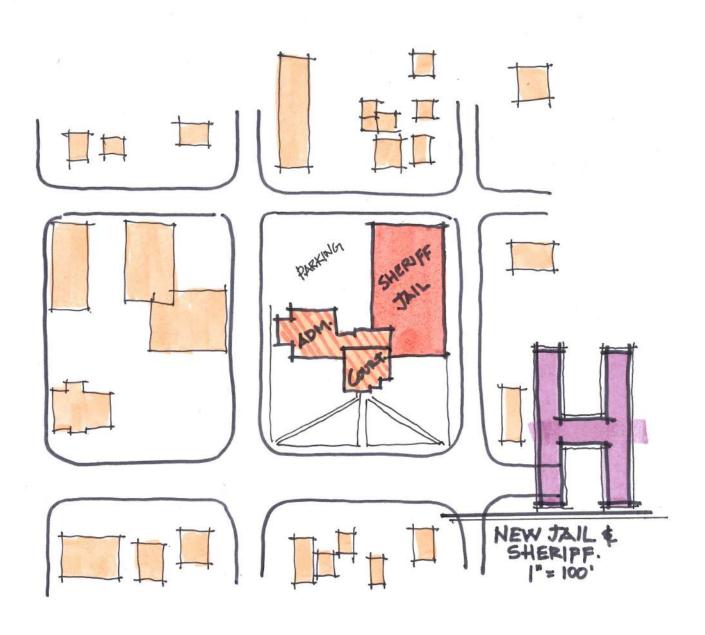




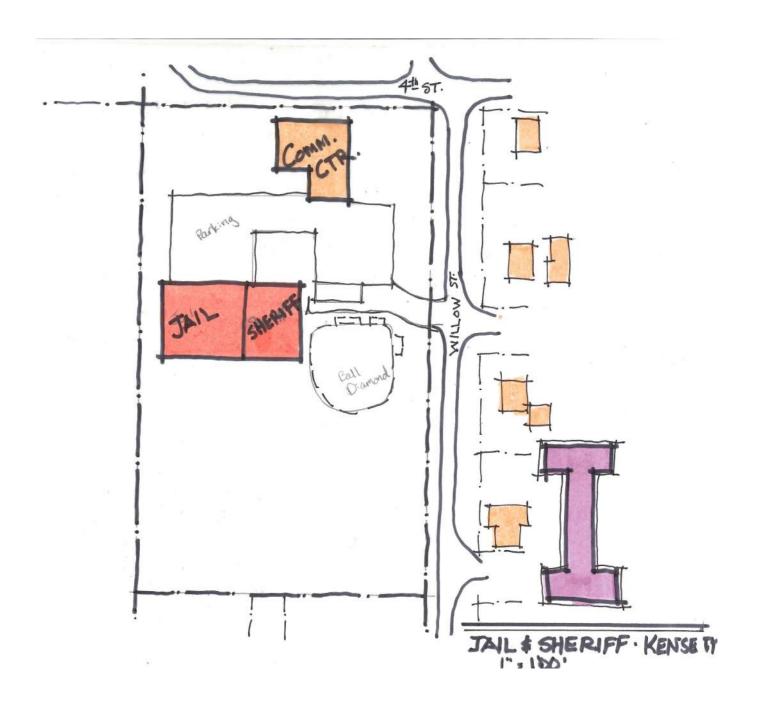


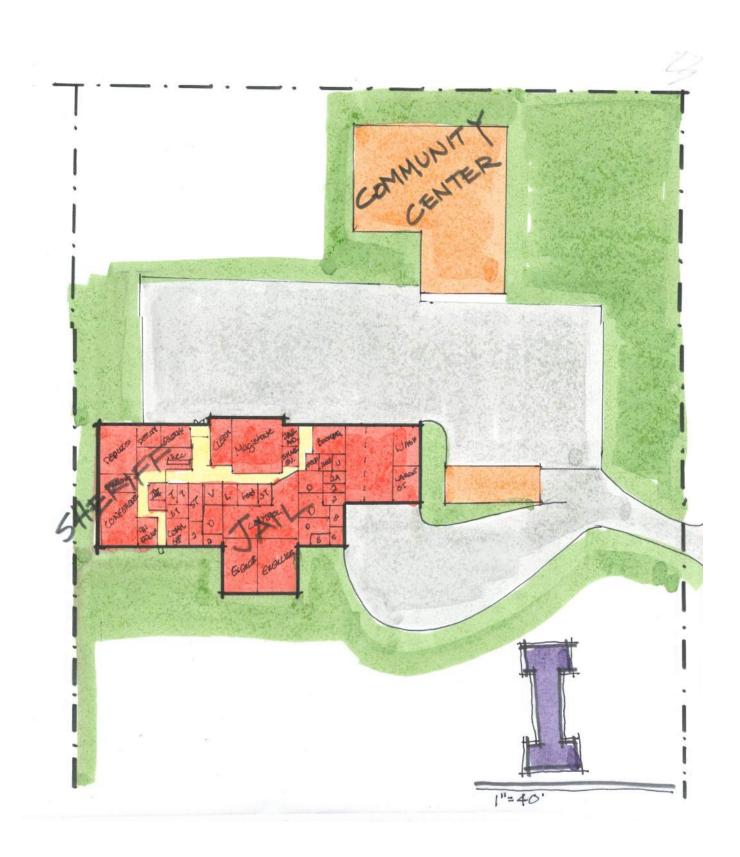




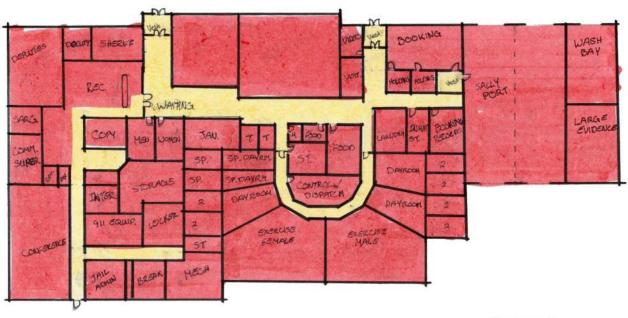












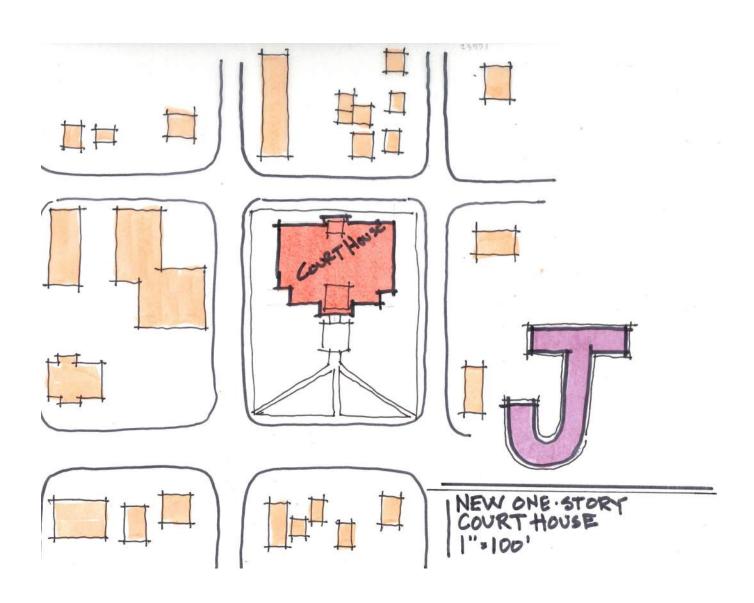


JAIL + SHERIFF YE'= 1:0"

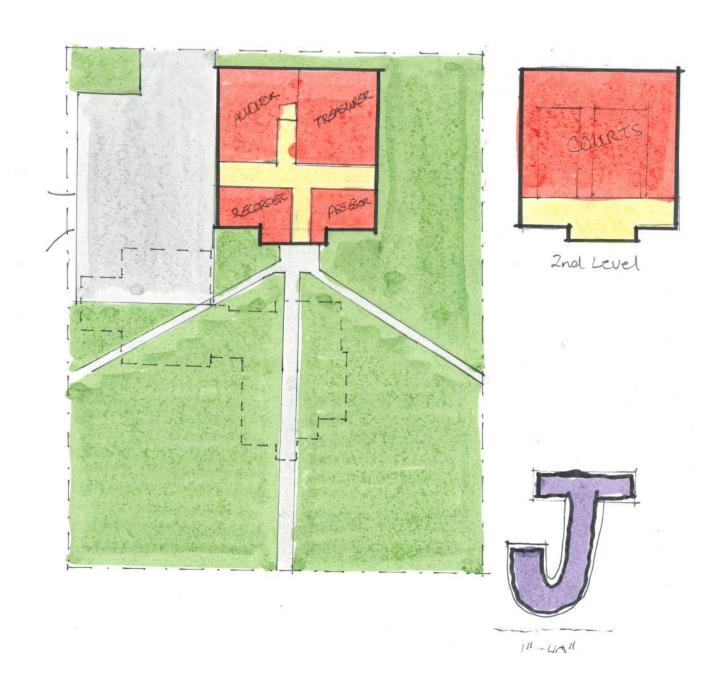


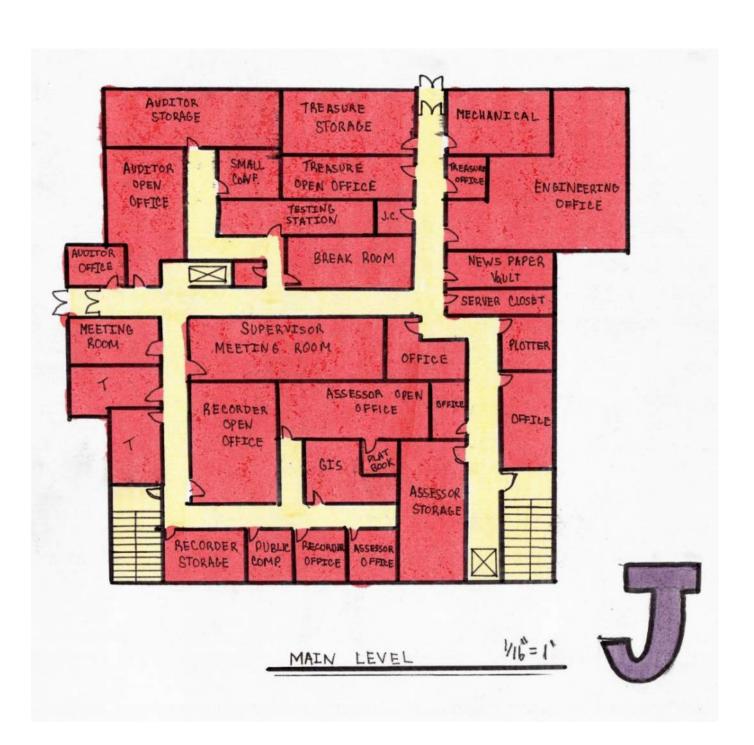




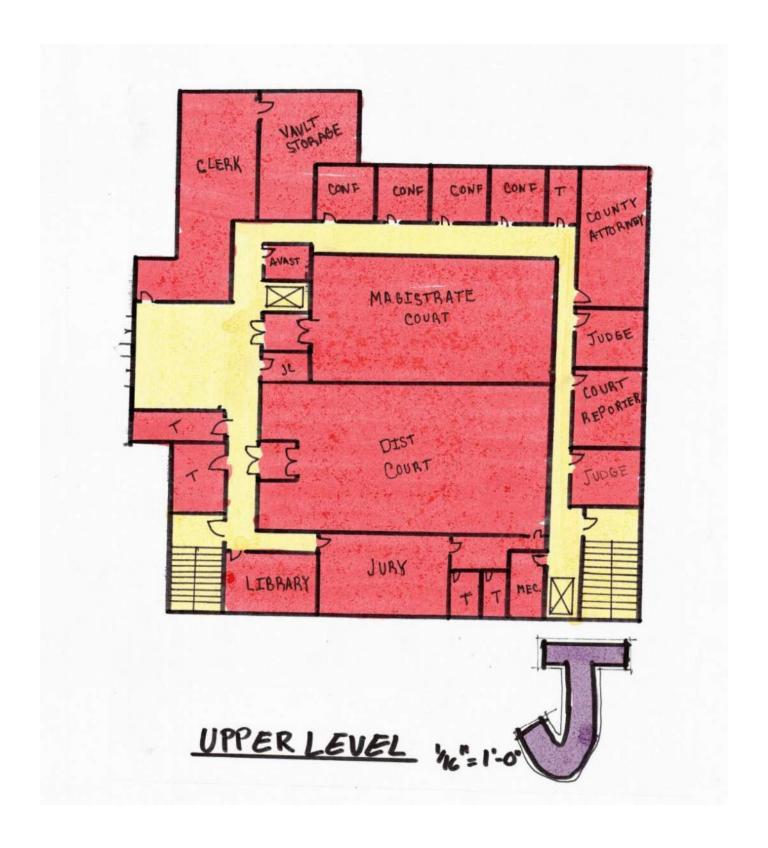


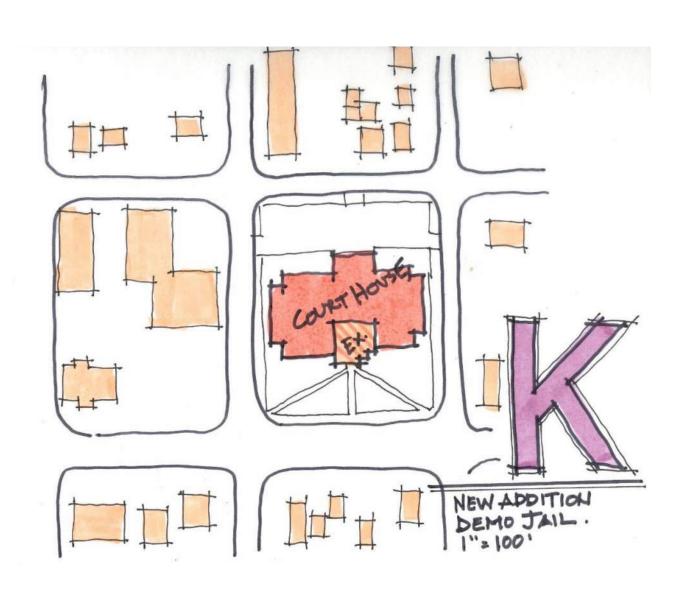






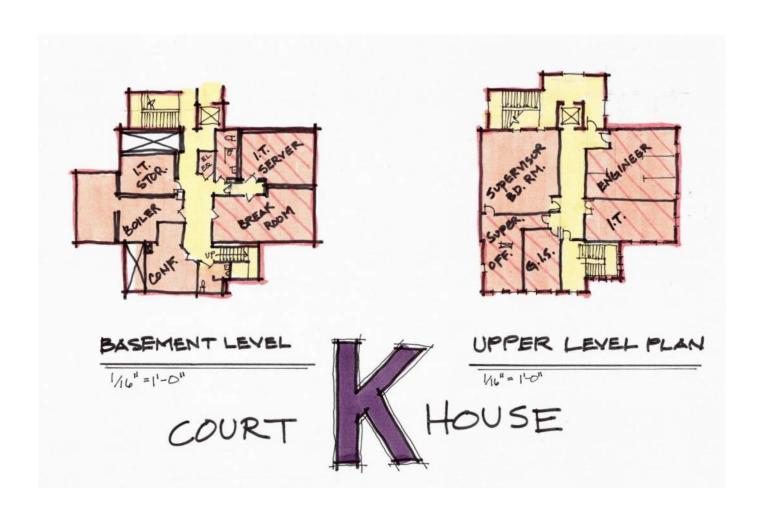




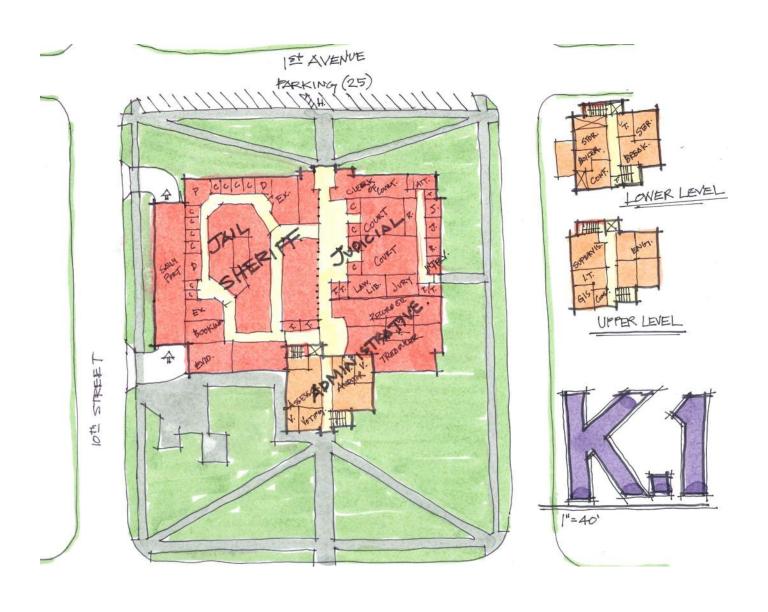




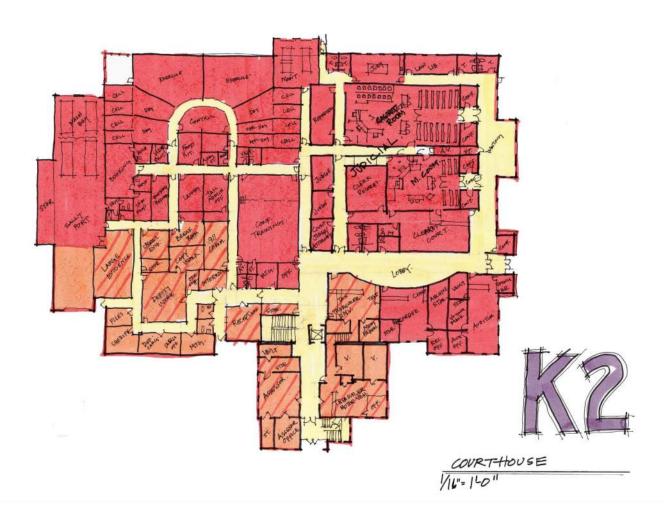






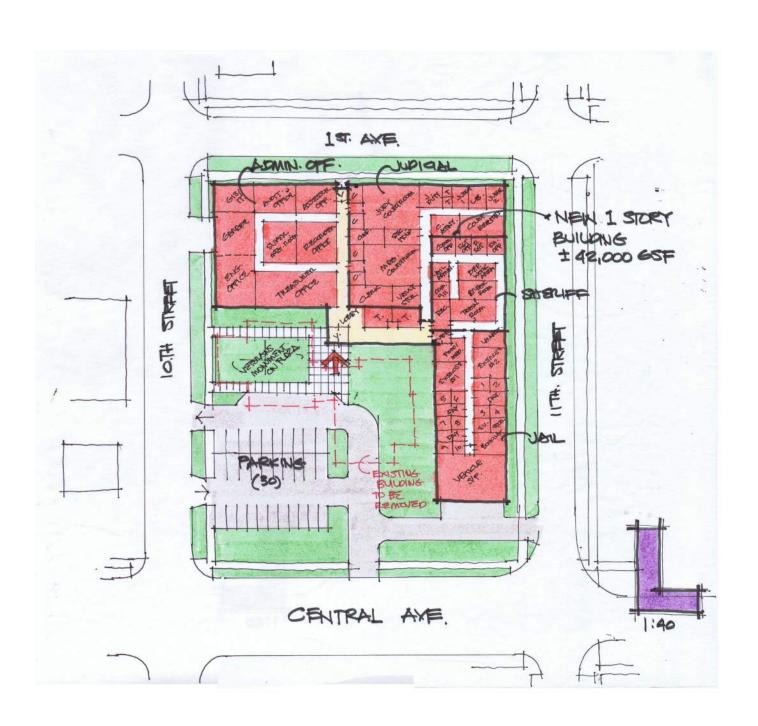






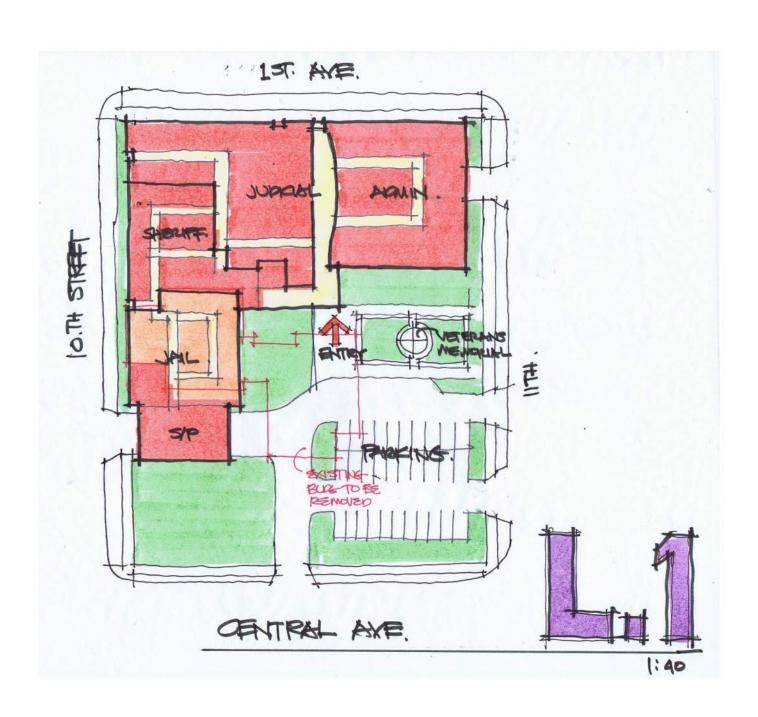






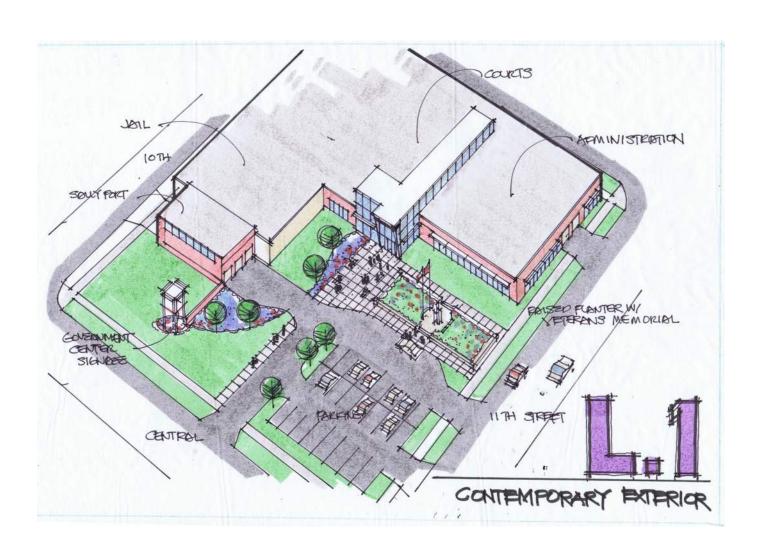




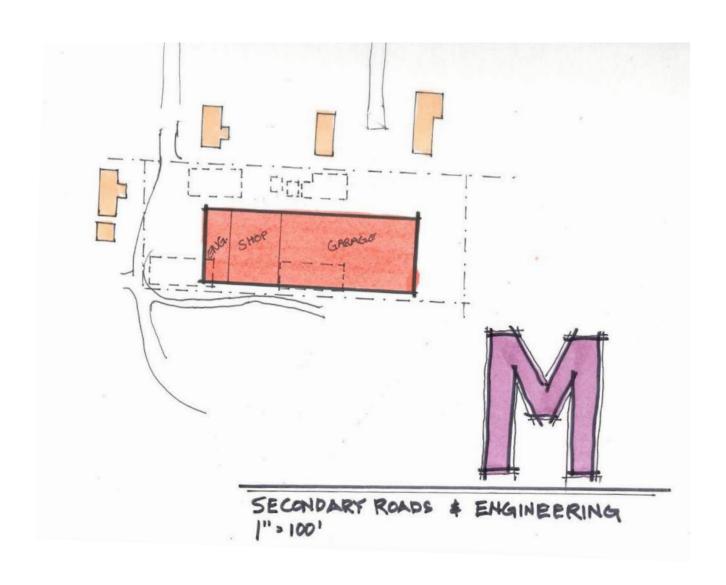


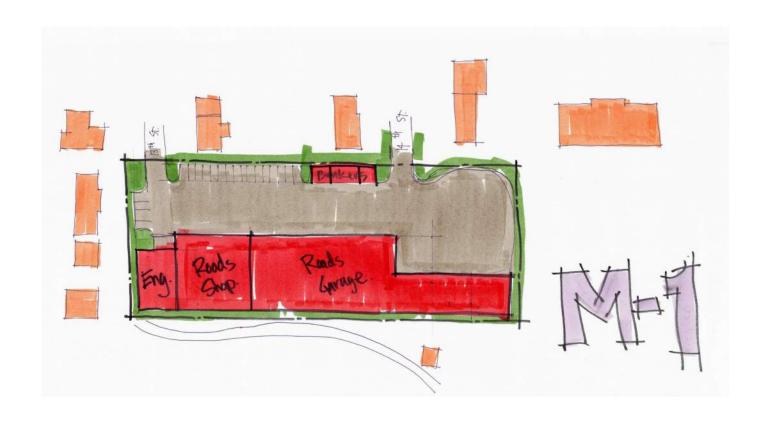


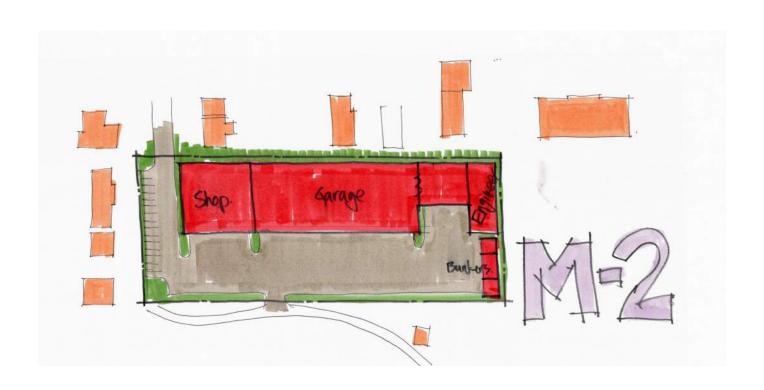






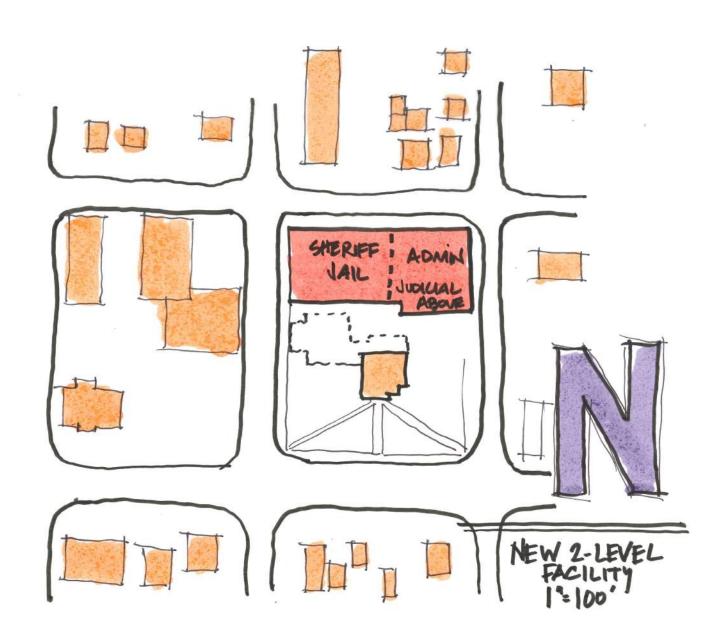






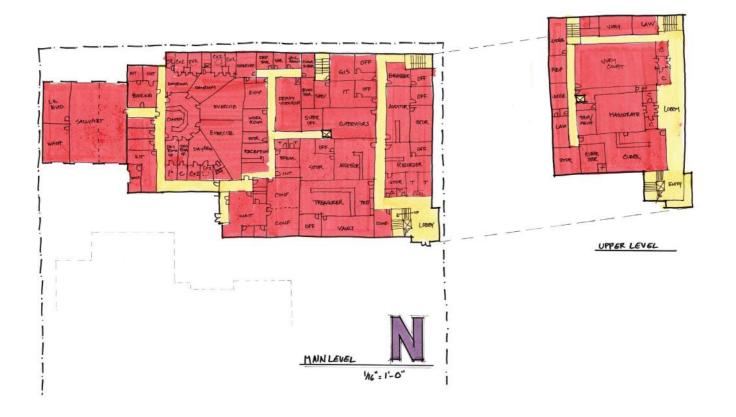




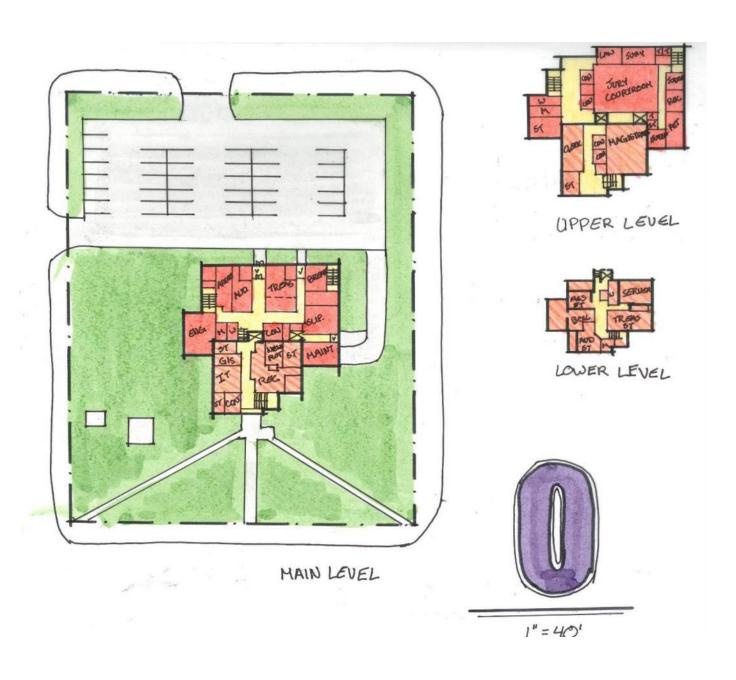


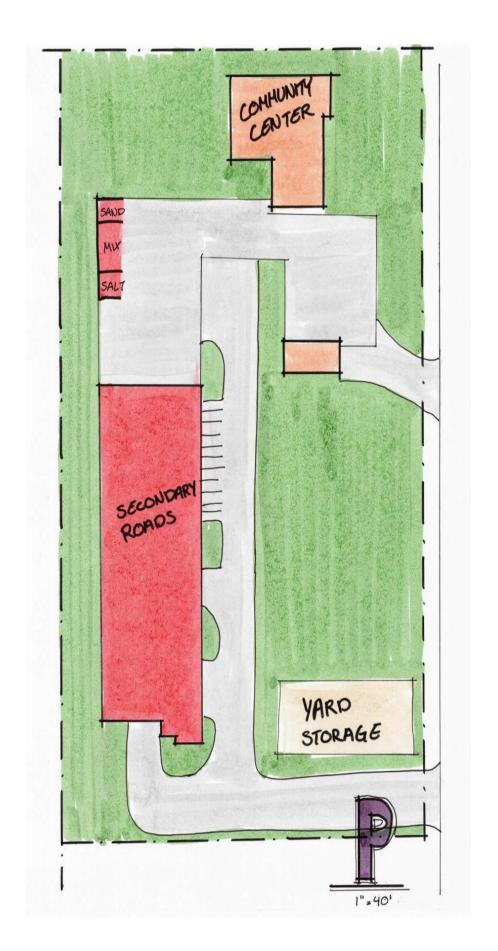




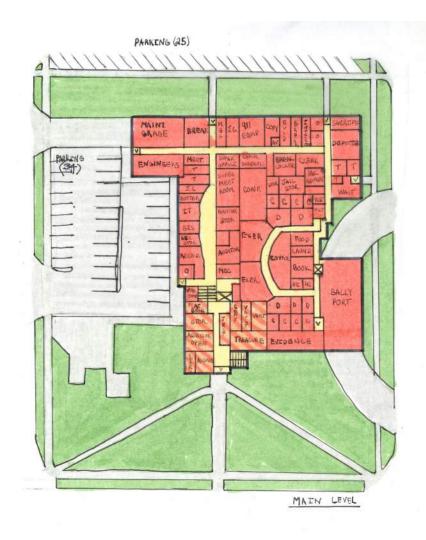




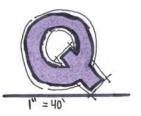














Pros and Cons Sheet



Cons/Dislikes

Pros/Likes

Save the Caut hause Its a historical Blog Like the i'dea of adding to existing building.

Best proposal

along w/ E

Keep the huterical lash of the court house

Make space for Turning

But plan

Fro - would work well w) D&M



3



Pros and Cons Sheet

Pros/Likes

D D

Cons/Dislikes

- Move shop out OF residential area to Elocation

M is better



Pros and Cons Sheet



Cons/Dislikes

Pros/Likes

ELIMINATES TOO MUCH STORAGE POTTENTAL - NO GOOD





Pros and Cons Sheet

Pros/Likes



Cons/Dislikes

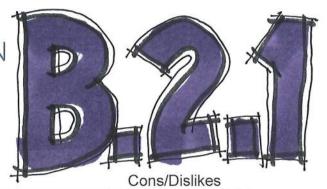
IF SITE IS KEPT THIS TYPE OF LAYOUT MIGHT BE BEST, HOWEVER THE NEIGHBORS TO THE SOUTH MAY NOT LIKE LCOKING AT YARD STURAGE.



Pros and Cons Sheet

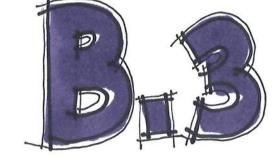
Pros/Likes

(SAME AS B.Z)





Pros and Cons Sheet



Pros/Likes

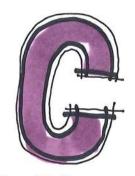
Cons/Dislikes

NORTH FACING DOORS WOULD BE PRONE TO COLD KINDS AND INCREASED HEATING COSTS.



Pros and Cons Sheet

Pros/Likes



Cons/Dislikes

More Conservation someplace, 50 city of Northwood compurchase area for parking for the Timbers.

more to E is a better option



Pros and Cons Sheet

Pros/Likes



Cons/Dislikes

Per-Perfect for these 2 b be together and centrally

putting conservation office out by recycle center is a very good option:

Great idea to put conservation here!



Pros and Cons Sheet

Garage entrume blocked by NW winds.



SIOUX CITY / DES MOINES / DUBUQUE / DELAFIELD

Cons/Dislikes





Pros and Cons Sheet

Pros/Likes



Cons/Dislikes

Centrally Located, plenty of good win Good idea - Kerry John Good idea - Maybe the Shop location cambe Shop location cambe Shared.

- AtE togeth.!



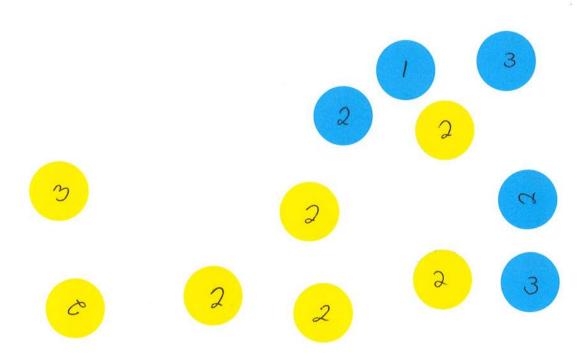
Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

All these together would be good more form of Sec. Roads out of residential.

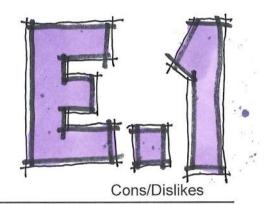






Pros and Cons Sheet

Pros/Likes



2009 blee for conscentions world be Xor conscention

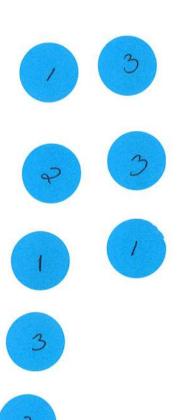


Pros and Cons Sheet

Pros/Likes



Cons/Dislikes





Pros and Cons Sheet

Pros/Likes





Pros and Cons Sheet





Need to preserve and save historic buildings and continue to use them

Keep architectural Pacade of existing court house

Treasurer need to be on same level of the other admin. Offices.







Pros and Cons Sheet



Pros/Likes

This Feels wasteful & expensive to totally Move jail & relocate othe OFFices.

Like it but not sure about judicial? Can you blip so jail is on west side, not as close to school?

9

1



Pros and Cons Sheet

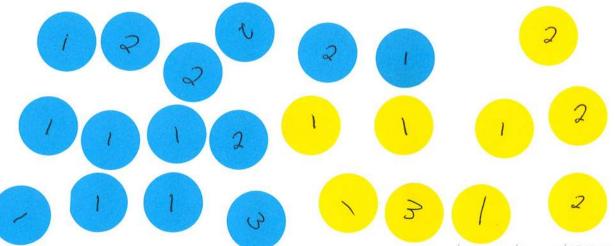


Pros/Likes

Like I dree - wrowe to Kensett Famy John Sherife's office is 'centrally " Iscated in the county-

Love the idea - centrally weated - Best option. Best option hove The way it Looks

Courtoux should be in Monthwood.





Pros and Cons Sheet

unty s Sheet

Pros/Likes

Cons/Dislikes



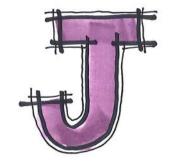








Pros and Cons Sheet



Cons/Dislikes

Pros/Likes

- Keep existing courthouse - yes!

Hecp existing continues

Keep existing Courthouse

Keep Courthers > hire full time mainentance engineer. Keep existing bldg. we don't want to lare pertained status

no need for New 1-story building if existing court house is renovated

Keep Courthouse!! must here full time maintuel

3









Pros and Cons Sheet



Pros/Likes

-Not a good option - Jail can be remodeled.

Pro - Brings the Treasurer in w) other Dicer. Everyone together. Keeps current Couledous. Best Otion.

Best Glan

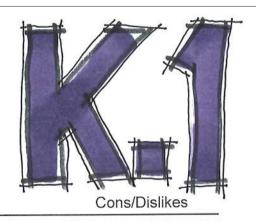
would like to see Treasurer w/other offices - do addition + then renovate courthouse.

Kil is good, Treasurer could have separate down on westside



Pros and Cons Sheet

Pros/Likes



fike Keeping the old but how do you renovate - where do folks go during that renovation fime.

















Pros and Cons Sheet

Pros/Likes



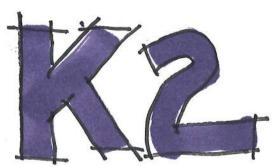
Cons/Dislikes

Kill looks to be the best





Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

More the sail to Kensett More and reades & Conservation to Necycling







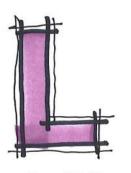






Pros and Cons Sheet

Pros/Likes



Cons/Dislikes

- Kup Cow house

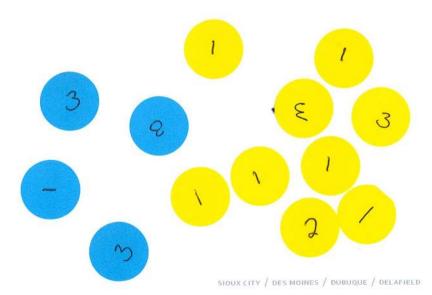
More empty borldings downlown wedness to with this option (including the brewry) lave histories

Keep existing building

stalees

. prefer to keep Jail Sheriff terms away from mans.

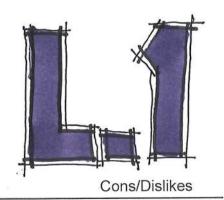
· proude separate parking





Pros and Cons Sheet

Pros/Likes









Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

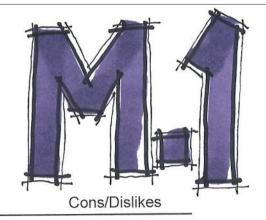
Put Engineering with
Sec. Roads at
Some location

Pro-Bood Idea!



Pros and Cons Sheet

Pros/Likes





Pros and Cons Sheet

Pros/Likes

Eugeneers with Sec-Rds.



3

3



Worth County

Pros and Cons Sheet

Pros/Likes



SIOUX CITY / DES MOINES / DUBUQUE / DELAFIELD



Worth County

Pros and Cons Sheet

Pros/Likes



Keeps existing bidg.
For historical reasons

Not a fan?



SIOUX CITY / DES MOINES / DUBUQUE / DELAFIELD

Q1 Please write any comments, positive and negative, ideas and or suggestions about Option A. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	does not seem to have a good flow to it. very chopped up. Mix of old and new. In efficient building still being used. Spending money to fix junk	5/13/2021 8:02 AM
2	Good option so everything is together. Fix existing buildings and add new. But should rebuild beyond repair.	5/12/2021 7:50 PM



Q2 Please write any comments, positive and negative, ideas and or suggestions about Option B. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	that area is too land locked for the secondary roads shop	5/13/2021 8:02 AM

Q3 Please write any comments, positive and negative, ideas and or suggestions about Option B.1. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	same as above	5/13/2021 8:02 AM

Q4 Please write any comments, positive and negative, ideas and or suggestions about Option B.2. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	If it has to stay in Northwood this is the best option IMO but the parking on the west is not possible as the street is shared with houses that have drives on it	5/13/2021 8:02 AM
2	Looks better than B. Less roads and entries.	5/12/2021 7:50 PM
3	Very nice, looks the best, seems to be efficient regarding snow.	5/12/2021 7:40 PM

Q5 Please write any comments, positive and negative, ideas and or suggestions about Option B.3. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	Doors facing North not a good idea	5/13/2021 8:02 AM

Q6 Please write any comments, positive and negative, ideas and or suggestions about Option C. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	this area is worth more for parking lot for the Timbers that keeping it for County use	5/13/2021 8:02 AM

Q7 Please write any comments, positive and negative, ideas and or suggestions about Option D. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	I like this one	5/13/2021 8:02 AM

Q8 Please write any comments, positive and negative, ideas and or suggestions about Option D.1. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	OK as well	5/13/2021 8:02 AM
2	Good idea placing conservation out of town. City of Northwood could use existing space for Timbers Events Center.	5/12/2021 7:50 PM

Q9 Please write any comments, positive and negative, ideas and or suggestions about Option E. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	FYI the secondary roads building is sitting on top of the leach field for the septic system.	5/13/2021 8:02 AM



Q10 Please write any comments, positive and negative, ideas and or suggestions about Option E.1. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	I like this idea. Consolidation of services into a central location.	5/13/2021 8:02 AM

Q11 Please write any comments, positive and negative, ideas and or suggestions about Option E.2. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	Like the building idea at the recyling center.	5/14/2021 8:25 AM

Q12 Please write any comments, positive and negative, ideas and or suggestions about Option F. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	too crowded.	5/13/2021 8:02 AM

Q13 Please write any comments, positive and negative, ideas and or suggestions about Option F.1. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	County should sell this property and move out to the recycling center.	5/14/2021 8:25 AM
2	not enough room	5/13/2021 8:02 AM
3	F1 - most cost efficient, because you are saving space and money by sharing and building on same space.	5/12/2021 7:50 PM
4	Even better than B-2, if you are going to move the conservation office.	5/12/2021 7:40 PM

Q14 Please write any comments, positive and negative, ideas and or suggestions about Option G. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	Renovate the courthouse after the jail and sheriff move to Kensett and they get a new building with EMS later on. Build new area for clerk, judicial and whatever new spaces and move current courthouse employees to the new area and then renovate the courthouse accordingly.	5/14/2021 8:25 AM
2	I don't like any idea that keeps the old building.	5/13/2021 8:02 AM

Q15 Please write any comments, positive and negative, ideas and or suggestions about Option H. The more feedback the Design Team gets, the better!

RESPONSES	DATE
The Treasurer's Office should be all open and have enough space for 4 open cubicals. We need a vault and a storage closet. We also have to be very close to the restrooms to accommodate elderly people in for reexam drivers licenses. Drivers license needs to be in the same open space with perhaps a small separate adjoining office.	5/18/2021 9:47 AM
The Treasurer's Office needs at minimum the amount of space we have now on our main level and access to a public bathroom that is an option for persons with disabilities to access VERY easily from our office. We cannot have stairs separated our office. Drivers license, tax department and motor vehicle needs to be together, we would like a separate office space for drivers license re-exams.	5/14/2021 9:28 AM
Jail and sheriff need to go to Kensett so they have room to grow as needed.	5/14/2021 8:25 AM
Looks nice, best courthouse one.	5/12/2021 7:40 PM
	The Treasurer's Office should be all open and have enough space for 4 open cubicals. We need a vault and a storage closet. We also have to be very close to the restrooms to accommodate elderly people in for reexam drivers licenses. Drivers license needs to be in the same open space with perhaps a small separate adjoining office. The Treasurer's Office needs at minimum the amount of space we have now on our main level and access to a public bathroom that is an option for persons with disabilities to access VERY easily from our office. We cannot have stairs separated our office. Drivers license, tax department and motor vehicle needs to be together, we would like a separate office space for drivers license re-exams. Jail and sheriff need to go to Kensett so they have room to grow as needed.

Q16 Please write any comments, positive and negative, ideas and or suggestions about Option I. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	I like this idea with the potential of the community center transferring to county owned for EMA use as a shelter and training facility along with an EMA building / office west of the CC and ambulance base in this area it makes the most sense.	5/13/2021 8:02 AM
2	Good idea because existing sheriff/jail space in courthouse could be used for other offices.	5/12/2021 7:50 PM

Q17 Please write any comments, positive and negative, ideas and or suggestions about Option I.1. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	Take advantage of community center property for jail etc and exercising area for inmates.	5/14/2021 8:25 AM



Q18 Please write any comments, positive and negative, ideas and or suggestions about Option J. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q19 Please write any comments, positive and negative, ideas and or suggestions about Option K. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
	There are no responses.	

Q20 Please write any comments, positive and negative, ideas and or suggestions about Option K.1. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Even better than H.	5/12/2021 7:40 PM

Q21 Please write any comments, positive and negative, ideas and or suggestions about Option K.1 prime. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	Take jail and sheriff off an rework the spaces.	5/14/2021 8:25 AM

Q22 Please write any comments, positive and negative, ideas and or suggestions about Option K.2. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	The Treasurer's office needs to be together on one level DMV, Motor vehicle, tax and drivers license needs to be together. We are not staffed to be separate and are cross trained to do every job.	5/18/2021 9:47 AM
2	The Treasurer's Office can not be on two different levels. We do not need the current basement storage.	5/14/2021 9:28 AM

Q23 Please write any comments, positive and negative, ideas and or suggestions about Option L. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	Nope. Dislike this idea.	5/12/2021 7:50 PM

Q24 Please write any comments, positive and negative, ideas and or suggestions about Option L.1.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q25 Please write any comments, positive and negative, ideas and or suggestions about Option L.1.1. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
	There are no responses.	

Q26 Please write any comments, positive and negative, ideas and or suggestions about Option M. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q27 Please write any comments, positive and negative, ideas and or suggestions about Option M.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	



FEH DESIGN

Q28 Please write any comments, positive and negative, ideas and or suggestions about Option M.2.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q29 Please write any comments, positive and negative, ideas and or suggestions about Option N. The more feedback the Design Team gets, the better!

#	RESPONSES	DATE
1	I like this but what is the plan for the original courthouse? Who maintains that and what is it's use? If no viable answers then tear it down.	5/13/2021 8:02 AM
2	Any comments I would make on the layout or design of new facilities are irrelevant: the people who work there know their needs best. However, in my opinion, "Designing for COVID" is a backwards criteria to try to adhere to, as that factor is rapidly retreating into our rear view mirror. Also, I support the criteria of updating technology and infrastructure for today's uses, but I would suggest adjusting the phrasing (and vision) to say "for tomorrow's uses"	5/13/2021 7:35 AM
3	Makes everyone happy. New courthouse with saving the old for historical reason.	5/12/2021 7:50 PM

Option A - Total Project Budget

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/25/21 KE
	FEH - Total Project Budget - Op	tion A				
D '11' 4	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
	Construction Costs:					
	Construction County Courthouse - New construction (no treasurer space, stair only)		750	SF	220.00	165,000
	County Courthouse - Renovation for Urgent \$102,150 and required \$156,600 c		1	LS	258,750.00	258,750
	County Sheriff & Jail - New Construction		12,610	SF	357.00	4,501,770
	County Sheriff & Jail - Renovation		5,000	SF SF	165.00 168.00	825,000
	County Engineering (& maintenance) County Roads		3,000	SF	0.00	504,000
	County Conservation		0	SF	0.00	0
				SubTotal		6,254,520
		Design / Bid	Conting		_	625,452
		Building Construction				6,879,972
		Construction BUILDING CONSTR				343,999 \$7,223,971
Site Work	Construction Costs	BUILDING CONSTR	OCII	JN COS	TOTAL	\$7,223,971
11 Structi	are Deconstruction - Engineering & Maintenance		3,170	SF	7	22,190
	re trees		6	EA	750	4,500
	ve foundations - engineering		2,000	SF	1	2,000
	I Material survey, sample, test for site demo		1 4 000	LS	2500	2,500
	lous material abatement Parking Spaces		4,000 44	SF EA	3,000.00	16,000 132,000
	Drive Lane		3,360	SF	6.00	20,160
18 Concr	ete Curb and Gutter		320	LF	12.00	3,840
	en's Outdoor Program area		0	SF LF	8.00	10.240
21 Storm 22 Dome	Sewer stic Water		320 60	LF LF	32 100	10,240 6,000
	y Sewer		120	LF	38	4,560
	cal service, transformer		1	LS	24,000	24,000
25 Relocated Fill ma	te power lines & poles		450	LS	20,000 27	12,150
	ing Walls		430	LF	120	12,130
	rian Paving,		2,700	SF	5.00	13,500
	& Landscaping		31,200	SF	1	31,200
30 Bench 31 Roof of	es and site furniture, donated		0	LS LS	4,000 30	0
32 Flag p			0	LS	2,800	0
- Sec. P.						24,000
	ional & Informational Signage - signage, electronic site sign and building		1	LS	24,000	24,000
33 Direct 34 Storm	Water Detention - underground		0	SF	12.00	0
33 Direct 34 Storm 35 Parkin	Water Detention - underground g lot lighting		0 8	SF EA	12.00 1,900	0 15,200
33 Direct 34 Storm	Water Detention - underground g lot lighting		0 8 60	SF EA KW	12.00	0 15,200 103,800
33 Direct 34 Storm 35 Parkin	Water Detention - underground g lot lighting		0 8 60	SF EA KW SubTotal	12.00 1,900 1,730	15,200 103,800 447,840
33 Direct 34 Storm 35 Parkin	Water Detention - underground g lot lighting	Design / Bid Site Work Construction	0 8 60	SF EA KW SubTotal	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784
33 Direct 34 Storm 35 Parkin	Water Detention - underground g lot lighting	Site Work Construction	0 8 60 Conting	SF EA KW SubTotal gency 10% SubTotal	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624
33 Direct 34 Storm 35 Parkin	Water Detention - underground g lot lighting	Design / Bid Site Work Construction Construction SITE WORK CONSTE	0 8 60 Conting n Costs	SF EA KW SubTotal gency 10% SubTotal	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784
33 Direct 34 Storm 35 Parkin	Water Detention - underground g lot lighting	Site Work Construction Construction	0 8 60 Conting n Costs	SF EA KW SubTotal gency 10% SubTotal	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631
33 Direct 34 Storm 35 Parkin 36 Solar I	Water Detention - underground g lot lighting	Site Work Construction Construction	0 8 60 Conting n Costs	SF EA KW SubTotal gency 10% SubTotal	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631
 33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 	Water Detention - underground g for lighting unels - Acquisition	Site Work Construction Construction	0 8 60 Conting a Costs a Conting RUCTIO	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255
 33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 42 Archit 	Water Detention - underground g glot lighting undels - Acquisition Fores Total Religioreting Design Frees	Site Work Construction Construction	0 8 60 I Conting a Costs n Conting RUCTIO	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS	12.00 1,900 1,730	15,200 103,800 447,840 447,844 422,624 24,631 \$517,255 0 5,000 580,592
 33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 42 Archit 43 Inform 	Water Detention - underground g to lighting and set lighting and set with the set of the	Site Work Construction Construction	0 8 60 I Conting a Costs on Conting II 1 1 1 1	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 580,592 7,200
 33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 42 Archit 43 Inform 44 Furnis 	Water Detention - underground g glot lighting undels - Acquisition Fores Total Religioreting Design Frees	Site Work Construction Construction	0 8 60 I Conting a Costs n Conting RUCTIO	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS	12.00 1,900 1,730 1,730	15,200 103,800 447,840 447,844 422,624 24,631 \$517,255 0 5,000 580,592
33 Direct 34 Storm 35 Parkin 36 Solar l 40 Land 41 Legal l 42 Archit 43 Inform 44 Furnis 45 Cavil F 46 SWPP	Water Detention - underground g lot lighting nurds - glot lighting nurds - Acquisition Acquisition Fees Engineering Design Fees aution & Technology Design Fees hing Design, Section & Schenology Design Fees hing Design, Section & Schenology Design Fees hing Design, Section & Scherology Design Fees hing Design Fees h	Site Work Construction Construction	0 8 60 I Conting a Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS L	12.00 1,900 1,730	0 15,200 103,800 447,840 447,844 492,624 24,631 \$517,255 0 580,502 7,200 40,560 12,000 5,000
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 41 Legal 42 Archit 43 Inform 44 Furnis 45 Grüf F 46 SWPP 47 Site Ste	Water Detention - underground g to lighting lands - glot lighting	Site Work Construction Construction	0 8 60 1 Conting a Costs n Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS LS LS LS	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$\$17,255 0 5,000 580,502 7,200 40,560 12,000 5,000 5,000
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 1 41 Legal 1 42 Archit 43 Inform 44 Furnis 45 Gwil I 46 SWPP 47 Site Sk 48 Reimb	Water Detention - underground g pot lighting and set lighting and set lighting and set light and set	Site Work Construction Construction	0 8 60 1 Conting a Costs a Costing 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS L	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 6,000 5,000
33 Direct 34 Storm 35 Parkin 36 Solar l 40 Land . 41 Legal 42 Archit 43 Inform 44 Furnis 45 Gavi I: 46 SWPP 47 Site St. 48 Reimb 49 Confo	Water Detention - underground g to lighting lands - glot lighting	Site Work Construction Construction	0 8 60 1 Conting a Costs n Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS LS LS LS	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$\$17,255 0 5,000 580,502 7,200 40,560 12,000 5,000 5,000
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 42 Archit 41 Inform 44 Furnis 45 Gvil I 46 SWPP 47 Site St. 48 Reimh 49 Confo 50 Printir 51 Phase	Water Detention - underground g to t lighting and so t lighting and so t lighting and so t light and so the sound of the sound so the s	Site Work Construction Construction	0 8 60 1 Conting of Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal SubTotal IS	12.00 1,900 1,730	0 15,200 103,800 447,840 447,844 492,624 24,631 \$517,255 0 580,502 7,200 40,560 12,000 6,000 6,000 0 0 0
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 1 41 Legal 1 42 Archit 43 Inform 44 Furnis 45 Gwil I 46 SWPP 47 Site St 48 Reimb 49 Confo 50 Peintir 50 Pinses 51 Phase 52 Autho	Water Detention - underground g lot lighting under season of the season	Site Work Construction Construction	0 8 60 C Conting a Costs a Contin 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal SubTotal SubTotal IS	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$\$17,255 0 5,000 580,502 7,200 40,500 12,000 5,000 0 0 0 10,000 0 0 2,000
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land . 41 Legal 42 Archit 43 Inform 44 Furnis 45 Cavil I 46 SWPP 47 Site St 48 Reimb 49 Confo 50 Printir 51 Phase 52 Autho 53 Owne	Water Detention - underground g pot lighting and set lighting and set lighting and set lighting and set light and	Site Work Construction Construction	0 8 60 Conting a Costs n Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW	12.00 1,900 1,730	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 0 0 10,000 0 0 2,000 5,000
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 42 Archit 43 Inform 44 Furnis 45 Gwil F 46 SWPP 47 Site S 48 Reimb 49 Confo 50 Peintir 51 Phase 52 Autho 53 Owne 54 Qualif	Water Detention - underground g to lighting and so lighting and so a so	Site Work Construction Construction	0 8 60 C Conting a Costs a Contin 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal SubTotal SubTotal IS	12.00 1,900 1,730	0 15,200 103,800 447,840 447,844 492,624 24,631 \$517,255 0 5,000 580,592 7,200 40,560 12,000 5,000 6,000 0 10,000 0 0 2,000 5,
33 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 41 Legal 42 Archin 43 Inform 44 Furnis 45 Gwil I 46 SWPP 47 Site Sc 48 Reimb 49 Confo 50 Printic 51 Phase 52 Autho 53 Owne 54 Qualit 55 Utility 55 Utility	Water Detention - underground g por lighting and got lighting fees and got	Site Work Construction Construction	0 8 60 Conting n Costs n Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW SubTotal SubTotal IS	12.00 1,900 1,730 T TOTAL	0 15,200 103,800 447,840 447,844 492,624 24,631 \$517,255 0 580,502 7,200 40,500 12,000 5,000 0 0 10,000 0 0 10,000 5,000 8,000 5,000 8,000 5,000 8,000
330 Direct 34 Storm 35 Parkint 36 Solar l 40 Land 41 Legal 42 Archit 43 Godi 1 44 Godi 1 44 Confo 50 Parkint 51 October 52 Authorit 53 Qual 54 Qual 55 Qual 57 Fistur 57 Fistur	Water Detention - underground g to t lighting a lot light	Site Work Construction Construction	0 8 60 1 Conting a Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 580,502 7,200 40,500 12,000 0 0 10,000 0 0 2,000 5,000 0 0 0 2,000 5,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
330 Direct 34 Storm 35 Parkin 36 Parkin 40 Land 41 Legal 41 Legal 43 Inform 44 Fursil 44 Gord 45 Gord 46 SWPP 47 Site St 48 Reinh 49 Conford 50 Piniti 51 Phase 52 Aufholt 53 Owne 54 Quilin 55 Fixtan 56 Fixtan 57 Fixtan	Water Detention - underground g plet lighting and set light	Site Work Construction Construction	0 8 60 1 Conting a Costs a Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF	12.00 1,900 1,730 T TOTAL	0 15,200 103,800 447,840 447,844 492,624 24,631 \$517,255 0 580,502 7,200 40,500 12,000 5,000 0 0 10,000 0 0 10,000 5,000 8,000 5,000 8,000 5,000 8,000
33 Direct 4 Storm 5 Parkin 6 Solar 1 6 Solar 1 6 Solar 1 7 Solar 1 7 Solar 1 7 Sile So	Water Detention - underground g to t lighting a lot light	Site Work Construction Construction	0 8 60 1 Conting a Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA KW	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 926,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 0 0 10,000 0 0 2,000 5,000 5,000 0 0 0 0 0 0 0 0 0 0 0 0
33 Direct 34 Storm 35 Parkint 40 Land 41 Legal 41 Legal 42 Architel 43 Inform 44 Furnis 45 God I 46 SWPP 51 Oren 51 Over 52 Author 51 Open 53 Over 54 Cullin 55 Open 56 Featur 57 Featur 58 Featur 59 Energy 60 Geote God 60 Geot 61 Geot 61 Geot 61 Geot 63 Park 64 Geot 65 Featur 65 Geot 65	Water Detention - underground g por lighting hands - got lighting hands	Site Work Construction Construction	0 8 60 1 Conting of Costs of Continue of Costs of Continue of Costs of Cos	SF EA KW KW SubTotal	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 447,844 492,624 24,631 \$517,255 0 580,502 7,200 40,560 12,000 5,000 6,000 0 10,000 0 10,000 35,000 8,000 5,000 6,000 0 10,000 35,000 8,000 5,000 6,000 9,000 8,00
33 Direct 4 Storm 5 Parkin 5 Onl 1 Legal 1 Legal 4 Puris 5 Gold 5 Gold 6 SWPP 7 Sie St 6 Quali 5 Quali 5 Quali 6 Goto 7 Goto 8 Goto 7 Goto 8 Goto 9 Goto 1 Goto 1 Goto 1 Goto 1	Water Detention - underground g to t lighting and set lighting and set lighting and set and se	Site Work Construction Construction	0 8 60 1 Conting to Costs to Continue to Costs to Continue to Costs to Continue to Costs to	SF EA KW SubTotal tell	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 447,840 447,844 492,624 492,631 \$517,255 0 5,000 580,502 7,200 40,560 12,000 5,000 6,000 5,000 0 10,000 0 0 10,000 5,000 8,000 5,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,
33 Direct 4 Storm 5 Parkin 6 Land 4 Land 4 Legal 4 Land 4 Legal 5 Anthibit 6 Gwil 1 5 Own 7 Site St 6 Own 7 Site St 7 Site St 8 Reinhin 7 Site St 8 Reinhin 8 Own 8 Own 9 Pinitri 9 Pinitri 9 Pinitri 9 Pinitri 10	Water Detention - underground get lighting got	Site Work Construction Construction	0 8 60 1 Conting to Continue t	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 0 0 10,000 0 0 2,000 5,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 0
33 Direct 4 Storm 5 Parkin 5 Parkin 6 Solar I 6 Solar I 6 Solar I 7 Solar I 7 Solar I 7 Site St 7 Si	Water Detention - underground g plet lighting and set lighting and set lighting and set and se	Site Work Construction Construction	0 8 60 1 Conting to Costs to Continue to Costs to Continue to Costs to Continue to Costs to	SF EA KW SubTotal tell	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 447,840 447,844 492,624 492,631 \$517,255 0 5,000 580,502 7,200 40,560 12,000 5,000 6,000 5,000 0 10,000 0 0 10,000 5,000 8,000 5,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,000 5,000 6,
33 Direct 4 Storm 5 Parkin 6 Jand 6 Jand 1 Legal 1	Water Detention - underground get lighting got	Site Work Construction Construction	0 8 60 1 Conting to Continue t	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 447,840 447,844 447,844 492,624 24,631 \$517,255 0 5,000 580,502 7,200 40,560 10,000 0 10,000 35,000 6,000 35,000 6,000 90,000
33 Direct 4 Storm 5 Parkin 5 Onl 1 Legal 1 Legal 4 Archit 4 Fumis 5 Gold 6 SWPP 7 Size St 9 Qualit 5 Qualit 5 Qualit 6 Goto 7 Fixua 6 Goto 7	Water Detention - underground g bet lighting hards - got lighting hards	Site Work Construction Construction	0 8 60 1 Contings of Costs of Continue Costs of Continue Costs of Continue Costs of Continue Costs of	SF EA KW	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 447,840 492,624 492,625 5,000 5,000 5,000 6,000 0 10,000 5,000 6,000 0 10,000 10,0
33 Direct 4 Storm 5 Parkin 6 I Jand 6 I Legal 1 Legal 1 Legal 7 Sin St 8 Reimhrid 6 Grol I 8 Fr 8 Fr 9	Water Detention - underground g lot lighting hands - got lighting hands	Site Work Construction Construction	0 8 60 60 1 Conting of Costs on Conting of Costs on Costs	SF	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 0 0 10,000 0 0 2,000 5,000 0 0 10,000 0 0 2,000 0 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0
33 Direct 4 Storm 5 Parkin 5 Parkin 6 Solar 1 6 Solar 1 6 Solar 1 7 Solar 1 7 Solar 1 7 Sile Sile 7 Sile 7 Sile Sile 7	Water Detention - underground g ple tighting hands - got lighting hands	Site Work Construction Construction	0 8 60 14 Continue 15 15 15 15 15 15 15 15 15 15 15 15 15	SF	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 10,380 147,340 447,544 447,544 447,545 447,545 10,000 10
33 Direct 34 Storm 35 Parkin 36 Storn 40 Land 41 Legall 41 Legal 42 Archir 43 Inform 45 Groll 46 GW 47 Site St. 48 Remin 50 Printin 51 Phase 52 Author 50 Printin 51	Water Detention - underground g lot lighting hands - got lighting hands	Site Work Construction Construction	0 8 60 60 1 Conting of Costs on Conting of Costs on Costs	SF	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 492,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 0 0 10,000 0 0 2,000 5,000 0 0 10,000 0 0 2,000 0 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0
33 Direct 34 Storm 35 Parkin 40 Land 41 Legal 41 Legal 43 Inform 44 Fursi 43 Inform 45 Goril 46 Swipp 46 Swipp 57 Sites 58 Quilin 50 Print 51 Phase 50 Print 51 Phase 51 Quilin 52 Autho 53 Owne 54 Quilin 55 Fixua 56 Fixua 57 Fixua 58 Sites 59 Fixua 50 Fixua 51 Phase 51 Phase 52 Autho 63 Print 64 Rem 65 Goril 66 Goril 67 Goril 67 Haza 67 Goril 68 Goril 69 Owne 60 Owne 60 Owne 61 Goril 60 Owne 61 Goril 61 Goril 62 Goril 63 Goril 64 Goril 65 Goril 66 Owne 67 Haza 67 Goril 67 Goril 68 Goril 69 Owne 60 Owne 60 Owne 60 Owne 60 Owne 60 Owne 61 Goril 60 Owne 61 Goril 61 Goril 61 Goril 61 Goril 62 Goril 63 Goril 64 Goril 65 Goril 65 Goril 66 Owne 67 Haza 67 Goril 67 Gori	Water Detention - underground g led lighting lingular lighting lighting lighting lighting lighting lighting ligh	Site Work Construction Construction	0 8 60 11 Contings 60 12 Contings 60	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 442,624 24,631 \$517,255 0 5,000 40,500 12,000 5,000 0 10,000 0 3,000 312,000 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,00
330 Direct 34 Storm 35 Parkin 36 Solar I 40 Land 41 Legal 41 Legal 42 Archirlan 43 Ferni 44 Ferni 45 Gel I 46 SWPP 47 Site St 48 Reinh 49 Printin 49 Printin 40 Orne 4	Water Detention - underground g pet lighting and set lighting frees aution & Technology Design Fees tauton & Technology Design Fees tauton & Technology Design Fees and set lighting frees and set lighting frees grantening Design Fees P& NPDES plans, permits and reviews rever uses the set lighting frees and set lighting frees good set lighting frees good set lighting frees and set lighting free good set from the set lighting free good set lighting	Site Work Construction Construction	0 8 8 60 1 Continue 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 442,624 24,631 \$517,255 0 5,000 5,000 6,000 6,000 10,000 5,000 90,000 10,000
33 Direct 4 Storm 5 Parkin 5 Parkin 6 Solar 1 6 Solar 1 6 Solar 1 6 Solar 1 7 Solar 1 7 Sie St 8 Remin 8 Remin 9 Sie St 9 Sie St 10 S	Water Detention - underground g pot lighting hands - got lighting hands	Site Work Construction Construction	0 8 8 60 8 60 1 Contings 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 447,840 447,844 492,624 24,631 \$517,255 \$0 5,000 5,000 10,000 5,000 60,000 10,000 60,000 10,000 60,000 10,000 60,000 10,000 60,000 10,000
33 Direct 4 Storm 5 Parkin 6 Jan 6 Jan 6 Legal 1 Le	Water Detention - underground g pet lighting and set lighting frees aution & Technology Design Fees tauton & Technology Design Fees tauton & Technology Design Fees and set lighting frees and set lighting frees grantening Design Fees P& NPDES plans, permits and reviews rever uses the set lighting frees and set lighting frees good set lighting frees good set lighting frees and set lighting free good set from the set lighting free good set lighting	Site Work Construction Construction	0 8 8 60 1 Continue 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 442,624 24,631 \$517,255 0 5,000 5,000 6,000 6,000 10,000 5,000 90,000 10,000
33 Direct 4 Storm 5 Parkin 6 Jan 6 Jan 6 Legal 1 Le	Water Detention - underground get lighting get	Site Work Construction Construction SITE WORK CONSTR	0 8 8 60 8 60 1 Continue of the continue of th	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 44,784 442,624 24,631 \$517,255 0 5,000 5,000 40,500 11,000 5,000 5,000 6,000 10,000 5,000 6,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 11,000 10,000
33 Direct 4 Storm 5 Parkin 6 Jan 6 Jan 6 Legal 1 Le	Water Detention - underground get lighting get	Site Work Construction Construction SITE WORK CONSTR	0 8 8 60 Continue	SF EA	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 103,800 447,840 447,844 442,624 24,631 \$517,255 0 5,000 50,000 10,000 5,000 0 10,000 5,000 0 10,000 10,0
33 Direct 4 Storm 5 Parkin 6 Jan 6 Jan 6 Legal 1 Le	Water Detention - underground get lighting get	Site Work Construction Construction SITE WORK CONSTE	0 8 8 60	SF	12.00 1,900 1,730 1,730 T TOTAL	0 15,200 447,840 447,844 447,844 447,844 447,845 447

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/21/21 KE
	FEH - Total Project Budget - Opt	on D		r		
ъ .	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Bui	Iding Construction Costs:					
1	New Construction County Courthouse - New construction (no treasurer space, stair only)		0	SF	220.00	0
2	County Courthouse - Renovation for Urgent \$102,150 and required \$156,600 c		0	LS	0.00	0
3	County Sheriff & Jail - New Construction		0	SF	357.00	0
4	County Sheriff & Jail - Renovation County Engineering (& maintenance)		0	SF SF	165.00 168.00	0
6	County Roads		0	SF	0.00	0
7	County Conservation		9,060	SF	140.00	1,268,400
				SubTotal		1,268,400
		Design / Bio				126,840
		Building Construction	n Costs	SubTotal		1,395,240
		Constructio	n Conting	gency 5%		69,762
		BUILDING CONSTE	UCTIO	N COS	T TOTAL	\$1,465,002
Site	Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance		0	SF	7	0
	Remove trees		0	EA	750	0
13			0	SF LS	1 2500	0
	Hazard Material survey, sample, test for site demo Hazardous material abatement		0	SF	2500	0
16			0	EA	3,000.00	0
17	New Drive Lane		9,800	SF	6.00	58,800
18 19	Concrete Curb and Gutter Children's Outdoor Program area		0	LF SF	12.00 8.00	0
19			0	LF	8.00	0
	Domestic Water		210	LF	100	21,000
	Sanitary Sewer		240	LF	38	9,120
24 25			0	LS	24,000 20,000	24,000
	Fill material		740	CY	20,000	19,980
27	Retaining Walls		0	LF	120	0
28	Pedestrian Paving,		300	SF	5.00	1,500
29	Lawns & Landscaping Reaches and site functions departed		10,000	SF LS	4,000	10,000
30 31	Benches and site furniture, donated Roof canopy		0	LS	4,000	0
32			1	LS	2,800	2,800
	Directional & Informational Signage - signage, electronic site sign and building		1	LS	7,000	7,000
	Storm Water Detention - Rain barrels		4	EA EA	600.00 1,900	2,400 3,800
	Parking lot lighting Solar Panels -		30	KW	1,730	51,900
				SubTotal		212,300
		Davies / Bis				21,230
		Design / Bio Site Work Construction				233,530
		Constructio				11.677
		SITE WORK CONSTR				\$245,207
40	Land Acquisition		1	LS		0
	Legal Fees		1	LS		5,000
	Architectural & Engineering Design Fees Information & Technology Design Fees		1	LS		128,266 2,000
	Furnishing Design, selection, bidding Fees		1	LS LS		
			1	LS		15,600 10,000
44 45 46	SWPPP & NPDES plans, permits and reviews		1	LS		15,600 10,000 0
44 45 46 47	SWPPP & NPDES plans, permits and reviews Site Survey		1	LS LS		15,600 10,000 0 6,000
44 45 46	SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team		1	LS		15,600 10,000 0
44 45 46 47 48	SWPPP & NPDES plans, permits and reviews Site Survey		1 1	LS LS LS		15,600 10,000 0 6,000 5,000
44 45 46 47 48 49 50	SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys		1 1 1 1 1	IS IS IS IS IS IS		15,600 10,000 0 6,000 5,000 0 8,000
44 45 46 47 48 49 50 51 52	SWFPP & NPDES plans, pennits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees		1 1 1 1 1 1	IS IS IS IS IS IS IS IS IS		15,600 10,000 0 6,000 5,000 0 8,000 0 2,000
44 45 46 47 48 49 50	SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance		1 1 1 1 1	IS IS IS IS IS IS		15,600 10,000 0 6,000 5,000 0 8,000 0 2,000 5,000
44 45 46 47 48 49 50 51 52 53	SWEPD & NPDES plans, pennits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner		1 1 1 1 1 1 1	IS		15,600 10,000 0 6,000 0 8,000 0 2,000 5,000 12,000
44 45 46 47 48 49 50 51 52 53 54 55 56	SWPP & NIDES plans, permits and reviews Site Survey Site Survey Site Survey Gonformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utilary costs during Construction by Owner Fatures, Furnishings & Equipment Allowance \$24/SF new		1 1 1 1 1 1 1 1 1 1 1 1 5,000	IS I		15,600 10,000 0 6,000 5,000 0 8,000 2,000 5,000 12,000 4,000
44 45 46 47 48 49 50 51 52 53 54 55 56	SWEPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Physical environmental or archeological surveys Authority Hawing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing		1 1 1 1 1 1 1 1 1 1 1 5,000	IS I	24.00	15,600 10,000 0 6,000 5,000 0 8,000 0 2,000 5,000 12,000 4,000
44 45 46 47 48 49 50 51 52 53 54 55 56	SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtness, Furnishings & Equipment Allowance \$24/87 new Fixtness, Furnishings & Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance		1 1 1 1 1 1 1 1 1 1 1 1 5,000	IS I		15,600 10,000 0 6,000 5,000 0 8,000 2,000 5,000 12,000 4,000
44 45 46 47 48 49 50 51 52 53 54 55 56 57	SWEPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Physical environmental or archeological surveys Authority Hawing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing		1 1 1 1 1 1 1 1 1 1 5,000 0 5,000	IS I	24.00	15,600 10,000 6,000 5,000 0 8,000 0 2,000 5,000 12,000 4,000 120,000
44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Douments Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technologs & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well		1 1 1 1 1 1 1 1 1 1 5,000 0 5,000	IS I	24.00	15,600 10,000 0 6,000 5,000 0 8,000 0 2,000 12,000 12,000 120,000 0 0 120,000 0 10,000 0 0 10,000 0 0 0 0 0 0 0
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44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/87 new Fixtures, Furnishings & Equipment Allowance \$12/87 existing Technolog & Computer Equipment Allowance Energy & Utility Rebates Georchincial subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner		1 1 1 1 1 1 1 1 1 1 5,000 0 5,000	IS I	24.00	15,600 10,000 0 6,000 5,000 0 8,000 0 2,000 12,000 12,000 120,000 0 0 120,000 0 10,000 0 0 10,000 0 0 0 0 0 0 0
44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63	SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authorny Having Jurisdiction Plan Review Permits and Fees Owner's Builders Sike Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$41/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Georechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner		1 1 1 1 1 1 1 1 1 1 5,000 0 5,000 1 1 1	IS I	24.00	15,000 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0
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44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Mlowance \$24/8F new Fixtures, Furnishings & Equipment Mlowance \$21/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geordenhical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Redocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material survey sample & test for buildings		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1S 1	24.00	15,000 10,000 10,000 0 0 0 0 0 0 0 0 0 0 0
44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/87 new Fixtures, Furnishings & Equipment Allowance \$12/87 existing Technolog & Computer Equipment Allowance Energy & Utility Rebates Georchincial subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Mowing and Redocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Justement		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	15 15 15 15 15 15 15 15 15 15 15 15 15 1	24.00	15,600 10,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 12,000 0,000 12,000 0,000 12,000 0,000 12,000 0,000
44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Mlowance \$24/8F new Fixtures, Furnishings & Equipment Mlowance \$21/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geordenhical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Redocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material survey sample & test for buildings		1 1 1 1 1 1 1 1 1 1 5,000 0 0 5,000 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1S 1	24.00	15,000 10,000 10,000 0 0 0 0 0 0 0 0 0 0 0
44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/8F new Fixtures, Furnishings & Equipment Allowance \$22/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Generchical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (eichnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dediclation ceremonies Owner provided Communications equipment Hazardous Material Alvancene Hazardous Material Alvancene Hazardous Material Alvancene Hazardous Material Alvancene Hostoric Preservation assessments & services Commissioning of systems		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	15 15 15 15 15 15 15 15 15 15 15 15 15 1	24.00	15,600 10,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 12,000 0,000 12,000 0,
44 45 46 47 48 49 50 51 52 53 54 55 56 67 68 66 67 68 69 70 71 72	SWEPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utilary control Material Testing & Inspections during construction Utilary control Material Testing & Inspections during construction Utilary control Material Testing & Inspections 21/SF existing Testures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technologs & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geot Termal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	15 15 15 15 15 15 15 15 15 15 15 15 15 1	24.00	15,000 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0
444 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$24/SF new Geotechnical subsurface investigation Geo Thermal Test Well Infrastructe Equipment Connections by Owner Moving and Relociton Tixpenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breading and dedidication ceremonies Owner provided Communications equipment Hazardous Material Justices Hazardous Material Abattement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LIEED or other sustainability certification services Space Needs Programming		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	15 15 15 15 15 15 15 15 15 15 15 15 15 1	24.00	15,600 10,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 12,000 0,000 12,000 0,
444 45 46 47 48 49 50 51 53 54 55 56 57 58 60 61 62 63 64 65 66 67 68 69 70 71 72 73	SWEPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utilary control Material Testing & Inspections during construction Utilary control Material Testing & Inspections during construction Utilary control Material Testing & Inspections 21/SF existing Testures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technologs & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geot Termal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	15 15 15 15 15 15 15 15 15 15 15 15 15 1	24.00	15,600 10,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 12,000 0,000 12,000 0,
444 45 46 47 48 49 50 51 52 53 54 55 66 67 68 69 70 71 72 73 74	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Bullets Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Faxtures, Furnishings & Equipment Allowance \$24/8F new Faxtures, Furnishings & Equipment Allowance \$212/8F existing Technologs & Computer Equipment Allowance \$212/8F existing Gootchmical subsurface investigation Goo Thermal Test Well Infrastracter Equipment Connections by Owner Moving and Redection Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Hasardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems LIEED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	IS IS IS IS IS IS IS IS	24.00	15,600 10,000 0,000 0,000 0,000 0,000 0,000 0,000 0,000 1,0000 0,000 1,0000 0,000 1,0000 0,000 0
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44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75	SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Phinian Costs for Construction Documents Phiase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Buiklers Risk Insurance Quality Control Material Testing & Inspections during construction Uility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/8F new Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Comprouter Equipment Allowance Energy & Unliny Rebates Georchincial subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Redocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Autenient Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Campagia Facilitation Fundariasing Constanting & grant writing	Site Work Const Building Const	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	IS IS IS IS IS IS IS IS	24.00 12.00 5.00	15,600 10,000 0,000 0,000 0,000 0,000 0,000 0,000 12,000 12,000 0,000 12,000 0



Option E.1 - Total Project Budget

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/13/21 KE
	FEH - Total Project Budget - Option	on E.1				
Buil	DESCRIPTION Iding Construction Costs:		QTY	UNIT	COST/SF	TOTALS
	New Construction					
1	County Courthouse - New construction		0	SF	220.00	0
2	County Courthouse - Historic Renovation		0	SF	145.00	0
3	County Sheriff & Jail - New Construction		0	SF	357.00	0
5	County Sheriff & Jail - Renovation County Engineering (maintenance)		0	SF SF	165.00 168.00	0
6	County Roads, 280' x 110'		31,000	SF	132.00	4,092,000
7	Bunkers		1,400	SF	70.00	98,000
				SubTotal	1	4,190,000
		Design / Bid	Conting	ency 10%		419,000
		Building Construction	Costs 5	SubTotal		4,609,000
		Constructio				230,450
e:+o	Work Construction Costs	BUILDING CONSTI	RUCTIO	ON COS	T TOTAL	\$4,839,450
11			16,000	SF	7	112,000
12			0	EA	750	0
	Remove foundations - eng		16,000	SF	1	16,000
	Hazard Material survey, sample, test for site demo		1	LS	2500	2,500
	Hazardous material abatement New Parking Spaces		4,000 14	SF SF	3,000.00	16,000 42,000
	New Parking Spaces New Drive Lane		4,800	LS	5,000.00	42,000 28,800
18			0	LF	12.00	0
19	Emergency Generator		0	SF	8.00	0
21	Storm Sewer		0	LF	32	20.000
22	Domestic Water Sanitary Sewer - septic field, grese separator		200 600	LF LF	100 38	20,000 22,800
	Electrical service, transformer		1	LS	24,000	24,000
	Relocate power lines & poles		0	LS	20,000	0
	Fill material		650	CY	27	17,550
	Retaining Walls Pedestrian Paving,		100 800	LF SF	120 5.00	12,000 4,000
	Lawns & Landscaping		10,000	SF	3.00	10,000
30	Benches and site furniture, donated		0	LS	4,000	0
31	**		0	LS	30	0
32	Flag pole		1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building Storm Water Detention - underground		0	LS SF	24,000 12.00	0
35	Parking lot lighting		6	EA	1,900	11,400
	Parking lot lighting Solar Panels -	Design / Bic	Conting		1,900 1,730	11,400 103,800 445,650 44,565 490,215
35		Site Work Construction Construction	Contings Costs 5	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 445,650 44,565 490,215 24,511
35		Site Work Construction	Contings Costs 5	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 445,650 44,565 490,215
35 36	Solar Panels -	Site Work Construction Construction	Contings Costs 5	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 445,650 44,565 490,215 24,511
35 36		Site Work Construction Construction	Contingent Costs Start Contingent Costs Start Contingent Costs Start Cost S	SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726
35 36 	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees	Site Work Construction Construction	Contingent Costs Star Contingent Costs Star Contingent Costs Star Contingent Costs Star Cost Star Costs Star Cost Cost Cost Cost Cost Cost Cost Cost	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726 0 5,000 401,563
35 36 	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	Contingent Costs Star Contingent Costs Star Contingent Costs Star Contingent Costs Star Cost Star Costs Star Cost Star Costs Star Costs Star Costs Star Costs Star Costs Star Co	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726 0 5,000 401,563 160
35 36 	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction Construction	Contingent Costs Start Contingent Costs Start Contingent Costs Start Contingent Costs Start Costs Star	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726 0 5,000 401,563 160 6,240
35 36 	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	Contingent Costs Star Contingent Costs Star Contingent Costs Star Contingent Costs Star Cost Star Costs Star Cost Star Costs Star Costs Star Costs Star Costs Star Costs Star Co	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726 0 5,000 401,563 160
35 36 	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Fees Givil Engineering Design Fees Sire Survey Sire NPDP & NPDES plans, permits and reviews Site Survey	Site Work Construction Construction	Contingent Costs Stan	SubTotal ency 10% SubTotal gency 5% ON COS IS IS IS IS IS IS IS IS	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726 0 5,000 401,563 160 6,240 15,000 8,000
35 36 40 41 42 43 44 45 46 47 48	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	Site Work Construction Construction	Contingent Costs Strategy Costs Stra	SubTotal ency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 445,650 44,565 449,215 24,511 \$514,726 0 5,000 401,563 160 6,240 15,000 8,000 5,000
35 36 	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Site Work Construction Construction	Contingent Costs Stan	SubTotal ency 10% SubTotal gency 5% ON COS IS IS IS IS IS IS IS IS	1,730	103,800 445,650 44,565 490,215 24,511 \$514,726 0 5,000 401,563 160 6,240 15,000 8,000
35 36 40 41 42 43 44 45 46 47 48 49	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	Site Work Construction Construction	Contingent Costs State Contingent Costs State Costs St	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	1,730	103,800 445,650 445,650 440,565 490,215 24,511 \$514,726 0 5,000 401,563 160 6,240 15,000 8,000 5,000 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52	Land Acquisition Lagal Fess Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NFDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring, Instidiction Plan Review Permits and Fees	Site Work Construction Construction	60 Continge on Costs \$ 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 445,650 44,565 40,0215 24,511 5514,726 0 5,000 1,000 15,000 5,000 12,000 0 0 12,000 0 0 2,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees Givil Engineering Design Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Sites Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budlers Risk Insurance	Site Work Construction Construction	Continged a Continged and Continged a Cont	SubTotal ency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 445,550 44,545 40,2515 24,511 \$514,726 5,000 6,240 1,560 5,000 0 0 1,1,000 1,1,000 1,1,000 0 0 0 0
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction	Site Work Construction Construction	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	1,730	103,800 445,650 444,565 440,215 24,511 \$514,726 0 5,000 401,565 5,000 6,240 5,000 0 0 0 2,000 2,000 3,5000 3,5000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction	Site Work Construction Construction	Continged a Continged and Continged a Cont	SubTotal ency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 445,550 44,545 40,2515 24,511 \$514,726 5,000 6,240 1,560 5,000 0 0 1,1,000 1,1,000 1,1,000 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SwPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal flunding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological survey Authority Haring, Institiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/SF: new Fixtures, Furnishings & Engipment Allowance \$24/SF: new	Site Work Construction Construction	60 Contingo a Cost \$ a Contingo a Cost \$ 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,750	103,800 44,550 44,550 44,550 40,0215 24,511 0 0 5,000 10,000 15,000 15,000 0 12,000 0 12,000 0 2,000 0 5,000 18,000 5,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fee Architectural & Engineering Design Fees Information & Technology Resign Fees Information & Technology Resign Fees Information & Technology Resign Fees Information & Information Informatio	Site Work Construction Construction	Continged Costs S Continged Costs S Co	KW	1,730	103,800 445,550 44,0,251 24,511 \$514,726 5,000 6,240 1,503 5,000 0 0 1,2,000 0 1,2,000 0 1,2,000 0 5,5,000 4,000 4,000 1,000 6,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Land Acquisition Legal Free Architectural & Engineering Design Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal fluiding planning and reporting requirements Printing Costs for Construction Documents Pinstel environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/SF new Fixtures, Furnishings & Engipment Allowance \$12/SF existing Technology & Computer Engipment Allowance Energy & Utility Rebates	Site Work Construction Construction	Continged Costs S Cost	KW	1,750	103,800 445,650 443,565 440,265 440,265 540,211 \$514,726 5,000 6,240 1,500 0 0 12,000 0 2,000 35,000 3,000 0 48,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fee Architectural & Engineering Design Fees Information & Technology Resign Fees Information & Technology Resign Fees Information & Technology Resign Fees Information & Information Informatio	Site Work Construction Construction	Continged Costs S Continged Costs S Co	KW	1,750	103,800 44,550 44,550 44,550 40,0215 24,511 0 0 5,000 10,000 15,000 15,000 0 12,000 0 12,000 0 2,000 0 5,000 18,000 5,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000 18,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Construction Decounterts Phase I environmental or archeological surveys Authority Having Instriction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/SF new Fixtures, Furnishings & Engipment Allowance \$24/SF setsing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical Subsurface investigation	Site Work Construction Construction	60 Continge of Costs \$ a Continge of Costs \$ 1	KW	1,750	103,800 445,550 44,555 440,5215 24,511 8514,726 0 5,000 100 100 15,000 0 0 1,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63	Land Acquisition Lagal Fee Architectural & Engineering Design Fees Information & Technology Resign Fees Information & Technology Resignment Allowance S12/SF existing Technology & Computer Taginpment Allowance S12/SF existing Technology & Computer Taginpment Allowance S12/SF existing Technology & Computer Taginpment Allowance Incept & Unitin Rebates Inconductor & Technology Resignment Allowance Incept & Unitin Rebates Information & Technology Resignment Allowance Incept & Unitin Rebates Information & Technology Resignment Allowance Incept & Unitin Rebates Information & Technology Resignment Allowance Stagneric Resignment Allowance Information & Technology Resignment Allowance Stagneric Resignment Resignment Allowance Stagneric Resignment Allowance Stagneric Resignment Allowance Stagneric Resignment Resignment Allowance Stagneric Resignment	Site Work Construction Construction	60 Continge of Costs \$ 1	KW SubTotal	1,730 T TOTAL	103,800 445,550 44,555 440,251 540,211 \$\$14,726 5,000 100 100 5,000 0 0 1,000 0 0 0 2,000 0 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$12/SF existing Technology & Computer Engipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.)	Site Work Construction Construction	60 Continged to Control 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 T TOTAL	103,800 445,550 44,545 490,261 540,261 5514,726 5,000 6,240 1,563 1,500 0 1,2,000 1,2,000 3,5,000 0 0 2,000 0 48,000 0 0 1,0,000 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Sire Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engineeral Allowance \$24/SF new Fixtures, Furnishings & Engineeral Allowance \$24/SF sees Technology & Computer Engineeral Allowance \$24/SF sees Fixtures, Furnishings & Engineeral Allowance \$24/SF new Fixtures, Furnish	Site Work Construction Construction	60 Continge of Costs \$ 1	KW SubTotal	1,730 T TOTAL	103,800 445,550 44,555 440,251 540,211 \$\$14,726 5,000 100 100 5,000 0 0 1,000 0 0 0 2,000 0 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 1,000 0 0 0
35 36 36 36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$12/SF existing Technology & Computer Engipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.)	Site Work Construction Construction	60 Continge to Control 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 T TOTAL	103,800 445,650 445,650 440,6215 24,511 5514,726 0 5,000 10 10 15,000 11,000 12,000 0 12,000 48,000 0 10,000 11,000 10,0
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68	Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees Sirver Beginnering Conferencion Design Fees Sirver Beginnering Construction Design Fees Design Beginnering Construction of Construction Office Sirver Beginnering Construction Office	Site Work Construction Construction	60 Continged to the control of the	SwhTotal	1,730 T TOTAL	103,800 445,650 44,565 40,245 50,000 50,000 160 6,240 15,000 0 10,000 5,000 0 0 12,000 0 0 14,000 0 14,000 0 15,000 0 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 68 66 67 68 69	Land Acquisition Lagal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursalté expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Decuments Phase I environmental or archeological surveys Auufnority Having Instinction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures (Domputer Equipment Allowance Fixtures (Domputer Equipment Allowance Fixtures (Test Well Infrastructre Equipment Connections by Owner Moving and Bedication Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material surveys sample & test for buildinge Hazardous Material Surveys sample & test for buildinge Hazardous Material Surveys sample & test for buildinge	Site Work Construction Construction	60 Contingent of the continue	KW SubTroid SubT	1,730 T TOTAL	103,800 445,550 44,545 490,215 24,511 \$514,726 5,000 6,240 15,000 0 0 12,000 0 48,000 0 16,000 0 16,000 0 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 66 66 66 67 68 69 70 70 70 70 70 70 70 70 70 70	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Sire Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engineeral Allowance \$24/SF new Fixtures, Furnishings & Engineeral Allowance \$24/SF new Fixtures, Furnishings & Engineeral Allowance \$24/SF existing Technology & Computer Engineeral Allowance \$24/SF existing Technology & Computer Engineeral Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructre Engineeral Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardows Material Motatement Conceptual design planning	Site Work Construction Construction	GOODSTAND	SW SubTotal	1,730 T TOTAL	103,800 445,650 44,5650 44,06215 24,511 8514,726 0 5,000 100 100 100 100 100 100 100 100 100
35 36 40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 70 71	Land Acquisition Lagal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursalté expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Decuments Phase I environmental or archeological surveys Auufnority Having Instinction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures (Domputer Equipment Allowance Fixtures (Domputer Equipment Allowance Fixtures (Test Well Infrastructre Equipment Connections by Owner Moving and Bedication Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material surveys sample & test for buildinge Hazardous Material Surveys sample & test for buildinge Hazardous Material Surveys sample & test for buildinge	Site Work Construction Construction	60 Contingent of the continue	KW SubTroid SubT	1,730 T TOTAL	103,800 445,550 44,545 490,215 24,511 \$514,726 5,000 6,240 15,000 0 0 12,000 0 48,000 0 16,000 0 16,000 0 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 43 44 45 65 55 56 67 55 56 66 67 68 69 67 67 68 69 77 17 27 27 37 3	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees Furnishing Design Fees Sirvil Engineering Sirvil Engineering Sirvil Engineering Conformance with federal flunding planning and reporting requirements Printing Construction Decuments Phase I environmental or archeological surveys Authority Harbing Institiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/SF new Fixtures, Furnishings & Engipment Allowance \$12/SF existing Technology & Computer Engipment Allowance \$12/SF existing Technology & Computer Engipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructre Engipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidection ceremonies Owner provided Communications equipment Hazardou Material Surveys sample & test for buildings Hazardou Material Abatement Gonceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other austianability certification services Space Needs Programming	Site Work Construction Construction	Gontings of Contings (Contings of Contings	SW SwbTotal	1,730 T TOTAL	103,800 445,650 44,565 40,2615 24,511 \$514,726 5,000 5,000 6,240 15,000 0 10,000 12,000 0 12,000 0 14,000 0 14,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 44 44 45 45 56 66 67 68 69 69 70 71 72 73 74 74 74 74 74 74 74 74 74 74 74 74 74	Land Acquisition Legal Fres Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NYDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having, Insidiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance S1/SF existing Technology & Computer Equipment Allowance Geotechnical subsurface investigation Geot Thermal Test Well Infastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of femporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Abarement Conceptual design planning Historic Preservation assessments & services Communication of systems LEED or other systamability certification services Space Needs Programming Referendum Campaign Facilitation	Site Work Construction Construction	Gontingon (Continue Continue C	SW SubTotal	1,730 T TOTAL	103,800 44,550 44,550 44,550 40,0215 54,511 514,726 0 5,000 0 10,000 15,000 12,000 12,000 12,000 12,000 14,000 16,
35 36 44 40 41 42 43 45 56 57 58 59 66 66 66 66 66 66 66 67 70 71 72 72 73 74 75 74 75	Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finading planning and reporting requirements Printing Costs for Construction Decouments Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/\$F new Fixtures, Furnishings & Engipment &	Site Work Construction Construction	Gontings of Contings (Contings of Contings	SW SwbTotal	1,730 T TOTAL	103,800 445,650 44,5650 44,5650 40,2615 5,000 5,000 100 100 100 100 100 100 100 100 100
35 36 44 44 45 45 56 66 67 68 69 69 70 71 72 73 74 74 74 74 74 74 74 74 74 74 74 74 74	Land Acquisition Legal Fres Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NYDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having, Insidiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance S1/SF existing Technology & Computer Equipment Allowance Geotechnical subsurface investigation Geot Thermal Test Well Infastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of femporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Abarement Conceptual design planning Historic Preservation assessments & services Communication of systems LEED or other systamability certification services Space Needs Programming Referendum Campaign Facilitation	Site Work Construction Construction SITE WORK CONST!	Goods S of Contings (Contings of Contings	SwbTotal	1,730 T TOTAL	103,800 445,650 44,565 40,215 24,511 \$514,726 5,000 6,240 15,000 0 15,000 0 0 15,000 0 0 15,000 0 0 10,000 0 0 10,000 0 0 10,000 0 11,000 0 0 0
35 36 44 40 41 42 43 45 56 57 58 59 66 66 66 66 66 66 66 67 70 71 72 72 73 74 75 74 75	Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finading planning and reporting requirements Printing Costs for Construction Decouments Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/\$F new Fixtures, Furnishings & Engipment &	Site Work Construction Construction SITE WORK CONST!	Gontingen of the continue of t	SwbTotal SwbTotal	1,730 T TOTAL	103,800 445,650 44,5650 44,5650 40,2615 5,000 5,000 100 100 100 100 100 100 100 100 100
35 36 44 45 46 46 55 56 56 56 66 66 67 68 69 70 71 72 72 73 74 75 75 75 75 75 75 75 75 75 75 75 75 75	Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finading planning and reporting requirements Printing Costs for Construction Decouments Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engipment Allowance \$24/\$F new Fixtures, Furnishings & Engipment &	Site Work Construction Construction SITE WORK CONST!	60 Continged to the continue of the continue	Swh Total	1,730 T TOTAL	103,800 44,550 44,550 40,0215 24,511 514,726 0 5,000 0 10,000 15,000 0 12,000 0 12,000 0 12,000 0 16,000 20,000 0 0 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0

	Owner: Worth County Project No.: 2020	317		Date:	5/13/21
	Project : Facility Planning Phase: Conceptual De	sign		Estimator:	KE
	FEH - Total Project Budget - Option E.2				
	DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Buil	ding Construction Costs:				
	New Construction			ĺ	
1	County Courthouse - New construction	0	SF	220.00	0
2	County Courthouse - Historic Renovation	0	SF SF	145.00 357.00	0
3 4	County Sheriff & Jail - New Construction County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	0	SF	168.00	0
6	County Roads, 280' x 110'	31,000	SF	132.00	4,092,000
7	Bunkers	1,400	SF	70.00	98,000
8	County Conservation Recycling - move pole barn to new foundation	9,060 8,000	SF SF	140.00 80.00	1,268,400 640,000
	recoming anote pose pain to new roundation	0,000			
	n ·	(mile :	SubTota		6,098,400
	Building Constru	Bid Conting			6,708,240
		ection Contin			335,412
	BUILDING CO				\$7,043,652
Site	Work Construction Costs				¥1,010,000
11	Structure Deconstruction -	0	SF	7	0
12	Remove trees	0	EA	750	0
13	Remove foundations -	8,000	SF	1	8,000
14	Hazard Material survey, sample, test for site demo	0	LS	2500	0
15	Hazardous material abatement New Parking Spaces	0	SF	2 000 00	49.000
16 17	New Parking Spaces New Drive Lane	16 4,800	SF LS	3,000.00	48,000 28,800
18	Concrete Curb and Gutter	0	LF	12.00	20,000
19	Emergency Generator	0	SF	8.00	0
21	Storm Sewer	0	LF	32	0
22	Domestic Water Senitary Sewer - senite field grosse senarator	220 750	LF LF	100 38	22,000 28,500
23	Sanitary Sewer - septic field, grease separator Electrical service, transformer	750	LF	24,000	28,500 24,000
25	Relocate power lines & poles	0	LS	20,000	- 1,000
26	Fill material	650	CY	27	17,550
27	Retaining Walls	100	LF	120	12,000
28 29	Pedestrian Paving, Lawns & Landscaping	800 10,000	SF SF	5.00	4,000 10,000
30	Benches and site furniture, donated	0	LS	4,000	10,000
31	Roof canopy	0	LS	30	0
	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	0	LS SF	24,000 12.00	0
	Storm Water Detention - underground Parking lot lighting	6	EA	1,900	11,400
	Solar Panels -	60	KW	1,730	103,800
			SubTotal	ī	320.850
	Design	/ Bid Continu	SubTota		320,850
	Design, Site Work Constru	/ Bid Conting	ency 10%		320,850 32,085 352,935
	Site Work Constru	ction Costs	ency 10% SubTota	ı	32,085
	Site Work Constru	ction Costs	ency 10% SubTotal	i I	32,085 352,935
	Site Work Constru Constru	ction Costs	ency 10% SubTotal	i I	32,085 352,935 17,647
40	Site Work Constru Constru	ction Costs	ency 10% SubTotal	i I	32,085 352,935 17,647
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41 42	Site Work Constru Constru SITE WORK CO Land Acquisition Logal Fees Architectural & Engineering Design Fees	ction Costs section Contin NSTRUCT 1 1 1	gency 10% SubTota gency 5% ION CO LS LS LS	i I	32,085 352,935 17,647 \$370,582 0 5,000 556,068
41 42 43	Site Work Constru Constru SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	ction Costs action Contin NSTRUCT 1 1 1 1	SubTota gency 5% ION CO LS LS LS LS LS	i I	32,085 352,935 17,647 \$370,582 0 5,000 556,068 2,000
41 42	Site Work Constru Constru SITE WORK CO Land Acquisition Logal Fees Architectural & Engineering Design Fees	ction Costs section Contin NSTRUCT 1 1 1	gency 10% SubTota gency 5% ION CO LS LS LS	i I	32,085 352,935 17,647 \$370,582 0 5,000 556,068
41 42 43 44 45 46	Site Work Constru Constru STE WORK CO Land Acquisition Lagal Fee Information & Technology Design Fees Information Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews	STRUCT 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	gency 10% SubTota gency 5% ION CO I.S I.S I.S I.S I.S I.S	i I	32,085 352,935 17,647 \$370,582 0 5,000 556,068 2,000 15,000 15,000
41 42 43 44 45 46 47	Site Work Constru Constru SITE WORK CO Land Acquisition Land A	Continuous	gency 10% SubTotal gency 5% ION CC I.S I.S I.S I.S I.S I.S I.S I.S	OST TOTAL	32,085 352,935 17,647 \$370,582 0 5,000 550,008 2,000 15,600 15,000 8,000
41 42 43 44 45 46 47	Site Work Constru Constru STE WORK CO Land Acquisition Land Acquisition Langal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gval Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	ction Costs action Contin NSTRUCT 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	gency 10% SubTotal gency 5% ION CO I.S I.S I.S I.S I.S I.S I.S I.S I.S I.	i I	32,085 352,935 17,647 \$370,582 0 5,000 556,068 2,000 15,000 15,000
41 42 43 44 45 46 47	Site Work Constru Constru SITE WORK CO Land Acquisition Land A	Continuous	gency 10% SubTotal gency 5% ION CC I.S I.S I.S I.S I.S I.S I.S I.S	OST TOTAL	32,085 352,935 17,647 \$370,582 0 5,000 556,068 2,000 15,600 15,000 5,000 5,000
41 42 43 44 45 46 47 48 49	Site Work Constru Constru STE WORK CO Land Acquisition Lagal Fee Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Plass I environmental or archoological survers	ction Costs action Contin NSTRUCT 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	gency 10% SubTotal gency 5% ION CO LS	OST TOTAL	32,085 352,935 17,647 \$370,582 0 5,000 15,600 15,600 8,000 5,000
41 42 43 44 45 46 47 48 49 50 51	Site Work Constru Constru STE WORK CO Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Sinformation & Technology Design Fees Simplify selection, bidding Fees Card Engineering Design Fees SwPPP & NPDES plans, permits and reviews Sint Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Plans I environmental or archeological surveys Authority Having prindiction Plan Review Permits and Fees	1	LS L	OST TOTAL	32,085 352,935 17,647 3370,582 0 5,000 556,068 2,000 15,600 5,000 6,000 0 12,000 0 12,000
41 42 43 44 45 46 47 48 49 50 51 52 53	Site Work Construct Construct Land Acquisition Langel Fees Land Acquisition Langel Fees Land Acquisition Langel Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Card Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal flanding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Banders Risk Insurance	1	LS	OST TOTAL	32,085 32,035 32,035 37,647 370,682 0 0 5,00000 5,00000 0 0 12,0000 0 0 2,000
41 42 43 44 45 46 47 48 49 50 51	Site Work Constru Constru STE WORK CO Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Sinformation & Technology Design Fees Simplify selection, bidding Fees Card Engineering Design Fees SwPPP & NPDES plans, permits and reviews Sint Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Plans I environmental or archeological surveys Authority Having prindiction Plan Review Permits and Fees	1	LS	OST TOTAL	32,085 32,035 32,035 370,582 \$370,582 0 5,000 15,000 0 0 12,000 0 0 2,000 5,000 0 2,000 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53	Site Work Constru Constru SITE WORK CO Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDIS plans, permits and reviews Six Survey Six Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Planse I centromental or archeological surveys Authority Having jurisdiction Plan Review Fermits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner	ction Costs uction Contin NSTRUCT 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	LS	OST TOTAL	32,085 32,035 32,035 37,647 370,682 0 0 5,00000 5,00000 0 0 12,0000 0 0 2,000
41 42 43 44 45 46 47 48 49 50 51 52 53 54	Site Work Constru Constru STE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Simple Seems S	1	IS IS IS IS IS IS IS IS	DST TOTAL.	32,085 332,933 370,582 370,582 0 5,0000 5,0000 15,000 15,000 0 0 2,0000 0 2,0000 6,0000 6,0000 6,0000 10,0000
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furrishing Design, selection, bidding Fees Gwil Engineering Design Fees SWEPP & XPDES plans, permits and reviews Six Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Plass I environmental or archeological surveys Authority Having Juridiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Downer Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance	1	IS	SST TOTAL	32,085 32,035 32,035 37,047 \$370,582 0 5,000 5,000 15,000 5,000 0 0 12,000 0 12,000 0 2,000 0 2,000 0 12,000 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Site Work Constru Constru STE WORK CO Land Acquisition Land Ac	1	SubTotal	DST TOTAL.	32,085 332,933 17,647 \$370,582 0 5,0000 15,000 15,000 12,0000 0 0 25,000 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furrishing Design, selection, bidding Fees Gwil Engineering Design Fees SWEPP & NYPICS plans, permits and reviews Six Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Plass I environmental or archeological surveys Authority Having Juridiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Dyware Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance	1	IS	DST TOTAL.	32,085 332,933 370,582 370,582 0 5,0000 5,0000 15,000 15,000 0 0 2,0000 0 2,0000 6,0000 6,0000 6,0000 10,0000
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Site Work Constru Constru SITE WORK CO Land Acquisition Legel Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPP & APDINS plans, permits and reviews Site Survey Site Survey Reimbursable expense by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Planse I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/5F existing Technology & Computer Equipment Allowance Energe & Utility Rebates Grotechnical Substructive interestingtion	1	IS	DST TOTAL.	32,085 352,935 352,935 3570,582 0 0 5,0000000 15,00000 15,00000 0 0 2,0000 0 12,0000 0 12,0000 0 0 12,0000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 60 61 62 63	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees Cavil Engineering Design Fees Cavil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Sive Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Plans I convironmental or archeological surveys Authority Having jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Gottchical Substratific envisitigation Got Themul Test Well Infristructor Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.)	NSTRUCT	SubTota 10%	24.00 12.00	32,085 352,035 352,035 352,035 3570,582 300 300 300 300 300 300 300 300 300 30
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64	Site Work Constru Constru STE WORK CO Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Fursishing Desays, section, bidding Fees Gral Engineering Design Fees STEP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Peninge Costs for Construction Documents Please I environmental or archeological survey Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Unlity costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Exerge & Ulling Rebates Goot Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Reducation Expenses (technology, workstations, equipment, etc.) Moving and Reducation Expenses (technology, workstations, equipment, etc.)	1	15	24.00 12.00	32,085 332,935 370,582 \$370,582 \$570,582 \$5,0000 \$5,0000 \$1,50000 \$0,0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Site Work Constru Constru SITE WORK CO Land Acquisition Legal Fees Archatectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Size Survey SwiPP & NPDES plans, permits and reviews Size Survey Reimbursable expense by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Size Size Size Size Size Size Size Size		IS	24.00 12.00	32,085 332,933 370,582 370,582 5370,582 5,0000 5,0000 15,0000 15,0000 6,0000 6,0000 6,0000 120,0000 120,0000 16,0000 1
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64	Site Work Constru Constru STE WORK CO Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Fursishing Desays, section, bidding Fees Gral Engineering Design Fees STEP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Peninge Costs for Construction Documents Please I environmental or archeological survey Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Unlity costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Exerge & Ulling Rebates Goot Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Reducation Expenses (technology, workstations, equipment, etc.) Moving and Reducation Expenses (technology, workstations, equipment, etc.)	1	15	24.00 12.00	32,085 332,935 370,582 \$370,582 \$570,582 \$5,0000 \$5,0000 \$1,50000 \$0,0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Land Acquisition Legal Fees Archatectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees (See Language See Lang	1	SubTota SubT	24.00 12.00	32,085 332,935 37,947 \$370,582 0 5,0000 5,0000 15,000 0 0 0 2,0000 0 12,000 0 0 2,0000 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 68 69	Site Work Constru Constru SITE WORK CO Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sire Survey Particle Onto for Construction Documents Planting Const for Construction Documents Planting Const for Construction Documents Planting Const for Construction Documents Planting Construction Decomment of archeological survey Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Tecting & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Exerge & Ullink Rebates Gootechnical subsurface investigation Goot Thermal Text Well Infrastructre Equipment Connections by Owner Moving and Reducation Expenses (technology, workstations, equipment, etc.) Rever of temporary space Ground breaking and dedictation ceremonies Owner provided Communications sequipment Hazardous Material Abstences Conceptual design planning	section Costs section Control 1	gency 10% SubTota	24.00 12.00	32,085 332,935 370,582 \$370,582 \$570,582 \$570,582 \$5,0000 \$5,0000 \$1,5,000 \$2,0000 \$2,0000 \$2,0000 \$2,0000 \$2,0000 \$3,0000 \$4,
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70	Site Work Constru Constru STE WORK CO STE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Size Survey Reimbursable expense by the design team Conformance with federal funding planning and reporting requirements Size Survey Reimbursable expense by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing, & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$24/\$F new Fixtures, Furnishings & Enginement Allowance \$125/\$F existing Technology & Computer Enginement Allowance Energy & Utility Rebates Geotechnical subsurface investigation Goo Thermal Test Wall Information Testing Rebates Geotechnical subsurface investigation Goo Thermal Test Wall Informatic Testing Rebates Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Survey sample & test for buildings Hazardous Material Abstruces (Section Section Septement Section Sect		SubTota SubT	24.00 12.00	32,085 332,935 370,582 370,582 570,582 5,000 5,000 15,000 15,000 0 0 2,000 0 0 15,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 68 69 70 71	Size Work Constru Constru SITE WORK CO Land Acquisition Architectural & Engineering Design Fees Architectural & Engineering Design Fees Furnishing Design Acception, bidding Fees Grid Engineering Design Fees SWPP & AVDISS plans, permits and reviews Site Survey Recimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environment of a recheological survey Authority Having Jurisdiction Dran Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Unlity costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/8F new Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Gortechnical subsurface investigation Goot Thermal Test Well Infrastructer Equipment Connections by Owner Fixtures, Furnishing & Equipment Allowance Stays of the Stay	section Constant Section Sectio	SubTota SubT	24.00 12.00	32,085 332,935 37,947 \$370,582 0 5,0000 5,0000 15,0000 15,0000 0 0 2,0000 12,0000 0 12,0000 0 0 12,0000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70	Site Work Constru Constru STE WORK CO STE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Size Survey Reimbursable expense by the design team Conformance with federal funding planning and reporting requirements Size Survey Reimbursable expense by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing, & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$24/\$F new Fixtures, Furnishings & Enginement Allowance \$125/\$F existing Technology & Computer Enginement Allowance Energy & Utility Rebates Geotechnical subsurface investigation Goo Thermal Test Wall Information Testing Rebates Geotechnical subsurface investigation Goo Thermal Test Wall Informatic Testing Rebates Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Survey sample & test for buildings Hazardous Material Abstruces (Section Section Septement Section Sect		SubTota SubT	24.00 12.00	32,085 332,935 370,582 370,582 570,582 5,000 5,000 15,000 15,000 0 0 2,000 0 0 15,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72	Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Elegimenting Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Sire Survey Reimbursable express section, bidding Fees Gral Engineering Design Fees Sive Survey Reimbursable express by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Planse I environment or archeological surveys Authority Having Intisdiction Plan Review Permits and Fees Owner's Buddeen Risk Insurance Quality Control Martaril Testing & Inspections during construction Unlifer costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Fixtures, Furnishings &		September 10%	24.00 12.00	32,085 332,935 370,582 \$370,582 \$570,582 \$570,582 \$5,000 \$5,000 \$15,000 \$0 \$2,000 \$0 \$2,000 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0 \$0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 74 75 74 75 76 76 77 77 77 77 77 77 77 77	Site Work Constru Constru STE WORK CO SITE WORK CO SITE WORK CO Land Acquisition Logal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Siminguesting Design Fees SwiPP & NPDES plans, permits and reviews Sim Survey Reimbursable expense by the design team Conformance with federal finding planning and reporting requirements Printing, Costs for Construction Documents Plans 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing, & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$24/\$F new Fixtures, Furnishings & Enginement Allowance \$128/\$F essiting Technology & Computer Enginement Allowance Size(\$F essiting) Technology & Computer Enginement Allowance Goot Thermal Test Will Informative Testing and Redication terremonies Goot Thermal Test Will Informative Testing and Redication ceremonies Governed Testing and Redication eremonies Governed Testing and Redication services segment Hazardous Material survey sample & test for buildings Hazardous Material Abatement Conceptual design planning Referendan Campaign Facilitation Fundamising Constanting & grant writing		SubTotal SubTotal	24.00 12.00	32,085 332,035 332,035 3370,582 0 5,000 5,000 15,000 15,000 15,000 10 10 10 10 10 10 10 10 10 10 10 10
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74	Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Elegimenting Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Sire Survey Reimbursable express section, bidding Fees Gral Engineering Design Fees Sive Survey Reimbursable express by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Planse I environment or archeological surveys Authority Having Intisdiction Plan Review Permits and Fees Owner's Buddeen Risk Insurance Quality Control Martaril Testing & Inspections during construction Unlifer costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Fixtures, Furnishings &	section Constant	Section 10%	24.00 12.00 5.00	32,085 332,935 37,947 \$370,582 0 5,0000 5,0000 15,0000 0 0 0 2,0000 12,0000 0 0 0 2,0000 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Sire Survey Reinformation & Technology Design Fees Sive Survey Particle Costs for Construction Documents Plantiage Inside Insurance Quality Control Material Tecting & Inspections during construction Unlifty costs during Construction by Owner Fixtures, Furnishings & Engineera Allowance \$12/SF existing Technology & Computer Engineer	NSTRUCT	SubTota 10% SubTota 15	24.00 12.00	32,085 332,035 3370,582 \$370,582 \$570,582 \$5,000 \$5,0000 \$15,000 \$0,000 \$25,00
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 74 75 74 75 76 76 77 77 77 77 77 77 77 77	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWEPP & NPDES plan, permits and reviews Site Survey Reimburshle expense by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Under Costs of Construction Documents Printing Fundaction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Cornor Material Testing & Inspections during construction Unlifty costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$25/SF existing Technology & Computer Equipment Allowance Exercise United States (September 1) Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Abstruenes Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sestambility certification services Space Needs Programming Referend men Campaign Faciliation Fundraising Consultanting & grant writing Soft Cost Contingency	NSTRUCT	SubTotal	24.00 12.00	32,085 332,935 370,582 370,582 5700,582 5,0000 5,0000 15,000 0 0 12,0000 2,0000 0 0 16,0000 0 0 16,0000 0 0 16,0000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 74 75 74 75 76 76 77 77 77 77 77 77 77 77	Site Work Constru Constru SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWEPP & NPDES plan, permits and reviews Site Survey Reimburshle expense by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Under Costs of Construction Documents Printing Fundaction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Cornor Material Testing & Inspections during construction Unlifty costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$25/SF existing Technology & Computer Equipment Allowance Exercise United States (September 1) Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Abstruenes Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sestambility certification services Space Needs Programming Referend men Campaign Faciliation Fundraising Consultanting & grant writing Soft Cost Contingency	NST RUCT	SubTotal SubTotal	24.00 12.00	32,085 332,035 3370,582 \$370,582 \$570,582 \$5,000 \$5,0000 \$15,000 \$0,000 \$25,00



Option G - Total Project Budget

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/25/21 KE
					Estimator.	N.
	FEH - Total Project Budget - Option DESCRIPTION	<u>u</u>	QTY	UNIT	COST/SF	TOTALS
Buil	lding Construction Costs:					
	New Construction					
2	County Courthouse - New construction County Courthouse - Historic Renovation		4,400 12,600	SF SF	220.00 145.00	968,000 1,827,000
3	County Sheriff & Jail - New Construction		0	SF	357.00	1,027,000
4	County Sheriff & Jail - Renovation		5,000	SF	165.00	825,000
6	County Engineering (maintenance) County Roads		0	SF SF	168.00 0.00	
7	County Conservation		0	SF	0.00	
				SubTotal		3,620,000
		Design / Bid			_	362,000
		Building Construction	Costs :	SubTotal		3,982,000
		Construction				199,100
0:	Work Construction Costs	BUILDING CONSTR	UCTIC	ON COS	ST TOTAL	\$4,181,100
11			0	SF	7	
12			0	EA	750	
13	Remove foundations - eng		0	SF	1	-
14 15			0	LS SF	2500	
15			14	SF	3,000.00	42,00
17	New Drive Lane		0	LS	6.00	
18	Concrete Curb and Gutter		0	LF	12.00	20.00
19 21	Emergency Generator Storm Sewer		0	LS LF	20,000.00	20,000
	Domestic Water		60	LF	100	6,00
23			60	LF	38	2,28
24 25			0	LS	24,000 20,000	24,000
	Fill material		180	CY	27	4,86
27			0	LF	120	
28 29	Pedestrian Paving, Lawns & Landscaping		1,200 5,000	SF SF	5.00	6,000 5,000
30	Benches and site furniture, donated		0	LS	4,000	3,00
31	Roof canopy		0	LS	30	
	Flag pole Directional & Informational Signage - signage, electronic site sign and building		0	LS	2,800 24,000	
	Storm Water Detention - underground		0	SF	12.00	
35	Parking for lighting Solar Panels -	Design / Bid	Conting		1,900 1,730	1,900 103,800 215,844 21,58 237,42
35			Conting	KW SubTotal ency 10% SubTotal	1,730	103,800 215,840 21,58-
35		Site Work Construction	Conting	SubTotal ency 10% SubTotal gency 5%	1,730	103,80 215,84 21,58 237,42
35 36	Solar Panels -	Site Work Construction Construction	Conting Costs ! Conting	SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,80 215,84 21,58 237,42 11,87
35 36 40	Solar Pands - Land Acquisition	Site Work Construction Construction	Conting Costs ! Conting UCTIO	SubTotal ency 10% SubTotal gency 5% DN COS	1,730	103,80 215,84 21,58 237,42 11,87 \$249,295
35 36 40 41	Solar Panels -	Site Work Construction Construction	Conting Costs ! Conting	SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,80 215,84 21,58 237,42 11,87
35 36 	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	Conting Costs Conting UCTIO	SubTotal ency 10% SubTotal gency 5% ON COS LS LS LS LS	1,730	103,800 215,844 21,584 237,42 11,87 \$249,295
35 36 40 41 42 43 44	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction Construction	Conting Costs Conting Costs Conting Co	SubTotal ency 10% SubTotal gency 5% DN COS LS LS LS LS LS LS	1,730	103,800 215,844 21,58 237,42 11,87 \$249,295 5,000 332,28 6,400 34,32
35 36 40 41 42 43 44	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Purnishing Design, selection, budding Fees Givil Engineering Design Fees	Site Work Construction Construction	Conting Costs ! Conting Costs ! Conting Contin	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S	1,730	103,800 215,844 21,58 237,42 11,87 \$249,295 5,000 332,286 6,400 34,322 8,000 5,000
35 36 40 41 42 43 44 45 46 47	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Grid Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey	Site Work Construction Construction	Conting Costs ! Conting UCTIO	SubTotal ency 10% SubTotal gency 5% DN COS LS	ST TOTAL	103,800 215,844 21,58 237,42 11,87 \$249,295 5,000 33,32,28 6,400 34,52 8,000 4,500
35 36 40 41 42 43 44 45 46	Land Acquisition Legal Fees Architectural & Fingineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPP & NIDES plans, permits and reviews	Site Work Construction Construction	Conting Costs ! Conting Costs ! Conting Contin	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S	1,730	103,800 215,844 21,58 237,42 11,87 \$249,295 5,000 332,286 6,400 34,322 8,000 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50	Land Acquisition Lagal Fees Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Ferrishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Decuments	Site Work Construction Construction	Conting Costs !	SubTotal ency 10% SubTotal gency 5% I.S	ST TOTAL	103,800 215,844 21,58 237,427 11,87 \$249,295 5,000 332,28 6,400 4,500 4,500 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees Givil Engineering Design Fees SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents	Site Work Construction Construction	Conting Costs !	KW SubTotal ency 10% SubTotal gency 5% DN COS LS L	ST TOTAL	103,800 215,844 21,58 237,42 11,878 \$249,295 5,000 332,28 6,400 5,000 5,000 5,000 10,000
35 36 40 41 42 43 44 45 46 47 48 49 50	Land Acquisition Lagal Fees Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Ferrishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Decuments	Site Work Construction Construction	Conting Costs !	SubTotal ency 10% SubTotal gency 5% I.S	ST TOTAL	103,800 215,844 21,58 237,427 11,87 \$249,295 5,000 332,28 6,400 4,500 4,500 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I enriconnental or archoological surveys Authority Having Justisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction	Site Work Construction Construction	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal SubT	ST TOTAL	103,800 215,848 21,548 111,87 \$249,295 5,000 34,33 32,28 5,000 4,500 10,000 10,
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Land Acquisition Lagal Fres Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NIPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Justificion Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Unity costs during Construction by Owner	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs ! 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	ST TOTAL	103,800 215,84 21,58 21,42,42 11,87 \$249,295 5,000 5,000 5,000 10
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I enriconnental or archoological surveys Authority Having Justisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal SubT	ST TOTAL	103,800 215,848 21,548 111,87 \$249,295 5,000 34,33 32,28 5,000 4,500 10,000 10,
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fres Architectural & Engineering Design Fees Information & Technology & Design Fees & Technolo	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs ! Conting II 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	1,730	103,800 215,844 21,588 237,424 11,877 \$249,295 5,000 34,320 5,000 10,000 10,000 15,000 15,000 15,000 24,000 24,000 24,000
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Land Acquisition Lagal Fiess Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Plaste I enrironmental or archeological surveys Authorisy Having Jurisdiction Plan Review Permits and Fees Owner's Budlers Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixture, Furnishing & Engipment Allowance \$24/SF new Fixture, Furnishing & Engipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs: Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 237,42 11,87 \$249,295 5,000 34,33 33,28 8,000 10,000 110,000 15,0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fres Architectural & Engineering Design Fees Information & Technology & Design Fees & Technolo	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs ! Conting I	SubTotal	1,730	103,800 215,844 21,588 21,584 21,587 31,87 31,87 5,000 5,000 5,000 10,000 5,000 10,000 5,000 10,000 5,000 10,000 11,5000 6,000 12,000 13,000 14,000 15,000 1
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Grid Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with decal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printer Costs for Construction Documents Printer Costs for Construction Documents Printing Fundamental Cost of Cost Cost Cost Cost Cost Cost Cost Cost	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs 3 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 21,48 21,48 3249,295 5,000 5,000 10,000 10,000 10,000 110,000 80,000 110,000 100,000 100,000 100,000 100,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furrishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authorint Haring Instinction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/8F new Fixtures, Furnishings & Equipment Allowance \$21/8F existing Technology & Computer Equipment Allowance Energy & Unity Rebates Georethesical shartface investigation Gieo Thermal Test Well Infastructre Equipment Connections by Owner	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 21,58 21,58 21,42 11,87 5,000 5,000 5,000 10,000 15
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Grid Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with decal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printer Costs for Construction Documents Printer Costs for Construction Documents Printing Fundamental Cost of Cost Cost Cost Cost Cost Cost Cost Cost	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs 3 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 21,48 21,48 3249,295 5,000 5,000 10,000 10,000 10,000 110,000 80,000 110,000 100,000 100,000 100,000 100,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technologe & Technologe & Construction Demonstrate or archeological survers Authority Having Jurisdiction Plan Review Permits and Fees Owner's Baudies Rist Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$21/SF existing Technologe & Computer Equipment Allowance Energy & Unlin Rebates Gootechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Rebotation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 21,58 21,58 21,58 21,58 5,000 5,000 5,000 10,000 11,000 15,000 15,000 10
35 36 40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Purasibing Design Seeston, budding Fees Grid Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal furting planning and reporting requirements Printing Costs for Construction Documents Plase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Marical Testing & Engoections during construction Utility costs during Construction by Owner Fistures, Furnishing & Engipment Allowance \$24/SF new Fistures, Furnishing & Engipment Allowance \$1/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Gootechnical subsurface investigation Geio Thermal Test Well Infastratoric Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material survey sample & test for buildings	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,844 21,588 21,484 21,580 5,000 5,000 10,000 10,000 6,000 110,000 6
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technologe & Technologe & Construction Demonstrate or archeological survers Authority Having Jurisdiction Plan Review Permits and Fees Owner's Baudies Rist Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$21/SF existing Technologe & Computer Equipment Allowance Energy & Unlin Rebates Gootechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Rebotation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 21,58 21,58 21,58 21,58 5,000 5,000 5,000 10,000 11,000 15,000 15,000 10
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66 66 66 66 67 68 69 70 70 70 70 70 70 70 70 70 70	Land Acquisition Lagal Fers Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, building Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixture, Furnishing & Engipment Allowance \$24/8F new Fixtures, Furnishing & Engipment Allowance \$12/8F existing Technology & Computer Engipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infastractor Engipment Connections by Owner Moving and Relocation Expenses (technologe, workstations, equipment, etc.) Rent of temporary space Ground breating and dedidication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Hastoric Preservation assessments & services	Site Work Construction Construction SITE WORK CONSTR	60 Conting Costs 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal Engy 10%	1,730	103,800 215,84 215,84 21,58 21,42 21,58 5,000 5,000 10,000 10,000 10,000 10,000 60,000 40,000 40,000 10,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66 66 66 66 66 66 66 66	Land Acquisition Lagal Fres Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Princing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Testing & Inspections during construction Unliting costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Unliny Rebates Gioretherical substrates investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Reciston Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Justement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems	Site Work Construction Construction SITE WORK CONSTR	GO Conting Costs 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 215,84 21,58 21,58 21,42 11,87 \$249,295 5,000 5,000 10,000 15,000 20,000 15,000 6,000 6,000 15,000 10,000 10,000 10,000 10,000 10,000 10,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 67 70 70 70 70 70 70 70 70 70 7	Land Acquisition Lagal Fers Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, building Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixture, Furnishing & Engipment Allowance \$24/8F new Fixtures, Furnishing & Engipment Allowance \$12/8F existing Technology & Computer Engipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infastractor Engipment Connections by Owner Moving and Relocation Expenses (technologe, workstations, equipment, etc.) Rent of temporary space Ground breating and dedidication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Hastoric Preservation assessments & services	Site Work Construction Construction SITE WORK CONSTR	60 Contings UCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal Programmer Sub	1,730	103,800 215,84 21,58 21,58 21,58 21,58 21,42 21,58 5,000 5,000 5,000 1,000 1,000 20,000 20,000 40,000 40,000 5,000 10,000 30,000 10,000 30,000 10,000 30,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Prinsing, Costs for Construction Documents Phase I environmental or archoological survevs Authority Having, Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Cortor Marcial Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishings & Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geor-technical subsurface investigation Geo Thermal Test Well Infastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, wordstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abattement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Campagia Taciliation	Site Work Construction Construction SITE WORK CONSTR	Goods 3 Conting Costs 3 Conting Costs 3 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 215,84 21,58 21,58 21,42 11,87 \$249,295 5,000 5,000 10,0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 70 71 72 73	Land Acquisition Lagal Fies Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NIPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Justification Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Unity costs during Construction by Owner Fixture, Furnishing & Engineeric Allowance \$24/8F new Fixture, Furnishing & Engineeric Allowance \$25/8F existing Technology & Computer Equipment Allowance Linegy & Unity Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Engineeric Annocious by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breating and dedulcation ceremonies Owner provided Communications equipment Hazardous Material I valuement Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation Fundarising Constitutions	Site Work Construction Construction SITE WORK CONSTR	GOOTHINGS TO THE PROPERTY OF T	KW SubTotal Sub	1,730	103,800 215,844 21,584 21,424 11,87 \$249,295 5,000 5,000 10,000
35 36 440 45 464 45 55 56 56 56 66 66 66 66 66 66 66 66 66	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Prinsing, Costs for Construction Documents Phase I environmental or archoological survevs Authority Having, Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Cortor Marcial Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishings & Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance \$12/87 existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geor-technical subsurface investigation Geo Thermal Test Well Infastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, wordstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abattement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Campagia Taciliation	Site Work Construction Construction SITE WORK CONSTR	Goodings (1) (1) (1) (1) (1) (1) (1) (1) (1) (1)	KW SubTotal	1,730	103,800 215,844 21,584 21,424 11,87 \$249,292 5,000 5,000 10,000
35 (36) (40) (41) (42) (43) (44) (44) (45) (46) (47) (48) (49) (49) (49) (49) (49) (49) (49) (49	Land Acquisition Lagal Fies Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NIPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Justification Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Unity costs during Construction by Owner Fixture, Furnishing & Engineeric Allowance \$24/8F new Fixture, Furnishing & Engineeric Allowance \$25/8F existing Technology & Computer Equipment Allowance Linegy & Unity Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Engineeric Annocious by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breating and dedulcation ceremonies Owner provided Communications equipment Hazardous Material I valuement Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation Fundarising Constitutions	Site Work Construction Construction SITE WORK CONSTR	Gonting William 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 215,84 21,58 21,58 21,58 21,42 11,87 \$249,295 \$0,000 \$0,

	Owner: Worth County Project No.: 2020			Date:	5/13/21
	Project: Facility Planning Phase: Conceptual De	sign		Estimator:	KE
	EDH Total Buston Buston Outline H				
	FEH - Total Project Budget - Option H				
	DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Buil	ling Construction Costs:				
	New Construction			l i	
1	County Courthouse - New construction	9,800	SF	220.00	2,156,00
2	County Courthouse - Historic Renovation	12,600	SF	145.00	1,827,00
3	County Sheriff & Jail - New Construction	12,610	SF	357.00	4,501,77
4	County Sheriff & Jail - Renovation	5,000	SF	165.00	825,00
5 6	County Engineering (maintenance) County Roads	3,000	SF SF	168.00	504,00
7	County Roads County Conservation	0	SF	0.00	
	,				
			SubTota		9,813,77
		/ Bid Conting			981,37
	Building Constru				10,795,14
		ection Contin			539,75
	BUILDING CON	STRUCTION	ON CO	ST TOTAL	\$11,334,904
Site	Work Construction Costs				
11	Structure Deconstruction - Engineering & Maintenance	3,170	SF	7	22,19
12	Remove trees	6	EA	750	4,50
13	Remove foundations - eng	2,000	SF	1	2,00
14	Hazard Material survey, sample, test for site demo Hazardous material abatement	4,000	LS SF	2500	2,50 16,00
16	New Parking Spaces	26	SF	3,000.00	78,00
17	New Drive Lane	1,600	LS	5,000.00	9,60
18	Concrete Curb and Gutter	320	LF	12.00	3,84
19	Children's Outdoor Program area	0	SF	8.00	
21	Storm Sewer	180	LF	32	5,76
22	Domestic Water	60	LF	100	6,00
23	Sanitary Sewer	120	LF LS	38	4,56
24	Electrical service, transformer Relocate power lines & poles	0	LS	24,000 20,000	24,00
26	Fill material	450	CY	20,000	12,15
27	Retaining Walls	0	LF	120	12,10
28	Pedestrian Paving,	2,600	SF	5.00	13,00
29	Lawns & Landscaping	31,200	SF	1	31,20
30	Benches and site furniture, donated	0	LS	4,000	
31	Roof canopy	0	LS	30	
32	Flag pole Directional & Informational Signage - signage, electronic site sign and building	0	LS LS	2,800 24,000	24,00
34	Directional & informational signage - signage, electronic site sign and building Storm Water Detention - underground	0	SF	12.00	24,00
35	Parking lot lighting	8	EA	1,900	15,20
35 36	Solar Panels -	8 60 / Bid Conting	KW SubTota	1,900 1,730	15,20 103,80 378,30 37,83
	Solar Panels -	60 / Bid Conting	KW SubTota gency 10%	1,900 1,730	103,80 378,30
	Solar Panels - Design Site Work Constru	60 / Bid Conting	SubTota gency 10% SubTota	1,900 1,730	103,80 378,30 37,83
	Solar Panels - Design Site Work Constru	/ Bid Conting ction Costs	SubTota gency 10% SubTota gency 5%	1,900 1,730	103,80 378,30 37,83 416,13
	Solar Panels - Design Site Work Constru Constr	/ Bid Conting ction Costs	SubTota gency 10% SubTota gency 5%	1,900 1,730	103,80 378,30 37,83 416,13 20,80
36	Solar Panels - Design Site Work Constru Constr	/ Bid Conting ction Costs action Contin STRUCTIO	SubTota gency 10% SubTota gency 5% ON CO	1,900 1,730	103,80 378,30 37,83 416,13 20,80
36 40 41	Solar Panels - Design Site Work Constru Constru SITE WORK CON Land Acquisition Lagal Fees	/ Bid Conting ction Costs section Contin	SubTota gency 10% SubTota gency 5% ON CO	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937
36 40 41 42	Solar Panels - Design Site Work Constru Constr SITE WORK CON Land Acquisition Legal Fees Architectural & Engineering Design Fees	/ Bid Conting ction Costs action Conting STRUCTIO	SubTota gency 5% ON CO I.S I.S	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937
36 40 41 42 43	Solar Panels - Design Site Work Constru Constru Land Acquisition Land Acquisition Legal Fes Architectural & Engineering Design Fes Information & Technology Design Fes	/ Bid Conting ction Costs section Contin STRUCTION 1 1 1 1 1 1 1	SubTota gency 10% SubTota gency 5% ON CO: LS LS LS LS	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937 5,00 882,88 9,60
36 40 41 42 43 44	Solar Panels - Design Site Work Constru Constru Land Acquisition Land Acquisition Land Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	/ Bid Conting ction Costs action Contin STRUCTIC	SubTota gency 10% SubTota gency 5% ON CO LS LS LS LS LS LS	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937 5,00 882,88 9,60 62,40
36 40 41 42 43	Solar Panels - Design Site Work Constru Constru Land Acquisition Land Acquisition Legal Fes Architectural & Engineering Design Fes Information & Technology Design Fes	/ Bid Conting ction Costs section Contin STRUCTION 1 1 1 1 1 1 1	SubTota gency 10% SubTota gency 5% ON CO: LS LS LS LS	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937 5,00 882,88 9,60
40 41 42 43 44 45	Solar Panels - Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Lapal Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews SWPPP & NPDES plans, permits and reviews Six Servery	/ Bid Conting to Conting the Conting to Conting the Conting to Conting the Con	SubTota gency 10% SubTota gency 5% ON CO: I.S I.S I.S I.S I.S I.S	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937 5,00 882,88 9,60 62,40
40 41 42 43 44 45 46 47 48	Solar Panels - Design Site Work Constru Constru Land Acquisition Legal Fee Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cord Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	/ Bid Conting ction Costs action Contin STRUCTION 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTota gency 10% SubTota gency 5% ON CO: I.S. I.S. I.S. I.S. I.S. I.S. I.S. I.	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937 5,00 882,88 9,60 62,40 8,00 5,00 4,50 5,00
40 41 42 43 44 45 46 47 48 49	Solar Panels - Design Site Work Constru Constru Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design, selection, bidding Fees Gwil Engineering Design Fees Furnishing Design, selection, bidding Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	60 / Bid Conting ction Costs section Contin STRUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTota gency 10% SubTota gency 5% ON CO I.S I.S I.S I.S I.S I.S I.S I.S I.S I.	1,900 1,730	103,80 378,30 37,83 416,13 20,80 \$436,937 5,00 62,40 62,40 4,50 5,00
40 41 42 43 44 45 46 47 48 49 50	Solar Panels - Design Site Work Constru Constru Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Cord Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Partning Costs for Construction Documents	/ Bid Conting ction Costs section Contin STRUCTIO	SubTota gency 10% SubTota gency 5% ON CO: I.S. I.S. I.S. I.S. I.S. I.S. I.S. I.	1,900 1,730	103,80 378,30 37,83 416,13 20,88 \$436,937 5,00 882,88 80,00 62,44 4,50 5,00
40 41 42 43 44 45 46 47 48 49 50 51	Solar Panels - Design Site Work Constru Constru Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Grill Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reinbursable expenses by the design team Conformate with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys	60	SubTota gency 10% SubTota gency 5% ON CO I.S I.S I.S I.S I.S I.S I.S I.S I.S I.	1,900 1,730	103,800 378,30 37,8,30 416,13,13 20,800 \$436,937 5,000 62,40 4,50 5,000 12,000
40 41 42 43 44 45 46 47 48 49 50	Solar Panels - Design Site Work Constru Constru Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Cord Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Partning Costs for Construction Documents	/ Bid Conting ction Costs section Contin STRUCTIO	SubTota gency 10% SubTota gency 5% ON CO: I.S. I.S. I.S. I.S. I.S. I.S. I.S. I.	1,900 1,730	103,80 378,30 37,83 416,13 20,88 \$436,937 5,00 882,88 80,00 62,44 4,50 5,00
40 41 42 43 44 45 46 47 48 49 50 51	Solar Panels - Design Site Work Constru Constr Land Acquisition Land Acquisition Land Acquisition Land Person Site Work CON Land Acquisition Land Information & Technology Design Fees SWPPP & NPDISS plans, permits and reviews Six Survey Reimburshe expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Plans I environmental or archeological surveys Plans I environmental or archeological surveys	60	SubTota	1,900 1,730	103,80 378,30 37,83 416,131 20,80 \$436,937 5,00 82,288 8,00 62,40 4,50 5,00 12
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Solar Panels - Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Fernishing Design, selection, hidding Fees Grid Engineering Design Fees SWPPP & NPDIS's plans, permits and reviews Site Survey Reimburshle expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Individucion Plan Review Permits and Fees Owner's Baildeer Risk Insurance Quality Control Material Testing & Inspections during construction Ultility costs during Construction b Owner	60 / Bid Conting ction Costs action Conting 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTota	1,900 1,730	103,800 578,30 416,13 20,80 \$436,937 5,00 5,00 5,00 5,00 12,00 12,00 12,00 5,00 5,00 12,00 5,00 5,00 5,00 5,00 5,00 5,00 5,00
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56	Solar Panels - Design Site Work Constru Constru Land Acquisition Legal Fes Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gril Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Initialization Plan Review Permits and Fees Owner's Bailers Risk Insurance Quality Control Material Testing & Impections during construction Utility costs during Construction by Owner Fittures, Furnishings & Equipment Allowance \$24/8F new	60 Bid Conting Fig. Fig	KW SubTota SubTota gency 10% SubTota gency 5% ON CO IS	1,900 1,730	103,800 378,30 37,83 416,131 20,800 \$436,937 5,000 62,40 4,50 5,000 12,000 2,000 35,000 35,000 35,000 48,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Solar Panels - Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Person Site Work Construction Land Acquisition L	60 / Bid Conting ction Costs particle 1 1 1 1 1 1 1 1 1 1 1 2 20,000 17,600	KW SubTota	1,900 1,730	103,800 578,300 578,300 37,833 416,131 20,800 \$436,937 5,000 5,000 5,000 5,000 12,000 2,000 5,000 8,00
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Design Site Work Constru Construct Land Acquisition Land Acquis	60 / Bid Conting ction Costs ction Costs 1 1	KW SubTota	1,900 1,730	103,800 378,30 37,83 416,131 20,800 \$436,937 5,000 62,40 4,50 5,000 12,000 2,000 35,000 35,000 35,000 48,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Design Site Work Constru Construction Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Grill Engineering Design, selection, bidding Fees Grill Engineering Design, selection, bidding Fees SWPPD & NPDES plans, permits and reviews Site Survey Site Survey Reinbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological survey Authority Having lurisdiction Plan Review Permits and Fees Owner's Bailers Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$12/SF new Fixtures, Furnishings & Enginement Allowance Fixtures, Furnishings & Enginement Allowance Feenly & Utility Robates	60 / Bid Conting ction Costs particle 1 1 1 1 1 1 1 1 1 1 1 2 20,000 17,600	KW SubTota	1,900 1,730	103,800 378,30 37,83 416,131 20,800 \$436,937 5,000 62,40 4,50 5,000 12,000 35,000 35,000 800 800 800 800 800 800 800 800 800
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Design Site Work Constru Construct Land Acquisition Land Acquis	60 / Bid Conting ction Costs section Contin 1 1 1 1 1 1 1 1 1 1 1 1 20,000 1 1,600 24,000 1	KW SubTota SubTota	1,900 1,730	103,800 578,300 578,300 37,833 416,131 20,800 \$436,937 5,000 5,000 5,000 5,000 12,000 2,000 5,000 8,00
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Solar Panels - Design Site Work Constru Construct Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDIS's plans, permits and reviews Site Survey Reimburable expense by the design team Conformance with federal funding planning and reporting requirements Perinting Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Individucion Plan Review Permits and Fees Owner's Baildeer Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical Sawbarfee investigation	60 / Bid Conting ction Costs lection Costs 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTota	1,900 1,730	103,800 578,30 37,83 416,13 20,80 \$436,937 5,00 5,00 6,240 8,000 5,00 12,00 12,00 480,00 480,00 480,00 1211,20 1211,20,00
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 60 61 62 63	Design Site Work Constru Construct Land Acquisition Land Acquisition Acquis	60	KW SubTota	1,900 1,730	103,800 578,30 578,30 476,13 20,80 \$436,937 5,00 62,40 62,40 5,00 5,00 12,00 5,00 12,00 12,00 12,00 12,00 12,00 10
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 8 60 61 62 63 64	Design Site Work Constru Constru SITE WORK CON Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cert Engineering Design, selection, bidding Fees Cert Engineering Design, selection, bidding Fees SWPPP & NPDES plans, permits and reviews Site Survey Site Survey Frainting Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Intridiction Plan Review Permits and Fees Owner's Bailers Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance S24/SF new Fixtures, Furnishings & Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geottechnical subsurface investigation Geot Thermal Test Well Infrastructe Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space	60	KW SubTota	1,900 1,730	103,800 378,30 37,83 37,83 416,13,13 20,800 \$436,937 5,000 62,40 4,50 5,000 12,00 12,00 35,000 211,20 211,20 211,20 20,00 5,000 6,000 6,000
40 41 42 43 44 45 50 51 52 53 54 55 60 61 62 63 64 65	Design Site Work Constru Constr SITE WORK CON Land Acquisition	60	KW	1,900 1,730	103,800 578,30 37,83 416,13 20,80 \$436,937 5,00 5,00 6,00 12,00 12,00 12,00 12,00 120,00 120,00 120,00 120,00 120,00 120,00 120,00 140,00 140,00 140,00 140,00
40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65 66	Design Site Work Constru Construct Land Acquisition Evaluation	60	KW	1,900 1,730	103,800 378,30 378,30 37,83 416,13 20,800 \$436,937 5,000 62,40 4,50 5,000 12,000 21,00
40 41 42 43 44 45 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 66 67	Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NPDISS plans, permits and reviews Six Survey Reimburable expense by the design team Conformance with feeder Infanting planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Indication Plan Review Permits and Fees Owner's Baildeer Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/\$Fi new Fixtures, Furnishing & Equipment Allowance \$24/\$Fi existing Technology & Computer Equipment Allowance \$25/\$Fi existing Technology & Computer Equipment Allowance Energy & Utility Rebates Gottechnical subsurface investigation Geo Thermal Test Well Infrastructae Equipment Connections by Owner Moving and Redocation Expenses (technology, workstations, equipment, etc.) Rever of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Materia Survey sample & test for buildings	60	SubTota	1,900 1,730	103,800 578,300 578,300 37,833 416,133 20,800 \$436,937 \$5,000 \$5,000 \$5,000 \$5,000 \$12,000 \$480,000 \$2
40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65 66	Design Site Work Constru Construct Land Acquisition Evaluation	60	KW	1,900 1,730	103,800 578,300 578,300 578,300 476,131 20,801 5,000 5,000 5,000 12,000 5,000 12,000 12,000 12,000 10,000 10,000 40,000 40,000 40,000 40,000 10,500
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 66 61 62 63 64 65 66 66 67 68	Solar Panels - Design Site Work Constru Construct STTE WORK CON Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Cord Engineering Design, selection, hidding Fees Gent Engineering Design Fees SWPPP & NPDE'S plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Planse I environmental or archeological surveys Authority Having Indication Plan Review Permits and Fees Owner's Builder Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF esting Technology & Computer Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures Furnishings & Equipment Allowance Gottchical substratic investigation Got Themal Test Well Infrastructre Equipment Connections by Owner Moving and Redocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Survey sample & test for buildings Hazardous Material Survey sample & test for buildings	60	SubTota	1,900 1,730	103,800 578,300 578,300 37,833 416,133 20,800 \$436,937 \$5,000 \$5,000 \$5,000 \$5,000 \$12,000 \$480,000 \$2
40 41 42 43 44 45 50 51 52 53 54 55 56 67 62 63 64 65 66 66 67 68 69	Design Site Work Constru Construct SITE WORK CON Legal Fee Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cord Engineering Design, selection, bidding Fees SWPPP & NPDES plans, permits and reviews Sites Survey Reimburusble expenses by the design team Conformance with federal finding planning and reporting requirements Printing Const for Construction Documents Phase 1 environmental or archeological surveys Authority Having Invidiction Plan Review Permits and Fees Owner's Bailers Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/8F new Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Gortechnical subsurface investigation Geot Thermal Test Well Infrastructe Equipment Connections by Owner Infrastructe Equipment Connections by Owner Infrastructer Equipment Connections by Owner Conceptual design planning Owner provided Communications equipment Hazardous Material Survey sample & est for buildinge	60	SubTota	1,900 1,730	103,800 378,30 37,83 37,83 416,13 20,800 \$436,937 5,000 62,40 4,50 5,000 12,000 12,000 211,20 211,20 211,20 20,000 40,000 40,000 40,000 5,000 5,000 5,000 60
40 41 42 43 44 45 46 47 48 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 67 70	Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NPDISS plans, permits and reviews Site Survey Reimburable expense by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Indication Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance S24/SF new Fixtures, Furnishings & Equipment Allowance S24/SF sesting Technology & Computer Equipment Allowance S26 Energy & Utility Relates Geotechnical subsurface investigation Geo Themal Test Well Infrastructe Enginement Connections by Owner Moving and Relocation Expenses (rechnology, workstations, equipment, etc.) React of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Survey sumple & test for buildings Hazardous Material Survey sumple & test for buildings Hazardous Material Survey sumple & test for buildings Hazardous Material Pating Bailers LiteDot or the sextationality certification services	60	SubTota	1,900 1,730	103,800 578,300 578,300 37,833 20,800 \$436,937 5,000 5,000 5,000 12,000 480,000 12,000 10,000 60,000 40,000 10,000
40 41 42 43 44 45 50 51 52 53 54 66 67 68 69 70 71 72 73	Design Site Work Constru Construct STTE WORK CON Land Acquisition Legal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gent Engineering Design Fees SWPPP & NPDES plans, permits and reviews Sites Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Planse I environmental or archeological surveys Authority Having juridiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing, & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF esting Technology & Computer Equipment Allowance Fixtures, Furnishings & Equipment Allowance Fixtures Computer Equipment Allowance Geotechnical solution facilities and Gent Monance Gent Monance Monance Gent Monance Gent Monance Gent Monance Gent Monance Gent Monance Gent Mona	60	SubTota	1,900 1,730	103,800 578,30
36 40 41 42 43 44 45 50 51 52 53 54 60 61 62 63 64 65 66 67 70 71 72 73 74	Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Six Survey Reimburable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Indiction Plan Review Permits and Fees Owner's Baildees Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$125/\$F existing Technology & Computer Equipment Allowance Size Six	60	SubTota	1,900 1,730	103,800 578,300 578,300 37,833 20,801 5,000 5,000 5,000 12,000 5,000 12,000 10,
40 41 42 43 44 45 50 51 52 53 54 55 56 67 68 69 70 71 72 73 74 75	Design Site Work Constru Construct Land Acquisition Land Acquisition & Control Acquisition Land Land Acquisition La	60	SubTota SubT	1,900 1,730	103,800 578,30 578,30 476,13 20,801 5,000 5,000 62,40 8,000 5,000 12,000 12,000 12,000 10,000
40 41 42 43 44 45 50 51 55 56 67 68 69 70 71 72 73 74	Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Six Survey Reimburable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Indiction Plan Review Permits and Fees Owner's Baildees Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$125/\$F existing Technology & Computer Equipment Allowance Size Six	60	SubTota SubT	1,900 1,730	103,800 578,30 578,30 476,33 476,33 50,800 53,000 5,000 62,40 5,000 5,000 12,000 35,000 480,000 120,000 5,000 480,000 120,000 5,000 60,000 5,000 60,000 5,000 60,000 5,000 60,000 5,000 60,000
40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 67 68 69 70 71 72 73 74 75	Design Site Work Constru Constr SITE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Six Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Indication Plan Review Permits and Fees Owner's Buildeen Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Gootchemical subsurface investigation Geo Thermal Test Well Infrastructe Equipment Connections by Owner Moving and Redocation Expenses (technology, workstations, equipment, etc.) Rever of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Prescruation assessments & services Commissioning of systems LEED or other suntainability certification services Space Needs Programming Referendum Campaign Facilitation Fundraising Consultanting & grant writing Soft Cost Contingency	60	SubTota	1,900 1,730	103,800 578,300 578,300 37,833 416,133 20,800 \$436,937 \$5,000 \$5,000 \$5,000 \$5,000 \$12,000 \$40,000 \$10
36 40 41 42 43 44 45 50 51 52 53 54 55 56 67 68 69 69 70 71 72 73 74 75	Design Site Work Constru Constr STTE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Permishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NPDIS's plans, permits and reviews Sixe Survey Reimbursble expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Juridiction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspection during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/8F new Fixtures, Furnishing & Equipment Allowance \$12/8F sesting Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Survey sumple & test for buildings Hazardous Material Survey sumple & test for buildings Hazardous Material Abstrement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Computing Facilitation Fundrassing Consultating & grant writing Soft Cost Contingency	60	SubTota	1,900 1,730	103,800 578,30 578,30 476,13 20,80 \$436,937 \$436,937 \$5,00 \$5,00 \$5,00 \$5,00 \$12,00 \$6,00 \$12,00 \$10
36 40 41 42 43 44 45 50 51 52 53 54 55 56 67 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 77 77 77 77 77 77 77 77 77	Design Site Work Constru Constr STTE WORK CON Land Acquisition Land Acquisition Land Acquisition Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Permishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NPDIS's plans, permits and reviews Sixe Survey Reimbursble expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Juridiction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspection during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/8F new Fixtures, Furnishing & Equipment Allowance \$12/8F sesting Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Survey sumple & test for buildings Hazardous Material Survey sumple & test for buildings Hazardous Material Abstrement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Computing Facilitation Fundrassing Consultating & grant writing Soft Cost Contingency	60	SubTota	1,900 1,730	103,80 578,30 578,30 476,13 20,80 481,03 5436,93 5436,



Option I - Total Project Budget

	Owner: Worth County Project No.: 20 Project : Facility Planning Phase: Conceptual			Date: Estimator:	5/25/21 KE
	FEH - Total Project Budget - Option I				
	DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Buil	Iding Construction Costs:				
1	New Construction County Courthouse - New construction	0	SF	220.00	0
2	County Courthouse - Historic Renovation	0	SF	145.00	0
3	County Sheriff & Jail - New Construction	17,610	SF	357.00	6,286,770
5	County Sheriff & Jail - Renovation County Engineering (maintenance)	0	SF SF	165.00 168.00	0
6	County Engineering (maintenance) County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
			SubTotal		6,286,770
	Desig	n / Bid Conting			628,677
	Building Const				6,915,447
	Cons	struction Contin	gency 5%		345,772
	BUILDING CO	NSTRUCTI	ON CO	ST TOTAL	\$7,261,219
Site	Work Construction Costs				
11	Structure Deconstruction - small structure	300	SF	7	2,100
12	Remove trees	4	EA	750	3,000
13	· · · · · · · · · · · · · · · · · · ·	300	SF LS	1 2500	300
14	Hazard Material survey, sample, test for site demo Hazardous material abatement	0	LS SF	2500	0
16	New Parking Spaces	10	SF	3,000.00	30,000
17	New Drive Lane	2,000	SF	6.00	12,000
18	Concrete Curb and Gutter	0	LF	12.00	0
19 21	Emergency generator Storm Sewer	300	LS LF	24,000.00	24,000 9,600
22	Domestic Water	300	LF	100	30,000
23	Sanitary Sewer	300	LF	38	11,400
24	Electrical service, transformer	1	LS	24,000	24,000
25 26	Relocate power lines & poles Fill material	300	LS	20,000 27	20,000 8,100
27	Retaining Walls	0	LF	120	0,100
28	Pedestrian Paving,	1,200	SF	5.00	6,000
29	Lawns & Landscaping	20,000	SF	1	20,000
30	Benches and site furniture, donated Roof canopy	0	LS LS	4,000 30	0
32	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting Solar Panels -	2	EA KW	1,900 1,730	3,800 103,800
	Solar Panels - Desig	n / Bid Conting	KW SubTotal gency 10%	1,730	334,900 33,490
35	Solar Panels - Desig Site Work Const	gn / Bid Conting truction Costs	SubTotal gency 10% SubTotal gency 5%	1,730	103,800 334,900 33,490 368,390 18,420
35	Solar Panels - Desig Site Work Const	gn / Bid Conting truction Costs	SubTotal gency 10% SubTotal gency 5%	1,730	334,900 33,490 368,390
35 36	Solar Panels - Desig Site Work Const	gn / Bid Conting truction Costs	SubTotal gency 10% SubTotal gency 5%	1,730	103,800 334,900 33,490 368,390 18,420
35 36	Solar Panels - Desig Site Work Const Cons SITE WORK CO Land Acquisition	gn / Bid Conting truction Costs struction Contin	SubTotal gency 10% SubTotal gency 5% ON COS	1,730	103,800 334,900 33,490 368,390 18,420
35 36 40 41 42	Design	gn / Bid Conting truction Costs struction Contin NSTRUCTI 1 1 1	SubTotal gency 5% ON COS LS LS LS	1,730	103,800 334,900 33,490 368,390 18,420 \$386,810 0 5,000 535,362
35 36 40 41 42 43	Solar Panels - Desig Site Work Const Cons SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	n / Bid Conting truction Costs struction Contin NSTRUCTI	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 535,362 6,800
35 36 40 41 42 43 44	Design	gn / Bid Conting truction Costs struction Contin NSTRUCTI 1 1 1 1	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 535,562 6,800 21,840
35 36 40 41 42 43	Solar Panels - Desig Site Work Const Cons SITE WORK CO Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Covil Engineering Design Fees	n / Bid Conting truction Costs struction Contin NSTRUCTI	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 535,362 6,800
35 36 40 41 42 43 44 45	Design	ga / Bid Conting truction Costs struction Contin NSTRUCTION 1 1 1 1 1	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS LS	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 535,362 6,800 21,840 12,000
35 36 40 41 42 43 44 45 46 47 48	Solar Panels - Desig Site Work Const Const SITE WORK CO SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	my / Bid Conting truction Costs struction Costs struction Continues of the continues of the costs of the cost	SubTotal gency 10% SubTotal gency 5% ON COS LS L	ST TOTAL	103,800 334,900 368,390 18,420 \$386,810 0 5,000 5353,362 6,800 21,840 12,000 6,000
35 36 40 41 42 43 44 45 46 47 48 49	Solar Panels - Desig Site Work Const Cons SITE WORK CO SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvid Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements		SubTotal gency 10% SubTotal gency 5% ON CO: I.S. I.S. I.S. I.S. I.S. I.S. I.S. I.	st total	103,800 334,900 33,490 368,390 18,420 5,386,810 0 5,000 535,562 6,900 21,840 12,000 6,000 4,500 5,000
35 36 40 41 42 43 44 45 46 47 48	Solar Panels - Design Site Work Const Site Work Const	my / Bid Conting truction Costs struction Costs struction Continues of the continues of the costs of the cost	SubTotal gency 10% SubTotal gency 10% SubTotal gency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	ST TOTAL	103,800 334,900 33,490 368,390 18,420 \$386,810 0 5,000 535,562 6,800 21,840 12,000 6,000
35 36 40 41 42 43 44 45 46 47 48 49 50	Solar Panels - Desig Site Work Const Cons SITE WORK CO SITE WORK CO SITE WORK CO Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvid Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	gn / Bid Contingraction Costs struction Costs struction Contin	SubTotal gency 10% SubTotal gency 5% ON CO: I.S. I.S. I.S. I.S. I.S. I.S. I.S. I.	ST TOTAL	103,800 334,900 33,490 368,390 18,420 5,386,810 0 5,000 535,562 6,900 21,840 12,000 6,000 4,500 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53	Solar Panels - Desig Site Work Const SITE WORK CO Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Civil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance	60 60 60 60 60 60 60 60	KW SubTotal SubTotal SubTotal IS	ST TOTAL	103,800 334,900 33,490 368,590 18,420 5,5000 21,840 12,000 6,000 4,500 0 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0,000 0 0 0,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 50 51 52 53 54	Solar Panels - Desig Site Work Const Cons SITE WORK CO	60 8d Continue 1 1 1 1 1 1 1 1 1	KW SubTotal SubTotal SubTotal IS	ST TOTAL	103,800 334,900 33,490 368,390 18,420 \$386,810 0 5,000 21,840 12,000 6,000 4,500 0 8,000 0 0 2,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53	Solar Panels - Design Site Work Const Site Work Const	60 60 60 60 60 60 60 60	KW SubTotal SubTotal SubTotal IS	st total	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 6,000 6,000 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 50 51 52 53 54 55	Solar Panels - Desig Site Work Const Cons SITE WORK CO	60 8d Continue 1 1 1 1 1 1 1 1 1	KW SubTotal SubT	ST TOTAL	103,800 334,900 33,490 368,390 18,420 \$386,810 0 5,000 21,840 12,000 6,000 4,500 0 8,000 0 0 2,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Design Site Work Const SITE WORK CO SITE W	60 60 60 60 60 60 60 60	SubTotal	1,730	103,800 334,900 33,490 368,590 18,420 5,5000 21,840 12,000 6,000 4,500 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Design	60 8d Continue 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 334,900 33,490 368,390 18,420 5386,810 0 5,500 21,840 12,000 6,000 4,500 5,500 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Design Site Work Const Site Work Const Cons SITE WORK CO SITE WORK C	60 60 60 60 60 60 60 60	SubTotal	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 6,000 0 0 0 0 0 0 2,000 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Design	60 m / Bid Continue m / Bi	SubTotal SubTotal	1,730	103,800 334,900 33,490 368,390 18,420 5386,810 0 5,500 21,840 12,000 6,000 4,500 5,500 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61	Design Site Work Const Site Work Const Const SITE WORK CO SITE WORK	60 60 60 60 60 60 60 60	KW	1,730	103,800 334,900 33,490 368,590 18,420 5,5000 21,840 12,000 6,000 4,500 0 0 0 0 2,000 24,000 24,000 168,000 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 60 61 62 63 64	Design Site Work Const SITE WORK CO SITE W	60 8id Continue 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 334,900 33,490 33,490 368,390 18,420 5386,810 0 5,5000 21,840 12,000 6,000 4,500 0 0 2,000 24,000 4,000 0 168,000 0 0 10,000 0 10,000 0 10,000 0 10,000 0 35,000 0 35,000 0 0 10,000 0 10,000 0 3,000 0 10,000 0 0 10,000 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 0
40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65	Design Site Work Const Site Work Const Cons SITE WORK CO SITE WORK C	60 m / Bid Continue m / Bi	KW	1,730	103,800 334,900 33,490 368,390 18,420 \$386,810 0 5,000 21,840 12,000 6,000 0 8,000 0 0 4,000 168,000 168,000 0 0 10,000 20,000 20,000 38,000 0 11,500
40 41 42 43 44 45 46 47 48 50 51 52 53 54 55 55 56 67 60 61 62 63 64 65 66	Desig Site Work Const Const SITE WORK CO Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Civil Engineering Design fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Bullets Ris Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/\$F existing Fixtures, Furnishings & Equipment Allowance \$12/\$F existing Fixtures, Furnishings & Equipment Allowance Energy & Utility Rebates Geotechnical substrates investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relectation Expenses (technology, workstations, equipment, etc.) Rext of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment	60 8id Continue 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 334,900 33,490 33,490 368,390 18,420 5386,810 0 5,5000 21,840 12,000 6,000 4,500 0 0 2,000 24,000 4,000 0 168,000 0 0 10,000 0 10,000 0 10,000 0 10,000 0 35,000 0 35,000 0 0 10,000 0 10,000 0 3,000 0 10,000 0 0 10,000 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 0
40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65	Design Site Work Const Site Work Const Cons SITE WORK CO SITE WORK C	60 60 60 60 60 60 60 60	KW	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 5,000 0 0 0 0 2,000 24,000 24,000 168,000 0 0 1,500 0 0 0 3,000 0 1,500 0 0 1,500 0 0 0 1,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 66 61 62 63 64 65 66 66 67 68 69	Design	60 60 60 60 60 60 60 60	SubTotal	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 5,000 0 0 0 0 2,000 24,000 24,000 168,000 0 0 1,500 0 0 0 3,000 0 1,500 0 0 1,500 0 0 0 1,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70	Design	60 m / Bid Continue m / Bi	KW SubTotal gency 100%	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 6,000 0 0 0 0 168,000 24,000 168,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 67 68 66 67 68 69 70 71	Desig Site Work Const Cone SITE WORK CO SITE	60 60 60 60 60 60 60 60	SubTotal	1,730	103,800 334,900 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 4,500 0 0 0 0 2,000 24,000 168,000 0 0 0 24,000 168,000 0 0 10,000 0 0 10,000 0 0 1,500
35 36 40 41 42 43 44 45 50 51 52 53 54 55 66 67 68 69 69 70 71 72	Design	60 m / Bid Continue m / Bi	KW SubTotal gency 100%	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 6,000 0 0 0 0 168,000 24,000 168,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 66 67 66 67 67 67 70 71 72 73 74	Design	60 60 60 60 60 60 60 60	SubTotal	1,730	103,800 334,900 334,900 368,390 18,420 \$386,810 0 5,000 6,000 12,840 12,000 6,000 0 8,000 0 0 0,000 166,000 0 10,000 38,000 0 1,500 0 1,500 0 10,000 0 1,500 0 0 1,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75	Design	60 60 60 60 60 60 60 60	KW	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 6,000 0 0 0 0 10,000 24,000 168,000 0 0 10,000 38,000 0 0 11,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 66 67 66 67 67 67 70 71 72 73 74	Design	60 60 60 60 60 60 60 60	SubTotal	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 5,000 0 0 0 0 0 0 0 0 10,000 0 10,000 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75	Design	m / Bid Continue received to the continue rece	KW SubTotal geney 109%	1,730	103,800 334,900 334,900 33,490 368,390 18,420 \$386,810 0 5,000 6,000 12,840 12,000 6,000 0 8,000 0 166,000 166,000 10,000 38,000 0 1,500 0 1,500 0 10,000 38,000 0 1,500 0 0 1,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75	Design	60 60 60 60 60 60 60 60	KW SubTotal SubT	1,730	103,800 334,900 33,490 368,590 18,420 \$386,810 0 5,000 21,840 12,000 5,000 0 0 0 0 0 0 0 0 10,000 0 10,000 0 0 0

	Owner: Worth County Project No.			Date:	5/25/21
	Project : Facility Planning Phase: Concepts	uai Design		Estimator:	KE
	FEH - Total Project Budget - Option J				
			_		
	DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Buil	Iding Construction Costs:				
	New Construction				
1	County Courthouse - New construction	22,000	SF	220.00	4,840,000
2	County Courthouse - Historic Renovation County Sheriff & Jail - New Construction	0	SF SF	145.00 357.00	0
4	County Sheriff & Jail - New Construction County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	3,000	SF	168.00	504,000
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
			SubTotal		5,344,000
	D	esign / Bid Conting			5,344,000
		nstruction Costs			5,878,400
	C	onstruction Conting	rency 5%	_	293,920
		CONSTRUCTION			\$6,172,320
C:+o		3011011100111	1	101.112	V0,172,020
	Work Construction Costs				
11	Structure Deconstruction - Engineering & Maintenance	21,500	SF	7	150,500
12	Remove trees	12,000	EA	750	4,500
13	Remove foundations - eng Hazard Material survey, sample, test for site demo	13,000	SF LS	2500	13,000 2,500
14	Hazard Material survey, sample, test for site demo Hazardous material abatement	21,600	SF	4	2,500 86,400
16	New Parking Spaces	24	SF	3,000.00	72,000
17	New Drive Lane	3,200	SF	6.00	19,200
18	Concrete Curb and Gutter	420	LF	12.00	5,040
19	Emergency Generator	1	LS	20,000.00	20,000
21	Storm Sewer	300	LF	32	9,600
22	Domestic Water Sanitary Sewer	60	LF LF	120 50	7,200 3,000
23	Santary Sewer Electrical service, transformer	1	LS	24,000	3,000 24,000
25	Relocate power lines & poles	0	LS	20,000	24,000
26	Fill material	500	CY	27	13,500
27	Retaining Walls	0	LF	120	0
28	Pedestrian Paving,	3,200	SF	5.00	16,000
29	Lawns & Landscaping	44,000	SF	1	44,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	2.000
	Flag pole Directional & Informational Signage - signage, electronic site sign and building	1	LS LS	2,800 24,000	2,800 24,000
34	Storm Water Detention - underground	0	SF	12.00	24,000
	Parking lot lighting	8	EA	1,900	15,200
	Solar Panels -	60	KW	1,730	103,800
			SubTotal	į.	636,240
	D	orion / Bid Contino	open 109/		63 624
	Do Site Work Co	esign / Bid Conting	ency 10% SubTotal	-	63,624 699,864
	Site Work Co	enstruction Costs	SubTotal		699,864
	Site Work Co	esign / Bid Conting enstruction Costs ! construction Conting	SubTotal gency 5%		
	Site Work Co	onstruction Costs !	SubTotal gency 5%		699,864 34,993
40	Site Work Co	onstruction Costs statement on Conting	SubTotal gency 5% ON COS		699,864 34,993
	Site Work Co C SITE WORK (Land Acquisition	construction Conting	SubTotal gency 5% ON COS		699,864 34,993 \$734,857
	Site Work Co	onstruction Costs statement on Conting	SubTotal gency 5% ON COS		699,864 34,993 \$734,857
41	Site Work Co C SITE WORK (Land Acquisition Legal Fees	construction Conting	SubTotal gency 5% ON COS LS LS		699,864 34,993 \$734,857 0 5,000
41 42	Site Work Co C SITE WORK O Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees	onstruction Conting CONSTRUCTIO 1 1 1	SubTotal gency 5% ON COS LS LS LS LS		699,864 34,993 \$734,857 0 5,000 483,502
41 42 43	Site Work Co C SITE WORK (Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	onstruction Conting CONSTRUCTIO 1 1 1 1	SubTotal gency 5% ON COS LS LS LS LS LS		699,864 34,993 \$734,857 0 5,000 483,502 8,800
41 42 43 44 45 46	Site Work Co C SITE WORK (SIT	onstruction Costs : onstruction Conting CONSTRUCTIC 1 1 1 1 1 1 1 1 1 1	SubTotal gency 5% ON COS LS		699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 5,000
41 42 43 44 45 46 47	Site Work Co C SITE WORK O Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Section, bidding Fees Civil Engineering Design Fees SWPPP & NYDES plans, permits and reviews Site Survey Site Survey	onstruction Costs : onstruction Conting CONSTRUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal gency 5% DN COS LS LS LS LS LS LS LS LS LS	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 5,000 4,500
41 42 43 44 45 46 47 48	Land Acquisition Legal Fee Land Acquisition Legal Fee Furnishing Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team		SubTotal gency 5% DN COS LS LS LS LS LS LS LS LS LS		699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 4,500 4,500 5,000
41 42 43 44 45 46 47	Site Work Co C SITE WORK (SIT	onstruction Costs : onstruction Conting CONSTRUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal gency 5% DN COS LS LS LS LS LS LS LS LS LS	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 5,000 0 5,000 0 0
41 42 43 44 45 46 47 48 49	Land Acquisition Legal Fee Land Acquisition Legal Fee Furnishing Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	onstruction Costs : onstruction Conting CONSTRUCTIO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 4,500 4,500 5,000
41 42 43 44 45 46 47 48 49 50	Site Work Co C SITE WORK O Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NIPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents	onstruction Costs sonstruction Continue Construction Continue Construction Continue Construction 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 4,500 0 12,000
41 42 43 44 45 46 47 48 49 50	Land Acquisition Logal Fees Architectural & Engineering Design Fees Information & Technologe Design Fees Information & Technologe Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys	onstruction Costs sonstruction Conting CONSTRUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal gency 5%	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,502 8,8000 68,640 8,000 5,000 0 12,000 0 0
41 42 43 44 45 46 47 48 49 50 51	Site Work Co C STTE WORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SwPPP & NPDES plus, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees		SubTotal gency 5%	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,502 8,800 68,640 8,000 5,000 1,000 0 0 0 2,000
41 42 43 44 45 46 47 48 49 50 51 52 53 54	Site Work Co C SITE WORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NIPDES plans, permits and reviews Site Survey Sit	onstruction Costs onstruction Costs 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	699,664 34,993 \$734,857 0 5,000 483,502 8,800 5,000 0 12,000 0 12,000 5,000 5,000 0 0 6,000 6,000
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Site Work Co C STEWORK (STEWORK	onstruction Costs sonstruction Costs on the Cost of th	SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 5,000 8,800 8,800 5,000 0 0 12,000 0 0 2,000 5,000 5,000 0 0 2,000 5,000 0 5,000 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56	Site Work Co C STTE WORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPD & NPDES plus, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marketial Testing & Engeptions during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engepment Allowance \$24/\$F new Fixtures, Furnishings & Engepment Allowance \$24/\$F existing	onstruction Costs : construction Costs : constructi	I.S	ST TOTAL	699,864 34,993 \$734,857 0 0,5,0000 483,502 8,8000 5,0000 12,000 0 2,0000 5,0000 6,0000 6,0000 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Site Work Co C SITE WORK (SIT	onstruction Costs sometruction Costs on the Cost of th	SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 5,000 8,800 8,800 5,000 0 0 12,000 0 0 2,000 5,000 5,000 0 0 2,000 5,000 0 5,000 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Site Work Co C STIE WORK (STIE STIE WORK (STIE STIE WORK (STIE STIE WORK (STIE STIE STIE STIE STIE STIE STIE STIE	onstruction Costs : construction Costs : constructi	I.S	ST TOTAL	699,864 54,995 \$734,857 0 0 483,502 8,800 483,502 0 12,000 0 0 2,000 5,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Site Work Co C SITE WORK (SIT	onstruction Costs sometruction Costs on the Cost of th	SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 0,5,0000 483,502 8,8000 5,0000 12,000 0 2,0000 5,0000 6,0000 6,0000 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SwiPp & NPDEs plams, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Phase I environmental or archeological surveys Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility cost during Construction by Owner Fixtures, Furnishings & Faginment Allovance \$12/SP existing Technology & Computer Equipment Allovance Energy & Utility Rebates Energy & Utility Rebates	omstruction Costs on the Cost of the Cost	IS	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,362 8,800 5,000 0 12,000 0 12,000 5,000 5,000 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61	Site Work Co C SITE WORK (SITE SITE WORK (SITE SITE SITE SITE SITE SITE SITE SITE	onstruction Costs on onstruction Costs on onstruction Continue Con	SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 5,000 88,000 88,000 5,000 0 0 12,000 0 2,000 5,000 0 11,000 0 10,000 110,000 0 10,000 0 10,000 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62	Site Work Co C STIE WORK (S	onstruction Costs : construction Costs : constructi	IS	ST TOTAL	699,864 54,995 \$734,857 0 0 483,502 8,800 483,502 0 12,000 0 0 2,000 0 0 110,000 0 110,000 0 10,000 0 10,000 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Site Work Co C STIE WORK OF Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal flanding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markaril Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Fepinpment Allowance S12/SF existing Technology & Computer Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructic Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies	onstruction Costs on the contraction Costs on the contraction Continue Contraction Continue Contraction Contractio	IS	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,362 8,800 8,000 12,000 0 12,000 5,000 10,000 110,000 110,000 110,000 110,000 110,000 110,000 10,000
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66	Site Work Co C SITE WORK (SITE SITE WORK (SITE SITE SITE SITE SITE SITE SITE SITE	onstruction Costs sometruction Costs construction Continue Continu	IS	ST TOTAL	699,864 34,993 \$734,857 0 5,5000 433,502 8,800 5,5000 0 12,0000 0 20,0000 0 10,0000 1
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67	Site Work Co C STTE WORK O STEWORK O STEWORK O STEWORK O STEWORK O STEWORK O STEWORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological survey Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markarial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Geortherical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (etchnology, worlstations, equipment, etc.) Rent of temporary space Ground breaking and dediclation ecremonies Owner provided Communications equipment Hazardous Material survey sample & test for buildings	omstruction Costs : construction Costs : constructi	IS	ST TOTAL	699,864 34,993 \$734,857 0 0 5,5000 483,502 8,800 8,000 0 12,000 0 10,000 110,000 10,000 10,000 6,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 66 67 68	Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Site Survey Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal flanding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Phase I environmental or archeological surveys Oburt's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility cost during Construction by Owner Fixtures, Furnishing & Feginpment Allovance \$12/SP rext Fixtures, Furnishing & Feginpment Allovance \$12/SP sesting Technology & Computer Equipment Allovance \$12/SP sesting Technology & Computer Equipment Allovance Sizes Sesting Technology & Computer Equipment Onnections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dediclation ceremonies Owner provided Communications equipment Hazardous Material Austement	omstruction Costs sometime to Costs and Costs	IS	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,362 8,800 5,000 0 12,000 0 12,000 5,000 10,000 110,000 0 110
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69	Site Work Co C STIE WORK (ST	onstruction Costs : construction Costs : constructi	IS	ST TOTAL	699,864 54,995 \$734,857 0 0 483,502 8,800 483,502 0 12,000 0 0 2,000 0 0 10,000 0 10,000 0 0 11,500 0 0 0 0 11,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWFPP & NPDES plus, permits and reviews Site Survey SWFPP & NPDES plus, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal flanding planning and reporting requirements Prinning, Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurusfaction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Cornot Marcial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$24/87 new Fixtures, Furnishings & Enginement Allowance \$24/87 new Fixtures, Furnishings & Enginement Allowance States Geotechnical subsurface investigation Geo Thermal Test Well Infrastructic Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and declidation ceremonies Owner provided Communications equipment Hazardous Material aurvey sample & test for buildings Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services	onstruction Costs on the contraction Costs on the costs of the costs o	IS	ST TOTAL	699,864 \$734,857 0 5,5000 483,822 8,800 8,000 12,000 0 12,000 5,000 0 10,000 5,000 0 110,000 10,000
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69	Site Work Co C STIE WORK (ST	onstruction Costs : construction Costs : constructi	IS	ST TOTAL	699,864 54,995 \$734,857 0 0 483,502 8,800 483,502 0 12,000 0 0 2,000 0 0 10,000 0 10,000 0 0 11,500 0 0 0 0 11,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 62 63 64 65 66 67 68 69 70 71	Site Work Co STIE WORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPD & NDDES June, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Phissia Centriconneal or archoological survey Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Unliny costs during Construction by Owner Fixtures, Furnishings & Espinment Allowance \$24/SF new Fixtures, Furnishings & Espinment Allowance \$12/SF existing Technology & Computer Espinment Allowance Energy & Unliv Rebates Geoverhand Substractive Equipment Allowance Information Infrastructe Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems	onstruction Costs : construction Costs : constructi	IS	ST TOTAL	699,864 34,993 \$734,857 0 5,5000 433,902 8,8000 5,5000 0 12,0000 12,0000 5,5000 0 12,0000 10,0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74	Land Acquisition Legal Fiess Architectural & Engineering Design Fees Information & Technology Design Fees SWPPD & NDES Plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Priming Costs for Construction Documents Phining Costs for Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markerial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance Geor-Permit Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & ervices Commissioning of systems LEED or other sustariability certification services Space Needs Frogramming Federature Companying Technication services Space Needs Frogramming Referendum Campaign Technication	onstruction Costs : construction Costs : constructi	SubTotal SubTotal	ST TOTAL	699,864 54,995 \$734,857 0 0 483,502 8,800 483,502 8,000 0 12,000 0 2,000 0 2,000 0 110,000 0 0 110,000 0 11,500 0 0 11,500 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal flanding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authorin't Having, Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Corton't Marketal Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance S24/SF new Fixtures, Furnishings & Enginement Allowance S12/SF existing Technology & Computer Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance Benegy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space. Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Hazardous Material Abatement Lieb Or other statishibility certification services Space Needs Programming Referendum Campings Facilitation Fundariasing Constructions of the Signal Weing Referendum Campings Facilitation Fundariasing Constructions queen	omstruction Costs sometime to Costs and Costs	SubTotal SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 5,000 483,362 8,800 8,000 12,000 0 12,000 5,000 10,00
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74	Land Acquisition Legal Fiess Architectural & Engineering Design Fees Information & Technology Design Fees SWPPD & NDES Plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Priming Costs for Construction Documents Phining Costs for Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markerial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance Geor-Permit Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & ervices Commissioning of systems LEED or other sustariability certification services Space Needs Frogramming Federature Companying Technication services Space Needs Frogramming Referendum Campaign Technication	onstruction Costs : construction Costs : constructi	SubTotal SubTotal	24.00 12.00 5.00	699,864 \$734,857 0 \$734,857 0 483,562 8,800 483,562 8,000 12,000 0 0 12,000 0 10,000 0 10,000 0 11,500 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0
41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 74 75	Site Work Co STIE WORK O Legal Fiess Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Givil Engineering Design Fees SWPPP & NDES Plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Priming Costs for Construction Documents Phining Costs for Stiell Insurance Quality Control Markerial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geor-Termilar Rebates Geor-Termilar Rebates Geor-Termilar Stiell Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & ervices Commissioning of systems LEED or other sustariability certification services Space Needs Frogramming Referendum Campaign Faciliation Fundraising Consultaring & grant writing Soft Cost Contingency	Soft Cost Cost Soft Co	SubTotal	24:00 12:00 5:00	699,864 54,995 \$734,857 0 0 483,502 8,800 68,646 8,000 0 12,000 0 2,000 5,000 0 10,000 0 10,000 0 11,500 0 11,500 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0
410 420 430 441 450 460 470 488 490 500 510 520 530 540 660 671 662 663 664 665 667 670 771 772 773 774 755	Site Work Co STIE WORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Streamy Design Fees SWPPP & NPDES plus, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having fundication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markerial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/8F new Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Connections by Owner Moving and Relocation Expenses (echnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and declideation ecremonies Owner provided Communications expines Hazardous Material aurvey sample & test for buildings Hazardous Material aurvey sample & test for buildings Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sestationability certification services Space Needs Programming Referendum Campaign Facilitation Fundraining Consultaning & grant writing Soft Cost Contingency	Soft Construction Control Contro	SubTotal SubTotal	ST TOTAL	699,864 34,993 \$734,857 0 0 5,5000 483,502 8,800 5,5000 0 12,000 0 12,000 5,000 0 12,000 0 10,000 0 10,000 0 11,500 0 10,000 0 10
410 420 430 441 450 460 470 488 490 500 510 520 530 540 660 671 662 663 664 665 667 670 771 772 773 774 755	Site Work Co STIE WORK O Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Streamy Design Fees SWPPP & NPDES plus, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having fundication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markerial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/8F new Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Connections by Owner Moving and Relocation Expenses (echnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and declideation ecremonies Owner provided Communications expines Hazardous Material aurvey sample & test for buildings Hazardous Material aurvey sample & test for buildings Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sestationability certification services Space Needs Programming Referendum Campaign Facilitation Fundraining Consultaning & grant writing Soft Cost Contingency	South Construction Costs Construction Costs Construction Costs Construction Costs	SubTotal genery 59% DN COS 15 15 15 15 15 15 15 15 15 1	ST TOTAL	699,864 54,995 \$734,857 0 0 483,502 8,800 68,646 8,000 0 12,000 0 2,000 5,000 0 10,000 0 10,000 0 11,500 0 11,500 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0



Option K.1 - Total Project Budget

	Owner. Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/25/21 KE
	FEH - Total Project Budget - Optio				Louisianos .	N.
	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Bui	Iding Construction Costs:					
	New Construction		44.400	ar.	220.00	2 500 000
2	County Courthouse - New construction County Courthouse - Historic Renovation		11,400 12,600	SF SF	220.00 145.00	2,508,000 1,827,000
3	County Sheriff & Jail - New Construction		17,610	SF	357.00	6,286,770
4	County Sheriff & Jail - Renovation		0	SF	165.00	0
5	County Engineering (& maintenance)		2,000	SF	168.00	336,000
7	County Roads County Conservation		0	SF SF	0.00	0
-/-	County Conservation				Ĺ	-
		Davies / Bid		SubTotal		10,957,770 1,095,777
		Design / Bid Building Construction				12,053,547
		Construction				602,677
		BUILDING CONSTR				\$12,656,224
Site	Work Construction Costs					, , , , ,
11			3,170	SF	7	22,190
12	Structure Deconstruction - Engineering & Maintenance Remove trees		6	EA	750	4,500
13	Remove foundations - eng		2,000	SF	1	2,000
14	Hazard Material survey, sample, test for site demo		1	LS	2500	2,500
15	Hazardous material abatement		4,000	SF	2.000.0	16,000
16 17	New Parking Spaces New Drive Lane		1,600	SF LS	3,000.00 6.00	42,000 9,600
18	Concrete Curb and Gutter		320	LF	12.00	3,840
19	Children's Outdoor Program area		0	SF	8.00	0
21	Storm Sewer		180	LF	32	5,760
22	Domestic Water Sanitary Sewer		60 120	LF LF	100 38	6,000 4,560
23	Sanitary Sewer Electrical service, transformer		120	LS	24,000	4,500 24,000
25	Relocate power lines & poles		0	LS	20,000	0
26	Fill material		450	CY	27	12,150
27	Retaining Walls		2.600	LF	120	12,000
28 29	Pedestrian Paving, Lawns & Landscaping		2,600 31,200	SF SF	5.00	13,000 31,200
30	Benches and site furniture, donated		0	LS	4,000	0
	Roof canopy		0	LS	30	0
	Flag pole		0	LS	2,800	0
	Directional & Informational Signage - signage, electronic site sign and building Storm Water Detention - underground		0	LS SF	24,000 12.00	24,000
	Storm Water Detention - underground Parking lot lighting		8	EA EA	1,900	15,200
	Solar Panels -		60	KW	1,730	103,800
			60	KW	1,730	103,800
		During / Bid	60	KW SubTotal	1,730	103,800 342,300
		Design / Bic	60 1 Conting	KW SubTotal ency 10%	1,730	103,800
			60 I Conting	SubTotal gency 10% SubTotal	1,730	103,800 342,300 34,230
		Site Work Construction	60 Conting Costs	SubTotal gency 10% SubTotal gency 5%	1,730	103,800 342,300 34,230 376,530
		Site Work Construction Construction	60 Conting Costs	SubTotal gency 10% SubTotal gency 5%	1,730	103,800 342,300 34,230 376,530 18,827
36		Site Work Construction Construction	60 Conting Costs	SubTotal gency 10% SubTotal gency 5% ON COS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357
36 40 41	Land Acquisition Legal Fees	Site Work Construction Construction	1 Conting n Costs :	SubTotal gency 10% SubTotal gency 5% ON COS	1,730	103,800 342,300 342,30 376,530 18,827 \$395,357 0 5,000
36 40 41 42	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees	Site Work Construction Construction	d Conting n Costs: n Conting RUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869
36 40 41	Land Acquisition Lagal Fies Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	1 Conting n Costs :	SubTotal gency 10% SubTotal gency 5% ON COS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869 9,600
40 41 42 43	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees	Site Work Construction Construction	1 Conting n Costs : n Conting RUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869
40 41 42 43 44 45 46	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Grill Engineering Design Fees Grill Engineering Design Fees SWPPP & NPDES plans, permits and reviews	Site Work Construction Construction	1 Conting n Costs: n Conting 1 1 1 1 1 1 1	SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS LS LS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 5,000
40 41 42 43 44 45 46 47	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, election, bidding Fees Grid Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey	Site Work Construction Construction	1 Conting n Costs: n Conting RUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS LS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 5,000 4,500
40 41 42 43 44 45 46 47 48	Land Acquisition Legal Fiess Architectural & Hapineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	Site Work Construction Construction	1 Conting n Costs: n Conting RUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS LS L	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 4,500 5,000
40 41 42 43 44 45 46 47	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SwPPP & NDISP Jans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Site Work Construction Construction	1 Conting n Costs: n Conting RUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS LS	1,730	103,800 342,300 34,230 376,530 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 5,000 4,500
40 41 42 43 44 45 46 47 48 49	Land Acquisition Legal Fiess Architectural & Hapineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	Site Work Construction Construction	1 Conting Costs : n Costing CUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS LS L	1,730	103,800 342,300 34,230 18,827 \$395,357 0 5,000 9,600 56,160 8,000 5,000 4,500 6,000 0
40 41 42 43 44 45 46 47 48 49 50 51 52	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees	Site Work Construction Construction	1 Conting n Costs 3 n Conting RUCTIC	SubTotal gency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 342,300 342,300 376,530 18,827 8,395,357 0,5,000 978,869 9,600 56,160 8,000 5,000 5,000 0 12,000 0 12,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Buldes Risk Insurance	Site Work Construction Construction	1 Conting of Conting o	KW SubTotal gency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 342,300 342,30 376,530 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 5,000 0 12,000 0 12,000 0 2,000 5,000 5,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Croil Engineering Design Fees SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction	Site Work Construction Construction	1 Conting n Costs 3 n Conting RUCTIC	KW SubTotal SubTotal SubTotal IS	1,730	103,800 342,300 34,230 376,330 18,827 \$395,357 0 5,000 9,600 56,160 8,000 4,500 5,000 0 12,000 0 2,000 5,000 35,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Buldes Risk Insurance	Site Work Construction Construction	1 Conting n Costs : a cost	KW SubTotal gency 10% SubTotal gency 5% ON COS IS I	1,730	103,800 342,300 342,30 376,530 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 5,000 0 12,000 0 12,000 0 2,000 5,000 5,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SwPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Neeve Permits and Fees Owner's Builders Reis Insurance Quality Control Marierial Testing & Inspections during construction Utility costs during Construction by Owner Festures, Furnishings & Equipment Allowance \$24/8F new Festures, Furnishings & Equipment Allowance \$24/8F new	Site Work Construction Construction	1 Conting a Costs : n Conting a Costs : n Conting a Costs : 1	KW	1,730	103,800 342,300 342,300 376,530 18,827 8,395,357 0,5,000 978,869 9,600 56,160 8,000 5,000 0 12,000 0 12,000 5,000 0 35,000 35,000 35,000 35,000 8,000 4,2000 35,000 35,000 432,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology & Information Engineering Fees Information & Technologial Fees Information & Information Informat	Site Work Construction Construction	1 Conting n Costs s n Conting to the cost of the cost	SubTotal	1,730	103,800 342,300 342,300 342,301 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 0 0 12,000 0 0 2,000 0 0 2,000 35,000 35,000 4,500
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technologs & Computer Equipment Allowance Energy & Utility Rebates	Site Work Construction Construction	1 Conting RUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	1,730	103,800 342,300 342,300 342,301 18,827 \$395,357 0 5,000 978,860 9,600 5,000 0 12,000 0 12,000 0 0 0 0 0 0 0 12,000 35,000 35,000 35,000 35,000 35,000 35,000 35,000 35,000 35,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology & Information Engineering Fees Information & Technologial Fees Information & Information Informat	Site Work Construction Construction	1 Conting n Costs s n Conting to the cost of the cost	SubTotal	1,730	103,800 342,300 342,300 376,530 18,827 8,395,357 0,5,000 978,869 9,600 56,160 8,000 5,000 0 12,000 0 12,000 5,000 0 35,000 35,000 35,000 35,000 8,000 4,2000 35,000 35,000 432,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Harsing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/\$F new Fixtures, Furnishings & Equipment Allowance \$24/\$F setsing Technology & Computer Equipment Allowance Energy & Utility Rebates Groetechnical Subsurface investigation	Site Work Construction Construction	1 Conting n Costs s of Conting RUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	1,730	103,800 342,300 342,300 376,530 18,827 \$395,357 0 5,000 978,869 9,600 5,000 0 0 0 12,000 0 0 2,000 0 35,000 4,500 0 0 12,000
40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63	Land Acquisition Lagal Fees Architectural & Ingineering Design Fees Information & Technology Revenue Fees Information & Technological Surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Inegy & Utility Rebates Geotechnical Subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Rebotation Expenses (technology, workstations, equipment, etc.)	Site Work Construction Construction	60 I Conting to Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730	103,800 342,300 342,300 18,827 \$395,357 0 5,000 5,000 4,5000 0 12,000 0 5,000 4,5000 12,000 12,000 12,000 12,000 12,000 12,000 13,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 10,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Uniting yorks during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF easting Technology & Computer Equipment Allowance Energy & Uniting Rebates Georechnical subsurface investigation Geor Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Espenses (technology, workstations, equipment, etc.)	Site Work Construction Construction	60 I Conting n Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 342,300 342,300 342,301 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 0 0 12,000 0 0 2,000 35,000 35,000 211,200 211,200 120,000 120,000 5,000 4,500 6,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Lurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Fusting & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance S24/SF new Fixtures, Furnishings & Equipment Allowance S24/SF existing Technology & Computer Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance G12/SF existing Technology & Computer Equipment Allowance G12/SF existing Technology & Computer Equipment Allowance G12/SF existing Technology & Computer Supplement Allowance G12/SF existing Technology & Computer Supplement Allowance G12/SF existing Technology & Computer Supplement Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary state	Site Work Construction Construction	60 I Conting a Costs : a Costing RUCTIC 1	KW	1,730	103,800 342,300 342,300 376,530 18,827 \$395,357 0 5,000 5,000 5,000 0 0 12,000 5,000 4,500 0 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 13,000 14,000 15,000 15,000 15,000 16,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Bulders Risk Insurance Quality Control Material Testing & Inspections during construction Uniting yorks during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF easting Technology & Computer Equipment Allowance Energy & Uniting Rebates Georechnical subsurface investigation Geor Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Espenses (technology, workstations, equipment, etc.)	Site Work Construction Construction	60 I Conting n Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 342,300 342,300 342,301 18,827 \$395,357 0 5,000 978,869 9,600 56,160 8,000 0 0 12,000 0 0 2,000 35,000 35,000 211,200 211,200 120,000 120,000 5,000 4,500 6,000
40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 60 61 62 63 64 65 66	Land Acquisition Lagal Fees Architectural & Ingineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givel Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/\$F new Fixtures, Furnishings & Equipment Allowance \$24/\$F sexisting Technology & Computer Equipment Allowance \$24/\$F sexisting Technology & Computer Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Gies Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedicitation eremonies Owner provided Communications equipment Hazardous Material Matement	Site Work Construction Construction	60 I Conting a Costs 1, 2	KW SubTotal Sub	1,730	103,800 342,300 342,300 376,530 18,827 \$395,357 0 5,000 5,000 4,5000 0 12,000 0 12,000 0 35,000 4,500 0 12,000 0 12,000 0 12,000 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69	Land Acquisition Legal Fiess Architectural & Hapineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinsing Costs Fee Construction Decuments Phase I environmental or archeological surveys Authorny Having Jurisdiction Plan Review Permits and Fees Owner's Bulders Reis Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geor Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material States suphement Hazardous Material Statement Conceptual design planning	Site Work Construction Construction	60 I Continge on Costs a Continue of the Costs and Continue of the Costs and Continue of the Costs and Co	KW	1,730	103,800 342,300 342,300 376,530 18,827 \$395,357 0 5,000 978,869 9,600 5,000 0 12,000 0 12,000 0 35,000 432,000 211,200 120,000 432,000 120,000 0 1,500 0 12,000 0 1,50
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36 40 41 42 43 43 44 45 65 55 55 60 60 61 62 63 63 64 65 66 67 68 69 70 71	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs For Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Rebotation Expenses (sechnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and deddetation ecremonies Owner provided Communications equipment Hazardous Material Surveys sample & test for buildings Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems	Site Work Construction Construction	60 1 Conting n Costs : a	KW	1,730	103,800 342,300 342,300 376,530 18,827 \$395,357 0 5,000 978,869 9,600 5,000 0 12,000 12,000 20,000 211,200 211,200 211,200 211,200 211,200 20,000 40,000 1,5000 40,000 1,5000 40,000 1,5000
36 40 41 42 43 44 45 55 56 57 58 59 60 60 66 67 67 68 69 70 70	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Prinning Costs for Construction Documents Phase I environmental or archeological surveys Authority Harring Lurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Fusting & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance S24/SF new Fixtures, Furnishings & Equipment Allowance S24/SF existing Technology & Computer Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance G12/SF existing Technology & Computer Equipment Allowance Integrated Subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary state Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Hastoric Preservation assessments & services	Site Work Construction Construction	60 It Contings n Costs is n Continuity of n Costs in	KW SubTotal SubT	1,730	103,800 342,300 342,300 342,300 18,827 \$395,357 0,000 5,000 5,000 0,000 1,000 12,000 12,000 120,000 120,000 120,000 100,000 11,000 10,000 10,000 11,000 10,000 11,000 10,000 11,000 10,000 11,
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36 40 41 41 42 43 44 45 50 55 55 56 66 67 68 69 70 71 72 73 74 75 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phinse I environmental or archeological surveys Authority Harsing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing, & Equipment Allowance \$24/SF new Fixtures, Furnishing, & Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Owner provided Communications equipment Hazardous Material Surveys sample & test for buildings Hazardous Material Abatement EED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation Fundarising Consultanting & grant writing	Site Work Construction Construction	60 1 Conting n Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTrotal	1,730	103,800 342,300 342,300 376,530 18,827 \$395,357 0 5,000 5,000 6,000 4,000 5,000 432,000 201,200 10,000 40,000 40,000 40,000 40,000 10,
36 40 41 42 43 43 44 45 50 55 55 56 60 60 61 61 62 63 66 66 67 68 69 70 71 72 73 74 74	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SWEPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feelar funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for	Site Work Construction Construction SITE WORK CONSTE	60 I Conting n Costs : a Conting n Costs : 1	KW SubTotal Sub	1,730	103,800 342,300 342,301 376,530 18,827 \$395,357 0 5,000 5,000 5,000 0 12,000 12,000 20,000 211,200 20,000 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 1,500 0 0,000 1,500 0 0,000 1,500 0 0,000
36 40 41 42 43 43 44 45 55 55 55 56 60 60 61 62 63 66 66 67 67 68 69 70 71 72 73 74 75 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phinse I environmental or archeological surveys Authority Harsing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing, & Equipment Allowance \$24/SF new Fixtures, Furnishing, & Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Owner provided Communications equipment Hazardous Material Surveys sample & test for buildings Hazardous Material Abatement EED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation Fundarising Consultanting & grant writing	Site Work Construction Construction SITE WORK CONSTE	60 1 Conting n Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal Sub	1,730	103,800 342,300 342,300 342,300 342,300 18,827 8,395,357 0,0,5000 978,869 9,600 5,000 10,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 11,000
36 40 41 42 43 43 44 45 55 55 55 56 60 60 61 62 63 66 66 67 67 68 69 70 71 72 73 74 75 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phinse I environmental or archeological surveys Authority Harsing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing, & Equipment Allowance \$24/SF new Fixtures, Furnishing, & Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Owner provided Communications equipment Hazardous Material Surveys sample & test for buildings Hazardous Material Abatement EED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation Fundarising Consultanting & grant writing	Site Work Construction Construction SITE WORK CONSTE	60 I Conting n Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal SubT	1,730	103,800 342,300 342,300 342,300 18,827 \$395,357 0,000 5,000 5,000 10,000 10,000 35,000 12,000 10,000 432,000 110,000 40,000 40,000 40,000 40,000 10,
36 40 41 42 43 44 45 50 55 55 55 56 66 67 68 68 69 70 71 72 73 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phinse I environmental or archeological surveys Authority Harsing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing, & Equipment Allowance \$24/SF new Fixtures, Furnishing, & Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance \$24/SF sexisting Technology & Computer Equipment Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Abatement Owner provided Communications equipment Hazardous Material Surveys sample & test for buildings Hazardous Material Abatement EED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation Fundarising Consultanting & grant writing	Site Work Construction Construction SITE WORK CONSTE	60 It Contings n Costs : a Continuity of the Cost in a Cost i	KW SubTotal Property Pro	1,730	103,800 342,300 342,300 342,300 342,300 18,827 8,395,357 0,0,5000 978,869 9,600 5,000 10,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 12,000 11,000

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/25/21 KE
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	FEH - Total Project Budget	- Option K2				
	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Buil	ding Construction Costs:		ζ		5551/51	
	New Construction					
1	County Courthouse - New construction		11,400	SF	220.00	2,508,000
2	County Courthouse - Historic Renovation		12,600	SF	145.00	1,827,00
3	County Sheriff & Jail - New Construction		12,610	SF	357.00	4,501,77
4	County Sheriff & Jail - Renovation		5,000	SF	165.00	825,000
5	County Engineering (& maintenance) County Roads		2,000	SF SF	168.00	336,00
7	County Conservation		0	SF	0.00	
			ļ			
		Design / Bi		SubTotal		9,997,77
		Building Construction				10,997,54
		Constructio				549,87
		BUILDING CONST			_	\$11,547,424
Site	Work Construction Costs					7-2,0 11,12
11			2.170	SF	7	22,19
12	Structure Deconstruction - Engineering & Maintenance Remove trees		3,170	EA	750	4,50
13	Remove foundations - eng		2,000	SF	1	2,00
14	Hazard Material survey, sample, test for site demo		1	LS	2500	2,50
15	Hazardous material abatement		4,000	SF	4	16,000
16	New Parking Spaces		14	SF	3,000.00	42,00
17	New Drive Lane Concrete Curb and Gutter		1,600 320	LS LF	6.00 12.00	9,600 3,84
19	Children's Outdoor Program area		0	SF	8.00	3,04
21	Storm Sewer		180	LF	32	5,76
	Domestic Water		60	LF	100	6,00
23			120	LF	38	4,56
24 25	Electrical service, transformer Relocate power lines & poles		0	LS LS	24,000 20,000	24,00
26			450	CY	20,000	12,15
27	Retaining Walls		0	LF	120	-
	Pedestrian Paving,		2,600	SF	5.00	13,000
29	Lawns & Landscaping Reaches and site functions departed		31,200	SF	1 4 000	31,20
30	Benches and site furniture, donated Roof canopy		0	LS LS	4,000 30	
32	Flag pole		0	LS	2,800	
33	Directional & Informational Signage - signage, electronic site sign and building		1	LS	24,000	24,000
34	Storm Water Detention - underground		0	SF	12.00	
35 36	Parking lot lighting Solar Panels -	Design / Bi Site Work Constructio	8 60 d Conting	EA KW SubTotal ency 10%		15,200 103,800 342,300 34,230 376,530
	Parking lot lighting	Site Work Construction	8 60 d Conting	EA KW SubTotal ency 10% SubTotal	1,730	103,800 342,300 34,230 376,530
	Parking lot lighting	Site Work Constructio	8 60 d Conting on Costs	EA KW SubTotal ency 10% SubTotal gency 5%	1,730	103,800 342,300 34,230
	Parking lot lighting	Site Work Construction	8 60 d Conting on Costs	EA KW SubTotal ency 10% SubTotal gency 5%	1,730	103,800 342,300 34,23 376,53 18,82
	Parking lot lighting	Site Work Constructio	8 60 d Conting on Costs	EA KW SubTotal ency 10% SubTotal gency 5%	1,730	103,800 342,300 34,23 376,53 18,82
36	Parking lot lighting Solar Panels -	Site Work Constructio	d Conting on Costs	EA KW SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 342,300 34,230 376,53 18,82 \$395,357
36 	Parking lot lighting Solar Panels - Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees	Site Work Constructio	8 60 d Conting on Costs on Conting RUCTIO	EA KW SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 342,300 34,231 376,533 18,822 \$395,357
36 	Parking lot lighting Solar Panels - Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Constructio	8 60 d Conting on Costs on Conting RUCTIO	EA KW SubTotal ency 10% SubTotal gency 5% ON COS LS LS LS LS	1,730	103,800 342,300 34,233 376,531 18,82 \$395,357 5,000 895,700 9,600
36 	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees	Site Work Constructio	8 60 d Conting on Costs on Conting RUCTIO	EA KW SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 342,303 342,303 342,303 376,533 18,822 \$395,357 5,000 895,707 9,600 56,166
36 40 41 42 43 44	Parking lot lighting Solar Panels - Land Acquisition Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Constructio	8 60 d Conting on Costs on Conting RUCTIO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S	1,730	103,800 342,300 34,233 376,531 18,82 \$395,357 5,000 895,700 9,600
40 41 42 43 44 45 46 47	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, election, budding Fees Givil Engineering Design Fees SWEPP & NPDES plans, permits and reviews Ste Survey	Site Work Constructio	8 60 d Conting n Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal ency 10% SubTotal ency 5% ON COS I.S. I.S. I.S. I.S. I.S. I.S. I.S. I.	1,730	103,800 342,30 34,23 376,53 18,82 \$395,357 5,00 895,70 9,60 56,16 8,00 5,00 4,50
40 41 42 43 44 45 46 47 48	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Six Survey Reimbursable expenses by the design team	Site Work Constructio	d Conting on Costs: n Costing 1 1 1 1 1 1 1	EA KW SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S I.S	1,730	103,800 342,300 342,303 376,533 18,82 \$395,357 5,000 895,707 9,600 5,000 5,000 5,000
40 41 42 43 44 45 46 47	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees SwPPP & NDDES plans, pleation, bidding Fees Gavil Engineering Design Fees SwPPP & NDDES plans permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Site Work Constructio	8 60 d Conting on Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS LS LS LS LS	1,730	103,800 342,300 34,233 376,53 18,822 \$395,357 5,000 805,700 56,161 8,000 4,500
40 41 42 43 44 45 46 47 48 49	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Six Survey Reimbursable expenses by the design team	Site Work Constructio	d Conting on Costs: n Costing 1 1 1 1 1 1 1	EA KW SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S I.S	1,730	103,800 342,300 342,303 376,533 18,82 \$395,357 5,000 895,707 9,600 5,000 5,000 5,000
40 41 42 43 44 45 46 47 48 49 50 51 52	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SwiPp & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Phase I environmental or archeological surveys Authoring Haring fundiation Plan Review Permits and Fees	Site Work Constructio	8 60 d Continge on Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal SubTotal IS I	1,730	103,800 342,300 342,300 342,300 34,230 346,300 346,300 5,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance	Site Work Constructio	8 60 d Conting on Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal SubTotal IS I	1,730	103,800 342,303 342,303 342,303 18,822 \$395,357 \$5,000 \$5,000 \$5,000 \$5,000 \$5,000 \$1,
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, helding Fees Givil Engineering Design Fees SWPPP & NDISP plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Prinning Costs for Construction Documents Prinning Losts for Construction Documents Prinning Losts for Construction Documents Owner's Builders Risk Insurance Quality Control Markinal Testing & Inspections during construction Quality Control Markinal Testing & Inspections during construction	Site Work Constructio	8 60 dd Continger on Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal to the control of th	1,730	103,800 342,301 342,303 342,303 346,335 18,822 \$395,357 5,000 \$5,100 \$5,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, helding Fees Givil Engineering Design Fees SWPPP & NDISP plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Prinning Costs for Construction Documents Prinning Losts for Construction Documents Prinning Losts for Construction Documents Owner's Builders Risk Insurance Quality Control Markinal Testing & Inspections during construction Quality Control Markinal Testing & Inspections during construction	Site Work Constructio	8 60 d Conting n Costs : on Conting RUCTIO	EA KW SubTotal SubTotal IS I	1,730	103,800 342,30 342,30 342,30 342,30 18,82 \$395,357 \$5,00 \$5,00 \$5,00 \$5,00 \$1,00 \$1,00 \$1,00 \$5,
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDIES plans, permits and reviews Sets Gavey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Uniting construction by Owner	Site Work Constructio	8 60 dd Continger on Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal to the control of th	ST TOTAL	103,800 342,301 342,303 342,303 346,335 18,822 \$395,357 5,000 \$5,100 \$5,000
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Pening Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Justiscificion Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Tissing & Inspections during construction Utility costs during Construction Vonere Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance	Site Work Constructio	8 60 10 Contingence 8 10 Contingence	EA	1,730	103,800 342,307 342,307 342,307 34,2337 18,822 \$395,357 5,000 56,161 4,500 5,000 12,000 12,000 5,000 35,000 35,000 4,500 4,500 8,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, helding Fees Givil Engineering Design Fees SWPPP & NDISP plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Owner's Builders Risk Insurance Quality Control Markarial Testing & Inspection during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engineera Allowance \$24/SF new Fixtures, Furnishings & Engineera Allowance \$24/SF new Fixtures, Furnishings & Engineera Allowance \$12/SF existing Technology & Computer Engineera Allowance Energy & Utility Robates	Site Work Constructio	8 60 n Costs on Conting RUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA	1,730	103,800 342,307 342,307 342,307 342,307 342,307 342,307 342,307 342,307 35,007
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SwiPp & NPDI'S plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authorin't Haring Jurisdiction Plan Rev Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Enspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineera Allowance \$24/SP new Fixtures, Furnishing & Engineera Allowance \$24/SP existing Technology & Computer Engineera Allowance \$12/SP existing Technology & Computer Engineera Allowance Energy & Utility Rebates Geotechnical subsurface investigation	Site Work Constructio	8 60 d Contings on Costs in Continue and Costs in Continue and Costs in Continue and Costs in Continue and Costs in Cos	EA KW SubTotal SubTot	1,730	103,800 342,303 342,303 18,822 \$395,357 \$5,000 \$5,0
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Parking lot lighting Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees Furnishing Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Stre Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Iurisdiction Plan Review Permits and Fees Owner's Builders Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineera Allowance \$24/SF new Fixtures, Furnishing & Engineera Allowance \$12/SF existing Technology & Computer Engineera Allowance Energy & Utility Rebates Geor Chemil Test Well	Site Work Constructio	8 60 n Costs on Conting RUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA	1,730	103,80 342,30 342,30 342,30 18,82 \$395,357 5,000 5,000 5,000 5,000 12,000 5,000 12,000 35,000 12,000
40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees [Information & Technology Design Fees Civil Engineering Design Fees SWFPP & NPDI'S plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Rev Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Enspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Enginement Allowance \$24/SP new Fixtures, Furnishing & Engineering Revenue Flexities, Furnishing & Engineering Tolowance Technology & Computer Engineering Allowance \$21/SP existing Technology & Computer Engineering Allowance Energy & Utility Rebates Geotechnical subsurface investigation	Site Work Constructio	8 60 d Contingent Costs in Continue Costs in Co	EA KW SubTotal SubTot	1,730	103,800 342,303 342,303 18,822 \$395,357 \$5,000 \$5,0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Owner's Builders Risk Insurance Quality Control Markarial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Robates Georthernial Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Revot feet more representations, equipment, etc.)	Site Work Constructio	8 60 d Conting n Costs on Contin 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal Vision (1997) I.S. 1.S. 1.S. 1.S. 1.S. 1.S. 1.S. 1.S.	1,730	103,800 342,307 342,307 342,307 342,307 342,307 342,307 342,307 342,307 342,307 342,307 342,007 342,007 352,00
40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees [Information & Technology Design Fees Civil Engineering Design Fees SWFPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markeil Testing & Engenetic and Union Construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$21/\$F existing Technology & Computer Engineerat Allowance \$12/\$F existing Technology & Computer Engineerat Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructic Engineerat Geotenology, workstations, equipment, etc.) Reut of temporary space	Site Work Constructio	8 60 d Contingence of the continue of the cont	EA KW SubTotal Exercy 10% SubTotal Exercy 10% SubTotal Exercy 5% DN COS 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.	1,730	103,800 342,303 342,303 18,822 \$395,357 \$5,000 \$5,000 \$5,000 \$5,000 \$1,000 \$1,200 \$2,000 \$432,000 \$1,200 \$20,0
40 41 42 43 44 45 50 51 52 53 54 55 56 57 88 59 60 61 62 63 64 65 66	Parking lot lighting Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, holding Fees Gavil Engineering Design Fees SWPPP & NIDES plans, permits and reviews Site Survey SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Praining Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Engineera Allowance \$12/SF new Fixtures, Furnishing & Engineera Allowance \$12/SF existing Technology & Computer Fuginment Allowance \$12/SF existing Technology & Computer Fuginment Allowance Energy & Utility Rebates Geo Thermal Test Well Infrastructural Equipment Allowance Structure Fuginment Allowance Energy & Utility Rebates Geo Thermal Test Well Infrastructural Equipment Connections by Owner Moving and Rediction corremonies Owner provided Communications equipment Ground breaking and dedictacion ceremonies Owner provided Communications equipment	Site Work Constructio	8 60 d Conting n Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal SubTot	1,730	103,80 342,30 342,30 342,30 342,30 18,82 \$395,357 5,00 5,00 5,00 5,00 10 10,00 11,00 11,00 10,00
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 64 65	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Sees on Swipper & NyDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markarial Testing & Inspection during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and defidention ceremonics Owner provided Communications equipment Hazardous Material survey sample & test for buildings	Site Work Constructio	8 60 d Contingence of the continue of the cont	EA KW SubTotal Exercy 10% SubTotal Exercy 10% SubTotal Exercy 5% DN COS 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.	1,730	103,80 342,30 342,30 342,30 342,30 348,82 395,357 5,000 5,000 5,000 12,000 5,000 12,000 12,000 10,00
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64 66 66 67	Parking lot lighting Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, holding Fees Gavil Engineering Design Fees SWPPP & NIDES plans, permits and reviews Site Survey SWPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Praining Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Engineera Allowance \$12/SF new Fixtures, Furnishing & Engineera Allowance \$12/SF existing Technology & Computer Fuginment Allowance \$12/SF existing Technology & Computer Fuginment Allowance Energy & Utility Rebates Geo Thermal Test Well Infrastructural Equipment Allowance Structure Fuginment Allowance Energy & Utility Rebates Geo Thermal Test Well Infrastructural Equipment Connections by Owner Moving and Rediction corremonies Owner provided Communications equipment Ground breaking and dedictacion ceremonies Owner provided Communications equipment	Site Work Constructio	8 60 d Contingency of the continue of the con	EA KW SubTotal Experience 5% DN COS 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.5 1.	1,730	103,80 342,30 342,30 342,30 342,30 18,82 \$395,357 5,00 5,00 5,00 5,00 10 10,00 11,00 11,00 10,00
40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWFPP & NPDISS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority I Faring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Engenetic Milowance \$24/\$F new Fixtures, Furnishing & Engineera Allowance \$24/\$F new Fixtures, Jurnishing & Engineera Allowance Length & Linguishing & Engineera Allowance Georchined subsurface investigation Goo Thermal Test Well Infrastructer Engineera George & Computer Engineera George & Com	Site Work Constructio	8 60 d Contingent on Costs in	EA KW SubTotal Experiency 19% SubTotal Experiency 59% LS L	1,730	103,80 342,30 342,30 342,30 18,82 376,35,35 18,82 \$395,357 \$5,00 \$5,00 \$5,00 \$1,00 \$1,00 \$2,00 \$2,00 \$2,00 \$2,00 \$42,00 \$2,00 \$40,00 \$40,00 \$40,00 \$5,00 \$60,00 \$60,00 \$60,00 \$60,00 \$60,00 \$5,00 \$60,
40 41 42 43 44 45 50 51 52 53 54 55 60 61 62 63 64 65 66 67 70 71	Parking lot lighting Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, holding Fees Cavil Engineering Design Fees Furnishing Design Fees Street	Site Work Constructio	8 60 d Coming to the control of the	EA	1,730	103,800 342,300 342,301 342,30
40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 60 61 62 63 64 65 66 67 68 69 70 71 72	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Sees Givil Engineering Design Fees SWPPP & NYDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phinting Costs for Construction Documents Phinting Costs for Construction Documents Phinting Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Dan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspection during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Engineera Allowance \$24/SF new Fixtures, Furnishing & Engineera Allowance \$24/SF new Fixtures, Furnishing & Engineera Allowance \$21/SF existing Technology & Computer Engineera Allowance \$21/SF existing Technology & Computer Engineera Allowance \$21/SF existing Technology & Computer Engineera Allowance Size Size Size Size Size Size Size Siz	Site Work Constructio	8 60 d Contingent of the continue of the conti	EA	1,730	103,80 342,30 342,30 342,30 342,30 348,82 395,357 5,000 5,000 5,000 12,000 5,000 12,000 6,000 6,000 6,000 1,500 10,000 10
40 41 42 43 44 45 50 51 52 53 54 55 60 61 62 63 64 65 66 67 70 71	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWFPP & NPDES plans, permits and reviews Stee Survey Reimbursable expenses by the design team SWFP & NPDES plans, permits and reviews Stee Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing &	Site Work Constructio	8 60 d Coming to the control of the	EA	1,730	103,800 342,300 342,301 342,30
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 68 69 70 70 71 72 73	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWFPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markeral Testing & Engenetic and Union Construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$25/\$F existing Technology & Computer Engineerat Allowance Selection Geo Thermal Test Well Infrastructer Engineerate Geometric Selection Geo Thermal Test Well Infrastructure Engineerate Geometric Selection Geometric Selection Selection Geometric Selection Selection Geometric Selection Selec	Site Work Constructio	8 60 d Contingen or Costs in Continue or Costs in Costs i	EA	1,730	103,80 342,30 342,30 342,30 342,30 18,82 376,335,35 5,00 5,00 5,00 5,00 10,00 11,00 10,00 10,00 10,00 10,00 11,00 10,00 1
40 41 42 43 44 45 46 47 50 51 53 54 55 56 60 61 62 63 64 65 66 67 70 71 72 73 74	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, helding Fees Givil Engineering Design Fees SWPPP & NDISP plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Converse Paid Paid Paid Paid Paid Paid Paid Paid	Site Work Constructio Constructio SITE WORK CONST	8 60 d Conting to the continue of the continue	EA	1,730	103,80 342,30 342,30 342,30 342,30 18,82 \$395,357 5,000 5,000 5,000 5,000 1,00
36 40 41 42 43 44 45 50 51 52 53 54 55 66 67 68 69 70 71 72 73 74 75	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWFPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markeral Testing & Engenetic and Union Construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$25/\$F existing Technology & Computer Engineerat Allowance Selection Geo Thermal Test Well Infrastructer Engineerate Geometric Selection Geo Thermal Test Well Infrastructure Engineerate Geometric Selection Geometric Selection Selection Geometric Selection Selection Geometric Selection Selec	Site Work Constructio Constructic SITE WORK CONST	8 60 d Contingent of the continue of the conti	EA	1,730	103,80 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,00 34
	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWFPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markeral Testing & Engenetic and Union Construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$25/\$F existing Technology & Computer Engineerat Allowance Selection Geo Thermal Test Well Infrastructer Engineerate Geometric Selection Geo Thermal Test Well Infrastructure Engineerate Geometric Selection Geometric Selection Selection Geometric Selection Selection Geometric Selection Selec	Site Work Construction Construction SITE WORK CONST Site Work CONST	8 60 d Contingency of the continue of the cont	EA	1,730	103,800 342,30 342,30 342,30 342,30 18,82 376,35,35 18,82 \$395,357 \$5,00 \$5,000 \$5,000 \$5,000 \$1,000 \$12,000 \$20,000 \$432,000 \$211,20,000 \$40,000 \$40,000 \$100,000 \$1
	Parking lot lighting Solar Panels Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Givil Engineering Design Fees SWFPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with feleral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoring Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markeral Testing & Engenetic and Union Construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$24/\$F new Fixtures, Furnishing & Engineerat Allowance \$25/\$F existing Technology & Computer Engineerat Allowance Selection Geo Thermal Test Well Infrastructer Engineerate Geometric Selection Geo Thermal Test Well Infrastructure Engineerate Geometric Selection Geometric Selection Selection Geometric Selection Selection Geometric Selection Selec	Site Work Constructio Constructic SITE WORK CONST	8 60 d Contingent of the continue of the cont	EA	1,730	103,80 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,30 342,00 34



Option L.1 - Total Project Budget

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/25/21 KE
	FEH - Total Project Budget	- Option L1				
	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Bui	Iding Construction Costs:					
1	New Construction County Courthouse - New construction		22,000	SF	220.00	4,840,000
2	County Courthouse - New construction County Courthouse - Historic Renovation		0	SF	145.00	4,840,000
3	County Sheriff & Jail - New Construction		17,610	SF	357.00	6,286,770
5	County Sheriff & Jail - Renovation County Engineering (maintenance)		2,000	SF SF	165.00 168.00	336,000
6	County Engineering (maintenance) County Roads		0	SF	0.00	336,000
7	County Conservation		0	SF	0.00	0
				SubTotal		11.462.770
		Design / Bio	1 Conting	ency 10%		1,146,277
		Building Construction				12,609,047
		Construction			_	630,452
٠	W 10	BUILDING CONSTI	RUCTIC	JN COS	SI IOIAL	\$13,239,499
	Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance 4k, jail 5k, Remove trees		9,000	SF EA	750	63,000 4,500
13	Remove trees Remove foundations - eng		13,000	SF	1	13,000
14	Hazard Material survey, sample, test for site demo		1	LS	2500	2,500
	Hazardous material abatement		20,000	SF	4	80,000
16 17	New Parking Spaces New Drive Lane		24 1,600	SF LS	3,000.00	72,000 9,600
18	New Drive Lane Concrete Curb and Gutter		450	LF	12.00	5,400
19	Children's Outdoor Program area		0	SF	8.00	0
21	Storm Sewer		180	LF	32	5,760
22	Domestic Water Sanitary Sewer		60 120	LF LF	100 38	6,000 4,560
24	Electrical service, transformer		120	LS	24,000	24,000
25	Relocate power lines & poles		0	LS	20,000	0
26	Fill engineered material		500	CY LF	27 120	13,500
27 28	Retaining Walls Pedestrian Paving,		3,200	SF	5.00	16,000
29	Lawns & Landscaping		40,000	SF	1	40,000
30	Benches and site furniture, donated		0	LS	4,000	0
31	Roof canopy Flag pole		0	LS LS	30 2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building		1	LS	24,000	2,800
34	Storm Water Detention - underground		0	SF	12.00	0
35	Parking lot lighting		8	EA	1,900	15,200
	Solar Panels -		60	KW	1 730	103 800
36	Solar Panels -			KW	1,730	103,800
	Solar Panels -			SubTotal		505,620
	Solar Pands -	Design / Bic Site Work Construction	d Conting	SubTotal ency 10%		
	Solar Panels -		d Contingen	SubTotal ency 10% SubTotal		505,620 50,562
	Solar Panels -	Site Work Construction	d Conting n Costs S	SubTotal ency 10% SubTotal gency 5%		505,620 50,562 556,182
36		Site Work Construction Construction	d Contingent Costs S	SubTotal ency 10% SubTotal gency 5% ON COS		505,620 50,562 556,182 27,809 \$583,991
36	Land Acquisition	Site Work Construction Construction	d Contingen Costs Son Conting	SubTotal ency 10% SubTotal gency 5% ON COS		505,620 50,562 556,182 27,809 \$583,991
36 	Land Acquisition Legal Fees	Site Work Construction Construction	d Contingent Costs S	SubTotal ency 10% SubTotal gency 5% ON COS		505,620 50,562 556,182 27,809 \$583,991
36	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	d Contingen Costs Son Contingen Cont	SubTotal ency 10% SubTotal gency 5% ON COS		505,620 50,562 556,182 27,809 \$583,991
36 40 41 42 43 44	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction Construction	d Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Cost	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S		505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680
36 40 41 42 43 44 45	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Tichnology Design Fees Furnishing Design, Selection, bidding Fees Gavl Engineering Design Fees	Site Work Construction Construction	1 Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Cost	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S		505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000
 40 41 42 43 44	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction Construction	d Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Cost	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S		505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 121,600 12,000 6,000
 40 41 42 43 44 45 46	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gavi Engineering Design Fees SWPPP & NIDES plans, permits and reviews	Site Work Construction Construction	d Contingen Costs Sen Contingen RUCTIC	SubTotal ency 10% SubTotal gency 5% ON COS IS IS IS IS IS IS IS IS	ST TOTAL	505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000
40 41 42 43 44 45 46 47 48 49	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NDPIS Palus, Permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Site Work Construction Construction	d Contingen Costs Sen Cost	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	ST TOTAL	505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 12,680 12,000 6,000 4,500 5,000
40 41 42 43 44 45 46 47 48 49 50	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Greil Engineering Design Fees SWPPP & NIPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents	Site Work Construction Construction	d Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Contingen Costs Sen Cost	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	ST TOTAL	505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 6,000 4,500 5,000 0 12,000
40 41 42 43 44 45 46 47 48 49	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents	Site Work Construction Construction	d Contingen Costs Sen Cost	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	ST TOTAL	505,620 50,562 556,182 27,809 \$583,991 0 5,000 967,644 15,600 12,680 12,000 6,000 4,500 5,000
36 40 41 42 43 44 45 46 47 48 49 50 51	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Greil Engineering Design Fees SWPPP & NIPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents	Site Work Construction Construction	1 Conting n Costs Sen Conting RUCTIC	SubTotal ency 10% SubTotal gency 5% ON COS IS I	ST TOTAL	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 6,000 4,500 0 12,000 0 0
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Prinning Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction	Site Work Construction Construction	1 Contings on Costs S	SubTotal ency 10% SubTotal ency 10% SubTotal ency 10% SubTotal ency 5% DN COS IS I	ST TOTAL	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 12,680 12,000 4,500 5,000 0 0 2,000 0 2,000 5,000 0 4,500 5,000 0 12,000 4,500 5,000 0 12,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Oware's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner	Site Work Construction Construction	1 Continged 1	SubTotal	ST TOTAL	505,620 50,562 556,182 27,809 \$\$83,991 0 5,000 967,644 15,600 12,600 6,000 0 12,000 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authorny Having Iurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fistures, Furnishing & Engineerin Allowance \$24/SF new	Site Work Construction Construction	1 Contings on Costs S	SubTotal ency 10% SubTotal ency 10% SubTotal ency 10% SubTotal ency 5% DN COS IS I	ST TOTAL	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 12,680 12,000 4,500 5,000 0 0 2,000 0 2,000 5,000 0 4,500 5,000 0 12,000 4,500 5,000 0 12,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Oware's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner	Site Work Construction Construction	1 d Contingent of the Continge	SubTotal	FT TOTAL	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 6,000 4,500 0 12,000 0 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Tichnology Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NDISE plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding pilarning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I emironmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quairy Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$24/SF new Fixtures, Purnishings & Enginement Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Robates	Site Work Construction Construction	d Contings n Costs \$ on Contings n Costs \$ on Contings 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 39,000 0 39,000 1	SubTotal	ST TOTAL	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Seetion, bidding Fees Civil Engineering Design Fees SWPPP & NPDIES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authorist Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Ruk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engineera Allowance \$24/SF new Fixtures, Furnishings & Engineera Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation	Site Work Construction Construction	Continger Continger	SubTotal	ST TOTAL	505,620 50,562 556,182 27,809 \$\$83,991 0 5,000 967,644 15,600 12,000 6,000 4,500 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
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36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61	Land Acquisition Legal Fees Architectural & Engeneering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NDISP Jans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineeria Allowance \$24/SP new Fixtures, Furnishing & Engineeria Allowance \$12/SP existing Technology & Computer Fuginpment Allowance Energy & Utility Rebates Geortechnical subsurface investigation Geor Thermal Test Well	Site Work Construction Construction	1 Contingent of the Contingent	SubTotal	24.00 12.00	505,620 50,562 556,182 27,809 \$\$83,991 0 5,000 967,644 15,600 12,000 6,000 4,500 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Tichnology Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NDISP plans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Planse I environmental or archeological surveys Authority Having Instinction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Dv Owner Fixtures, Furnishings & Engineering Allowance \$24/SF new Fixtures, Furnishings & Engineering Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Robots Geortechnical subsurface investigation Geor Thermal Test Will Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (fechnology, workstations, equipment, etc.)	Site Work Construction Construction	1 Continged at the continue of	SubTotal ency 10%	24.00 12.00	505,620 50,562 550,182 27,809 \$\$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 0 12,000 0 12,000 0 10,000 40,000 40,000 10,000 10,000 10,000 5,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 5,000 10,000 5,000 6,000 10,000 5,000 6,000 6,000
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Purnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NYDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Denuments Printing Costs for Construction Denuments Printing Costs for Construction Data Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Engenetic Material Testing Construction Utility costs during Construction by Owner Fistures, Furnishing & Engineera Allowance \$24/\$F new Fistures, Furnishing & Engineera Allowance \$12/\$F existing Technology & Computer Engineera Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Engineera Conformation by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidention ceremonies	Site Work Construction Construction	1 Continged at 1 Cont	SubTroat ency 10% SubTroat 15 15 15 15 15 15 15 15 15 15 15 15 15	24.00 12.00	505,620 50,562 556,182 27,849 \$\$83,991 0 5,000 967,644 15,600 12,600 4,500 5,000 0 12,000 5,000 0 12,000 5,000 0 12,000 12,000 5,000 12,000 5,000 10,0
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66	Land Acquisition Legal Fees Architectural & Engeneering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NDISP Jans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Oward's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineera Allowance \$24/SP new Fixtures, Furnishing & Engineera Allowance \$12/SP existing Technology & Computer Fugineera Allowance Energy & Utility Rebates Geortechnical subsurface investigation Geor Thermal Test Well Infrastructre Fuginpener Annexis of the State of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Ground breaking and dedication ceremonies	Site Work Construction Construction	1 Continged at the continue of	SubTotal ency 10%	24.00 12.00	505,620 50,562 550,182 27,809 \$\$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 0 12,000 0 12,000 0 10,000 40,000 40,000 10,000 10,000 10,000 5,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 5,000 10,000 5,000 6,000 10,000 5,000 6,000 6,000
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Purnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NYDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Denuments Printing Costs for Construction Denuments Printing Costs for Construction Data Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Engenetic Material Testing Construction Utility costs during Construction by Owner Fistures, Furnishing & Engineera Allowance \$24/\$F new Fistures, Furnishing & Engineera Allowance \$12/\$F existing Technology & Computer Engineera Allowance Energy & Utility Robates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Engineera Conformation by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidention ceremonies	Site Work Construction Construction	Continger Continger	SubTotal	24.00 12.00	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 4,500 0 12,000 0 0 12,000 0 4,500 0 12,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,00
36 440 441 441 442 434 445 446 457 55 55 56 65 77 58 89 60 60 61 61 62 63 66 66 67 68 69 69	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Tichnology Design Fees Furnishing Design, selection, bidding Fees Gvil Engineering Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Ducuments Printing Costs for Construction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geortechnical subsurface investigation Geor Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (fechnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Susteens University of the Communications equipment Unconceptual design planning	Site Work Construction Construction	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal enc	24.00 12.00	505,620 50,562 550,182 27,809 \$\$583,991 0 5,000 967,644 15,600 121,680 12,000 0,000 4,500 2,000 4,000 4,000 4,000 10,000 0 10,000 0 10,000 0 11,000 0 10,000 0 10,000 0 11,000 0 11,000 0 11,000 0 11,000 0 11,000 0 10,000 0 1,500
36 44 41 42 43 44 45 56 57 58 59 60 61 61 62 66 67 66 68 69 70 0	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with fideral funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Costs for Construction Documents Printing Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF cesting Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Sizy Security Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material survey sample & test for buildings Hazardous Material always and the Securities Gonceptual design planning	Site Work Construction Construction	14 Continged 15 Con	SubTotal ency 10% SubTotal ency 15% SubTotal enc	24.00 12.00	505,620 50,562 556,182 57,849 \$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 0 12,000 12,000 5,000 10
36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66 67 68 69 70 71	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NDISS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Iurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility Costs during Construction Plan Review Permits and Fees Fixtures, Furnishing & Engineerat Allowance \$24/SP new Fixtures, Furnishing & Engineerat Allowance \$12/SP existing Technology & Computer Fugipment Allowance \$12/SP existing Technology & Computer Fugipment Allowance Energy & Utility Rebates Georchenical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedideation ceremonies Owner provided Communications equipment Hazardous Material Justices unpublished to the forbuildings Hazardous Material Abatement Conceptual design planning	Site Work Construction Construction	Continged	SubTotal ency 10% SubTotal enc	24.00 12.00	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 122,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
36 44 45 46 47 48 49 50 51 52 53 55 55 55 55 56 66 66 66 66 66 66 66 66	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Invisidiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Engineering & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Engineering Allowance \$24/SF new Fixtures, Furnishing & Engineering Allowance Georgehical subsurface investigation Geo Thermal Test Will Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems	Site Work Construction Construction	14 Continged 15 Con	SubTotal ency 10% SubTotal ency 15% SubTotal enc	24.00 12.00	505,620 50,562 556,182 57,849 \$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 0 12,000 12,000 5,000 10
36 440 411 42 43 444 45 50 51 55 56 57 58 59 60 61 61 62 63 63 64 65 66 67 67 68 69 77 17 72 73 73 74	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Tichnology Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NDISP Jans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engineering Allowance \$24/SF new Fixtures, Furnishings & Engineering Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Robots Geor Thermal Test Will Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (fechnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Survey sample & test for buildings Helicor of other sustainability certification services Space Needs Programming Referendum Campagia Faciliation	Site Work Construction Construction	11 Continged 11 Continged 12 Continged 13 Continged 13 Continged 14 Continged 15 Con	SubTotal ency 10% SubTotal enc	24.00 12.00	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 0 12,000 0 12,000 10,000 0 0 0
36 44 45 45 55 56 57 58 56 66 66 67 68 68 69 70 71 72 73 74 75	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Fees SWPPP & NDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance S12/\$F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Matement Conceptual design planning Hazardous Material alvery sample & test for buildings Hazardous Material alvery sample & test for brighting Helstoric Preservation assessments & services Commissioning of systems LEED or other sustainability cerification services Space Needs Programming Referendum Campaign Facilitation Fundarising Computation & grant wrining	Site Work Construction Construction	1 Contings In Costs In Costs In Costs In Costs In In Costs In I	SubTotal ency 10% SubTotal ency 15% SubTotal enc	24.00 12.00	505,620 50,562 550,182 57,849 \$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 4,500 5,000 0 12,000 12,000 10,000
36 440 411 422 433 434 45 50 50 50 50 50 60 60 61 61 62 63 66 66 67 68 69 70 70 71 72 73 73 74	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Tichnology Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NDISP Jans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Engineering Allowance \$24/SF new Fixtures, Furnishings & Engineering Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Robots Geor Thermal Test Will Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (fechnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Survey sample & test for buildings Helicor of other sustainability certification services Space Needs Programming Referendum Campagia Faciliation	Site Work Constructio Constructio SITE WORK CONSTI	Continged	SubTotal ency 10% SubTotal enc	24.00 12.00 5.00	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 0 10,000 0 0 10,000 0 0 0
36 44 45 45 55 56 57 58 56 66 66 67 68 68 69 70 71 72 73 74 75	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Fees SWPPP & NDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance S12/\$F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Matement Conceptual design planning Hazardous Material alvery sample & test for buildings Hazardous Material alvery sample & test for brighting Helstoric Preservation assessments & services Commissioning of systems LEED or other sustainability cerification services Space Needs Programming Referendum Campaign Facilitation Fundarising Computation & grant wrining	Site Work Constructio Constructio SITE WORK CONST!	14 Contingent of Costs 5 (1) (1) (1) (1) (1) (1) (1) (1) (1) (1)	SubTotal ency 10% SubTotal is	24.00 12.00 5.00	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 4,500 5,000 4,500 5,000 4,500 5,000 12,000 10,000 1
36 44 41 42 42 43 43 44 45 55 55 56 66 66 67 68 69 70 71 72 73 74 75 75 75 75 75 75 75 75 75 75 75 75 75	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Fees SWPPP & NDEIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$24/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance S12/\$F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Matement Conceptual design planning Hazardous Material alvery sample & test for buildings Hazardous Material alvery sample & test for brighting Helstoric Preservation assessments & services Commissioning of systems LEED or other sustainability cerification services Space Needs Programming Referendum Campaign Facilitation Fundarising Computation & grant wrining	Site Work Constructio Constructio SITE WORK CONSTI	Continger	SubTotal	24:00 12:00 5:00	505,620 50,562 550,182 27,809 \$583,991 0 5,000 967,644 15,600 121,680 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 0 10,000 0 0 10,000 0 0 0

	Owner: Worth County Project No.: 2020 Project : Facility Planning Phase: Conceptual De			Date : Estimator :	
				Louisior:	. XII
	FEH - Total Project Budget - Option M2.1				
	DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Bui	Iding Construction Costs:				
1	New Construction County Courthouse - New construction	0	SF	220.00	(
2	County Courthouse - Historic Renovation	0	SF	145.00	(
3	County Sheriff & Jail - New Construction County Sheriff & Jail - Renovation	0	SF SF	357.00 165.00	(
5	County Engineering (maintenance)	3,170	SF	168.00	532,560
6	County Roads, 280' x 110'	31,000	SF	132.00	4,092,000
7	Bunkers	1,400	SF	70.00	98,000
		(mile i	SubTotal		4,722,560 472,256
	Building Constru-	Bid Conting			5,194,816
		ction Contin			259,741
	BUILDING CONS	STRUCTION	ON COS	T TOTAL	\$5,454,557
Site	Work Construction Costs				
11	Structure Deconstruction - Engineering & Maintenance	1,600	SF	7	11,200
12	Remove trees	1.000	EA SF	750	1.000
13 14	Remove foundations - eng Hazard Material survey, sample, test for site demo	1,600	LS	2500	1,600 2,500
15	Hazardous material abatement for Demo	400	SF	4	1,600
16	New Parking Spaces	22 000	SF	3,000.00	66,000
17 18	New Drive Lane Concrete Curb and Gutter	32,000	LS LF	6.00 12.00	192,000
19	Emergency Generator	5,000	SF	8.00	40,000
21	Storm Sewer Democris Water	300	LF LF	32 100	30,000
22	Domestic Water Sanitary Sewer - septic field, grease separator	300	LF LF	38	30,000
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles Fill material	2.000	LS	20,000	20,000
26	Fill material Retaining Walls	2,000	LF	120	54,000 12,000
28	Pedestrian Paving	800	SF	5.00	4,000
29 30	Lawns & Landscaping Benches and site furniture, donated	10,000	SF LS	4,000	10,000
31	Roof canopy	0	LS	4,000	(
32	Flag pole	1	LS	2,800	2,800
33 34	Directional & Informational Signage - signage, electronic site sign and building Storm Water Detention - underground	0	LS SF	8,000 12.00	8,000
	Storm Water Detention - underground	- 0	3F	12.00	(
35	Parking lot lighting	6	EA	1,900	11,400
	Parking lot lighting	60	EA KW	1,900 1,730	11,400 103,800
35	Parking lot lighting				
35	Parking Iot lighting Solar Panels - Design .	60 Bid Conting	KW SubTotal	1,730	103,800 606,300 60,630
35	Parking lot lighting Solar Panels - Design / Site Work Construct	Bid Conting	SubTotal ency 10% SubTotal	1,730	103,800 606,300 60,630 666,930
35	Parking lot lighting Solar Panels - Design / Site Work Constru Constru	Bid Conting	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 606,300 60,630 666,930
35	Parking lot lighting Solar Panels - Design / Site Work Construct	Bid Conting	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 606,300 60,630 666,930
35 36	Parking lot lighting Solar Panels - Design / Site Work Constru Constru SITE WORK CONSTRU Land Acquisition	Bid Conting ction Costs ction Contin	SubTotal SubTotal SubTotal SubTota SubTota SubTota SubTota SubTota SubTotal	1,730	103,800 606,300 60,630 666,930 33,347 \$700,277
35 36 	Parking for lighting Solar Panels - Design / Site Work Constru Constru SITE WORK CONS Land Acquisition Lagel Fees	Bid Contingction Costs ction Contin	SubTotal gency 10% SubTotal gency 5% ON COS	1,730	103,800 606,300 60,630 666,930 33,347 \$700,277
35 36	Parking lot lighting Solar Panels - Design / Site Work Constru Constru SITE WORK CONS Land Acquisition Lagal Fees Architectural & Engineering Design Fees	Bid Conting ction Costs ction Contin 1 1 1	SubTotal gency 10% SubTotal gency 5% ON COS I.S I.S	1,730	103,800 606,300 60,630 666,930 33,347 \$700,277
35 36 40 41 42	Parking for lighting Solar Panels - Design / Site Work Constru Constru SITE WORK CONS Land Acquisition Lagel Fees	Bid Contingction Costs ction Contin	SubTotal gency 10% SubTotal gency 5% ON COS	1,730	103,800 606,300 60,630 666,930 33,347 \$700,277
35 36 40 41 42 43 44 45	Parking lot lighting Solar Panels - Design Site Work Construction Construction SITE WORK CONSTRUCTION	60 Bid Conting Cition Costs ction Contin 1 1 1 1 1	SubTotal gency 10% SubTotal gency 5% DN COS IS IS IS IS IS IS	1,730	103,806 606,306 60,630 666,936 33,347 \$700,277 (5,000 461,612 2,000 15,600 25,000
35 36 40 41 42 43 44	Parking Lot lighting Solar Panels - Design / Site Work Construct Construct SITE WORK CONST Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Grail Engineering Design Fees Furnishing Design, selection, bidding Fees Grail Engineering Design Fees SwiPP & WIDES plants, permits and reviews	60 Sid Conting ction Costs Contin Contin 1 1 1 1 1	SubTotal gency 10% SubTotal gency 5% ON COS IS IS IS IS IS	1,730	103,806 606,301 60,630 666,930 33,347 \$700,277 (
35 36 40 41 42 43 44 45 46 47 48	Parking lot lighting Solar Panels - Design / Site Work Construct Construct SITE WORK CONSTRUCT SITE WORK CONSTRUCT SITE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Ceril Engineering Design Fees SWPPP & NYDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	60 Bid Conting Cition Costs Ction Contin 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal sency 10% SubTota gency 5% ON COS IS IS IS IS IS IS IS IS IS	1,730	103,806 606,306 60,630 33,347 \$700,277 (5,000 461,612 2,000 15,000 25,000 8,000 5,000
35 36 40 41 42 43 44 45 46 47 48 49	Parking Lot lighting Solar Panels - Design / Site Work Constru Constru SITE WORK CONS SITE WORK CONS Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	60 Bid Conting Strict Costs 1	SubTotal gency 10% SubTotal gency 5% SubTota gency 5% DN COS IS I	1,730	103,806 606,306 666,938 33,347 \$700,277 (5,000 461,612 2,000 15,606 25,000 5,000 (()
35 36 40 41 42 43 44 45 46 47 48	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STE WORK CONST STE WORK CONST STE WORK CONST STE WORK CONST Land Acquisition STE WORK CONST STE WORK CONST Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWIPP & NTDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents	60 Bid Conting Cition Costs Ction Contin 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal sency 10% SubTota gency 5% ON COS IS IS IS IS IS IS IS IS IS	1,730	103,806 606,306 60,630 33,347 \$700,277 (5,000 461,612 2,000 15,000 25,000 8,000 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50	Parking Lot lighting Solar Panels - Design / Site Work Constru Constru SITE WORK CONS SITE WORK CONS Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Bid Conting Costs Ction Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal gency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	1,730	103,800 606,500 66,930 33,347 \$700,277 (5,000 15,600 15,600 5,000 5,000 5,000 5,000 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53	Parking lot lighting Solar Panels - Design / Site Work Construct Construct SITE WORK CONST Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Purnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NIPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance	60 Bid Conting ction Costs ction Conting to Costs ction Conting 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal SubTotal SubTotal SubTotal IS	1,730	103,800 606,500 606,000 33,3,41 5700,277 (5,000 15,000 15,000 5,000 (6,000 6
35 36 40 41 42 43 44 45 46 47 48 49 50 51	Parking lot lighting Solar Panels - Design / Site Work Construct Construct SITE WORK CONSTRUCT SITE WORK CONSTRUCT SITE WORK CONSTRUCT SITE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, hadding Fees Civil Engineering Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phincing Residence of the Review Permits and Fees Owner's Builders Risk Insurance Quality Control Martial Testing & Inspections during construction	60	SubTotal	1,730	103,800 606,303 33,347 \$700,277 (0 5,000 115,600 125,000 1,
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Parking lot lighting Solar Panchs - Design / Site Work Construct Construct STIE WORK CONSTRUCT STIE WORK CONSTRUCT STIE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees Surpre & NIDES plans, permits and reviews Site Survey Street Survey Construction Street Survey Construction Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phinting Costs for Construction Draw Review Permits and Fees Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fatures, Farmishing & Engineering Mouvance \$24/SF new	60 Bid Conting Ction Costs Ction Contin 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal SubTotal SubTotal SubTotal IS	1,730	103,800 606,500 606,000 33,3,41 5700,277 (5,000 15,000 15,000 5,000 (6,000 6
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Parking lot lighting Solar Panels - Design / Site Work Constru Constru STITE WORK CONST STITE WORK CONST STITE WORK CONST STITE WORK CONST Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Swith Engineering Design Fees Finance Swith Engineering Design Fees Park Engineering Design Fees Authority Having Jurisdection Documents Printing Costs for Construction Documents Printing Costs for C	60 Bid Conting tition Costs ction Contin Costs ction Contin Contin Costs ction Contin 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 T TOTAL	103,800 666,500 666,900 33,347 \$700,277 (200 401,012 2,000 401,012 25,000 5,000 (000 8,000 (000 2,000 5,000 6,000 6,000 1,000
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Parking lot lighting Solar Panels - Design / Site Work Construe Site Work Construe SITE WORK CONST STE WORK CONST STE WORK CONST STE WORK CONST STE WORK CONST Land Acquisition STE WORK CONST STE WORK CONST Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees SWPPP & NTDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority I Faring Jurisdiction Plan Review Permits and Fees Ouncer's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fistures, Furnishing & Equipment Allowance \$24/SF new Fistures, Furnishing & Equipment Allowance \$24/SF new Fistures, Furnishing & Equipment Allowance \$24/SF setsing Technology & Computer Equipment Allowance	60 Bid Contings tion Costs ction Contin 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 606,301 606,303 33,347 5700,277 (5,000 15,000 15,000 15,000 (8,000 (8,000 (2,000 (3,000 (
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STE WORK CONST Land Acquisition Lagal Frees Architectural & Engineering Design Fees Information & Technology Design Fees Swipping, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Printing Costs for Construction Documents Printer Phase I environmental or archeological surveys Authority I Faring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Unility costs during Construction by Owner Fixtures, Furnishing & Enginement Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Unity Rebates Geotechnical substratic investigation	60 60 F Bid Contings F Bid Continue F Bid Conti	KW SubTotal	1,730 T TOTAL	103,800 606,500 606,900 33,547 \$700,277 (
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 53 54 55 56 57 58 59 60 61	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STIE WORK CONSTRUCT STIE WORK CONSTRUCT STIE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NIDES Jants, permits and reviews Site Survey Street Survey Street	60 60 60 60 60 60 60 60	SubTotal	1,730 T TOTAL	103,800 606,301 606,303 33,347 5700,277 (5,000 15,000 15,000 15,000 (2,000 (8,000 (2,
35 36 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 56 57 58 59 60	Parking lot lighting Solar Panels - Design / Site Work Construction Construction SITE WORK CONSTRUCTION Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Survey Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Markerial Testing all Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/8F new Fixtures, Furnishing & Equipment Allowance \$24/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geor Thermal Test Well Infrastructer Equipment Testing Howards Gon Thermal Test Well Infrastructer Equipment Testing Howards	60 60 60 60 60 60 60 60	KW SubTotal	1,730 T TOTAL	103,800 666,500 666,500 665,900 33,34,37 \$700,277 (\$5,000 5,000 5,000 5,000 5,000 6,000 120,000 120,000 16,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STIE WORK CONSTRUCT STIE WORK CONSTRUCT STIE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NIDES Jants, permits and reviews Site Survey Street Survey Street	60 10 10 10 10 10 10 10	KW SubTotal SubT	1,730 T TOTAL	103,800 606,301 606,303 33,347 5700,277 (5,000 15,000 15,000 15,000 (2,000 (8,000 (2,
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STIE WORK CONST Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdection Plans Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marketal Testing & Inspections during construction Utility costs during Construction by Owner Firstnes, Furnishing & Enginement Allowance \$24/8F new Firstnes, Furnishing & Enginement Allowance \$25/8F existing Technology & Computer Equipment Allowance Geo Thermal Test Well Infrastructic Enginement & Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of Georal Design Researce and eddication ceremonies	Bid Conting STRUCTIC	KW SubTotal	1,730 T TOTAL	103,800 606,500 606,500 606,500 5000 5000 500
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66	Parking for lighting Solar Panchs - Design / Site Work Construct Construct STIE WORK CONSTRUCT STIE WORK CONSTRUCT STIE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NIDES Jants, permits and reviews Site Survey STIE WORK CONSTRUCT STIE WORK STIE WORK STIE STIE STIE STIE STIE STIE STIE STIE	60 60 60 60 60 60 60 60	KW SubTotal	1,730 T TOTAL	103,800 606,500 606,900 7500 7500 7500 7500 7500 7500 7500 7
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Parking for lighting Solar Panchs - Design / Site Work Construction Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological survey Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Enginement Allowance \$24/SF new Fixtures, Furnishing & Enginement Allowance \$21/SF existing Technology & Computer Enginement Allowance Energy & Utility Rebates Georechnical subsurface investigation Geo Thermal Test Well Infrastructure Equapment & Connections by Owner Moving and Repulser Connections by Owner Howing and Repulser Connections by Owner Moving and Reconnections Expenses (technology, workstations, equipment, etc.) Rent of temporary space Coround breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Passer sumple & test for buildinge Hazardous Material Albatement	Bid Conting STRUCTIC	KW SubTotal	1,730 T TOTAL	103,800 606,500 606,500 606,500 5000 5000 500
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 55 56 67 61 62 63 64 65 66 66 67 68 69	Parking lot lighting Solar Panchs - Design / Site Work Construct STE WORK CONSTRUCT Construct STE WORK CONSTRUCT STE WORK CONSTRUCT STE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Purnishing Design, selection, hidding Fees Gwil Engineering Design Fees SWPPP & NDDES plants, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Ouner's Builders Risk Insurance Quairy Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineeria Allowance \$24/8F new Fixtures, Furnishing & Engineeria Allowance \$12/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geot Thermal Test Will Infrastructive Equipment Allowance (Septement) Moving and Relocation Expenses (technologic, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications sequipment Hazardous Material Justrees supplies Hazardous Material Justrees supplies Hazardous Material Justrees Jess of the Park Septement Jes of the Park Septement Jess of	60 60 60 60 60 60 60 60	SubTotal	1,730 T TOTAL	103,800 606,301 606,303 33,347 5700,277 (5,000 15,000 15,000 15,000 (2,000 15,000 (2,000 15,000 (2,000 15,000 (32,000 (30,00
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 70 70 70 70 70 70 70 70 70	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STITE WORK CONST Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Itaring jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marketial Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equip	60 60 60 60 60 60 60 60	SubTotal	1,730 T TOTAL	103,800 606,500 606,500 5000 5000 5000 15,600 15,600 15,600 15,600 15,00
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 55 56 67 61 62 63 64 65 66 66 67 68 69	Parking lot lighting Solar Panchs - Design / Site Work Construct STE WORK CONSTRUCT Construct STE WORK CONSTRUCT STE WORK CONSTRUCT STE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Purnishing Design, selection, hidding Fees Gwil Engineering Design Fees SWPPP & NDDES plants, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archoological surveys Authority Having Jurisdiction Plan Review Permits and Fees Ouner's Builders Risk Insurance Quairy Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Engineeria Allowance \$24/8F new Fixtures, Furnishing & Engineeria Allowance \$12/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geot Thermal Test Will Infrastructive Equipment Allowance (Septement) Moving and Relocation Expenses (technologic, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications sequipment Hazardous Material Justrees supplies Hazardous Material Justrees supplies Hazardous Material Justrees Jess of the Park Septement Jes of the Park Septement Jess of	60 60 60 60 60 60 60 60	SubTotal	1,730 T TOTAL	103,800 606,301 606,303 33,347 5700,277 (5,000 15,000 15,000 15,000 (2,000 15,000 (2,000 15,000 (2,000 15,000 (32,000 (30,00
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73	Parking for lighting Solar Panchs - Design / Site Work Construction Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fistures, Furnishing & Enginement Allowance \$24/SF new Fistures, Furnishing & Enginement Allowance \$21/SF existing Technology & Computer Enginement Allowance Energy & Utility Rebates Goorechnical subsurface investigation Geo Thermal Test Well Infrastructure Equipment & Connections by Owner Moving and Reconstruction Expenses (technology, workstations, equipment, etc.) Rent of temporary space Gornand breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Test well Hazardous Material Abatement Conceptual design planning Hazardous Material Materiane Conceptual design planning Hazardous of the stating in the stating of th	60 60 60 60 60 60 60 60	SubTotal	1,730 T TOTAL	103,800 606,500 606,500 500,000 5000 15,600 15,600 15,600 15,600 10,000
35 36 40 41 42 43 44 45 50 51 52 53 54 66 67 68 66 67 68 69 70 71 72 73 74	Parking lot lighting Solar Panels - Site Work Construct Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technologe Design Fees Information & Technologe Design Fees Information & Technologe Design Fees SWPPD & NDDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authorny Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Martinal Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance StaySF new Fixtures, Furnishing & Equipment Allowance StaySF new Fixtures, Furnishing & Equipment Allowance StaySF new Fixtures, Furnishing & Construction by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications sequipment Hazardous Material Abattement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems LEED or other sustainability certification services Space Needs Programming Referendum Campagna Faciliation	60 Field Continue 1 1 1 1 1 1 1 1 1	SubTotal	1,730 T TOTAL	103,800 606,500 605,900 33,34,37 \$700,277 (00
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71 72 73	Parking for lighting Solar Panchs - Design / Site Work Construction Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NDDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rich Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fistures, Furnishing & Enginement Allowance \$24/SF new Fistures, Furnishing & Enginement Allowance \$21/SF existing Technology & Computer Enginement Allowance Energy & Utility Rebates Goorechnical subsurface investigation Geo Thermal Test Well Infrastructure Equipment & Connections by Owner Moving and Reconstruction Expenses (technology, workstations, equipment, etc.) Rent of temporary space Gornand breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Test well Hazardous Material Abatement Conceptual design planning Hazardous Material Materiane Conceptual design planning Hazardous of the stating in the stating of th	60 60 60 60 60 60 60 60	SubTotal	1,730 T TOTAL	103,800 606,500 606,500 500,000 5000 15,600 15,600 15,600 15,600 10,000
35 36 40 41 42 43 44 45 50 51 52 53 54 66 67 68 69 67 68 69 70 71 72 73 74 75	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STIE WORK CONST Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Parmishing Design, selection, hidding Fees Card Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with fickeral funding planning and reporting requirements Prinning, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marketal Testing & Inspections during construction Utility costs during Construction Dy Owner Fistners, Furnishing & Engineeral Allowance \$24/87 new Fistners, Furnishing & Engineeral Allowance \$24/87 new Fistners, Furnishing & Engineeral Allowance Stalys's existing Technology & Computer Equipment Allowance Geotechnical subsurface investigation Geo Thermal Test Well Infrastructive Engineera & Connections by Owner Moving and Relocation Espenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material aurvey sample & test for buildings Hazardous Material aurvey sample & test for buildings Hazardous Material aurvey sample & test for buildings Hazardous Material aurvey sample & test for stricts Space Needs Programming Referendum Campuign Facilitation Fundarising Constructions assessments & services Commissioning of systems LEED or other satinations Fundarising Constructions assessments & services Commissioning of systems	60 Field Continue 1 1 1 1 1 1 1 1 1	SubTotal	1,730	103,800 606,500 606,500 606,500 5000 105,000 1
35 36 40 41 42 43 44 45 50 51 52 53 54 66 67 68 69 67 68 69 70 71 72 73 74 75	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STITE WORK CONSTRUCT STITE WORK CONSTRUCT STITE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with fickeral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marcial Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Equipment Allowance \$24/8F new Fixtures, Furnishing & Equipment Allowance \$1/8F existing Technology & Computer Equipment Allo	Bid Conting STRUCTIC	SubTotal	1,730 ST TOTAL	103,800 606,500 606,500 606,500 5000 5000 15,600 15,600 5000 5000 5000 120,000 120,000 120,000 120,000 100,000
35 36 40 41 42 43 44 45 50 51 52 53 54 66 67 68 69 67 68 69 70 71 72 73 74 75	Parking lot lighting Solar Panels - Design / Site Work Construct Construct STITE WORK CONSTRUCT STITE WORK CONSTRUCT STITE WORK CONSTRUCT Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees SWPPP & NIDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with fickeral funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marcial Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Equipment Allowance \$24/8F new Fixtures, Furnishing & Equipment Allowance \$1/8F existing Technology & Computer Equipment Allo	60 60 60 60 60 60 60 60	SubTotal	1,730 ST TOTAL	103,800 606,500 606,500 606,500 607,50



Option N - Total Project Budget

	Owner: Worth County Project No.: 2020. Project : Facility Planning Phase: Conceptual Des			Date : Estimator :	5/25/21 KE
	FEH - Total Project Budget - Option N				
	DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Buildi	ing Construction Costs:				
	New Construction				
1	County Courthouse - New construction	22,000	SF	220.00	4,840,000
3	County Courthouse - Historic Renovation County Sheriff & Jail - New Construction	17,610	SF SF	145.00 357.00	6,286,770
4	County Sheriff & Jail - New Construction County Sheriff & Jail - Renovation	0	SF	165.00	0,286,770
5	County Engineering (maintenance)	3,000	SF	168.00	504,000
6	County Roads	0	SF	0.00	0
7	County Conservation	- 0	SF	0.00	0
			SubTotal		11,630,770
	Design /	Bid Conting			1,163,077
	Building Construct	tion Costs	SubTotal	I	12,793,847
	Constru	tion Contin	gency 5%		639,692
	BUILDING CONS	TRUCTIO	ON CO	ST TOTAL	\$13,433,539
Site W	7ork Construction Costs				
11 S	Structure Deconstruction - Engineering & Maintenance 4k, jail 5k, courthouse 12k	21,000	SF	7	147,000
	Remove trees	6	EA	750	4,500
	Remove foundations - eng	13,000	SF	1	13,000
	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
	Hazardous material abatement	20,000	SF	4	80,000
	New Parking Spaces	24	SF	3,000.00	72,000
	New Drive Lane Concrete Curb and Gutter	1,600 450	LS LF	6.00 12.00	9,600 5,400
	Children's Outdoor Program area	0	SF	8.00	5,400
	Storm Sewer	180	LF	32	5,760
22 I	Domestic Water	60	LF	100	6,000
	Sanitary Sewer	120	LF	38	4,560
	Electrical service, transformer	1 0	LS	24,000	24,000
	Relocate power lines & poles "ill material	650	LS	20,000	17,550
	an material Retaining Walls	0.50	LF	120	17,550
	Pedestrian Paving,	3,200	SF	5.00	16,000
29 I.	awns & Landscaping	44,000	SF	1	44,000
	Benches and site furniture, donated	0	LS	4,000	0
	Roof canopy	0	LS	30	2.800
	Flag pole Directional & Informational Signage - signage electronic site sign and building	1	LS	2,800 24,000	2,800 24,000
JJ L	Directional & Informational Signage - signage, electronic site sign and building storm Water Detention - underground	0	SF	12.00	24,000
34 S					
	storm Water Detention - underground Parking lot lighting	8	EA	1,900	15,200
35 P					15,200 103,800
35 P	Parking lot lighting	8 60	EA KW	1,900 1,730	103,800
35 P	Parking to Eighting Solar Panels -	8 60	EA KW SubTotal	1,900 1,730	103,800 597,670
35 P	Parking to Eighting Solar Panels -	8 60 Bid Conting	EA KW SubTotal gency 10%	1,900 1,730	103,800
35 P	Parking lot lighting loilar Panels - Design / Site Work Construct	8 60 Bid Conting tion Costs	EA KW SubTotal gency 10% SubTotal	1,900 1,730	103,800 597,670 59,767
35 P	Parking lot lighting loilar Panels - Design / Site Work Construct	8 60 Bid Conting tion Costs	EA KW SubTotal gency 10% SubTotal gency 5%	1,900 1,730	103,800 597,670 59,767 657,437
35 P	Parking lot lighting older Panels Design / Site Work Construc Construc	8 60 Bid Conting tion Costs	EA KW SubTotal gency 10% SubTotal gency 5%	1,900 1,730	103,800 597,670 59,767 657,437 32,872
35 P	Parking lot lighting older Panels Design / Site Work Construc Construc	8 60 Bid Conting tion Costs	EA KW SubTotal gency 10% SubTotal gency 5%	1,900 1,730	103,800 597,670 59,767 657,437 32,872
35 P 36 S	Design / Site Work Constru Constru SITE WORK CONS And Acquisition spal Fees	Bid Conting tion Costs ction Contin	EA KW SubTotal gency 10% SubTotal gency 5% ON COS	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309
35 P 36 S 40 L 41 L 42 A	Parking for lighting folar Pands Design / Site Work Construc Construc SITE WORK CONS and Acquisition Legal Fees Verbirectural & Engineering Design Fees	Bid Conting tion Costs ction Contin TRUCTI 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 988,669
35 P 36 S 40 I 41 I 42 A 43 h	Parking lot lighting loider Panels - Design / Site Work Construc Construc SITE WORK CONS and Acquisition agal Fees Information & Technology Design Fees Information & Technology Design Fees	Bid Conting tion Costs ction Contin 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 988,669 15,600
35 P 36 S 40 I. 41 I. 42 A 43 I. 44 F	Design / Site Work Construct Construct SITE WORK CONS And Acquisition agal Fees Verbicecural & Engineering Design Fees information & Technology Design Fees information & Technology Design Fees information & Technology Design Fees information, & Technology Design Fees information, & Technology Design Fees information, Engineering Design Fees	Bid Conting tion Costs ction Contin TRUCTIO	EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 988,669 15,600 121,680
35 P 36 S 40 L 41 L 42 A 43 L 44 F 45 C	Parking for lighting folar Pands - Design / Site Work Construct Construct SITE WORK CONS and Acquisitionspal Fees Information & Technology Design Fees In	Bid Conting tion Costs ction Contin 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS LS	1,900 1,730	103,800 597,670 59,767 657,377 32,872 \$690,309 0 5,000 988,669 15,600 121,680 12,000
35 P 36 S 40 L 41 L 42 A 43 H 44 F 45 C 46 S	Design / Site Work Construct Construct SITE WORK CONS And Acquisition agal Fees Verbicecural & Engineering Design Fees information & Technology Design Fees information & Technology Design Fees information & Technology Design Fees information, & Technology Design Fees information, & Technology Design Fees information, Engineering Design Fees	Bid Conting tion Costs tion Contin TRUCTI 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS LS LS LS LS	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 988,669 15,600 121,680
35 P 36 S 40 L 41 L 42 A 43 L 44 F 45 C 46 S 47 S	Design / Site Work Construct Construct STE WORK CONS Land Acquisition .sgal Free	Bid Conting tion Costs tion Contin TRUCTIO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 10% SubTotal gency 5% ON COS LS L	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 988,669 112,660 121,680 12,000 6,000
35 P 36 S 40 L 41 L 42 A 43 L 44 F 45 C 46 S 47 S 48 R 49 C	Design / Site Work Construct Construct And Acquisition agal Fees Verbitceural & Engineering Design Fees information & Technology Design Fees 'urnshing Design, selection, building Fees 'urnshing Design, selection, building Fees 'urnshing Design Fees 'urnshing D	Bid Conting tion Costs tion Contin TRUCTI 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS LS L	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 988,669 12,660 12,660 6,000 4,500 5,000 0
35 P 36 S 36 S 40 L 41 L 42 A 43 H 44 F 45 C 46 S 47 S 48 R 49 C 50 P	Parking lot lighting loidar Panels Design / Site Work Construct Construct SITE WORK CONS SITE WORK CONS SITE WORK CONS SITE WORK CONS And Acquisition Legal Fees Verbit cetural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees First Engineering Design Fees WIPP & NIPDIS plans, peemits and reviews lite Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents	8 60 Bid Conting tion Costs extion Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 10% SubTotal gency 5% ON COS I.S. I.S. I.S. I.S. I.S. I.S. I.S. I	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 988,669 115,600 12,000 6,000 4,500 5,000 12,000 12,000
35 P 36 S 36 S 40 L 41 L 42 A 43 H 44 F 45 C 46 S 47 S 48 R 49 C 50 P 51 P	Design / Site Work Construct Construct SITE WORK CONST	8 60 Bid Conting tion Costs ction Contin TRUCTIO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 121,600 121,600 4,500 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S S S S S S S S S S S S S S S S S S	Parking lot lighting Solar Panels Design / Site Work Construc Construc SITE WORK CONS SITE W	8 60 Bid Conting tion Costs extion Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal SubTotal SubTotal SubTotal IS	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 988,669 12,000 6,000 121,680 12,000 6,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Design / Site Work Construct Construct SITE WORK CONST	8 60 Bid Conting tion Costs tion Contin TRUCTI 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal gency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 121,600 121,600 4,500 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Parking for lighting folar Pands - Design / Site Work Construct Construct SITE WORK CONS SITE WORK CONSTRUCT SITE SITE WORK CONSTRUCT SITE SITE SITE SITE SITE SITE SITE SITE	8 60 Bid Conting tion Costs ction Contin 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal SubTotal SubTotal SubTotal SubTotal SubTotal SubTotal IS	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 988,669 115,600 12,000 6,000 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Design / Site Work Construc- Site Work Construc- SITE WORK CONS SITE WORK CON	8 60 Bid Conting tion Costs etion Contin 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW SubTotal SubTotal SubTotal SubTotal SubTotal IS IS IS IS IS IS IS I	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 121,680 122,000 6,000 0 12,000 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Design / Site Work Construct Construct SITE WORK CONST	8 60 60 10 10 10 10 10 10	EA	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 988,669 12,000 6,000 121,680 12,000 6,000 0 12,000 5,000 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Parking lot lighting loiar Pands - Design / Site Work Construct Construct Construct SITE WORK CONS And Acquisition Legal Fees Verbireteural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees Sivil Engineering Design Fees	8 60	EA KW	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 121,680 122,000 6,000 0 12,000 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Design / Site Work Construction Acquisition Acquisition	8 60 60 60 60 60 60 60 60 60 60 60 60 60 6	EA KW	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 121,680 122,000 6,000 4,500 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S	Parking lot lighting loiar Pands - Design / Site Work Construct Construct Construct SITE WORK CONS And Acquisition Legal Fees Verbireteural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees Sivil Engineering Design Fees	8 60	EA KW SubTotal Experience 100 M 15	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$699,309 0 5,000 988,669 115,600 12,000 6,000 0 12,000 0 2,000 5,000 4,500 0 12,000 98,000 98,000 10,000 10,000 10,000
35 P 36 S 36	Design / Site Work Construct Construct SITE WORK CONS SITE WORK CONSTRUCT CONSTRUCT SITE WORK CONSTRUCT CONSTRUCT SITE WORK CONSTRUCT CONSTRUCT SITE WORK CONSTRUCT CONSTRUCT SITE WORK CONSTRUCT SITE WORK CONSTRUCT SITE WORK CONSTRUCT SITE WORK CONSTRUCT C	8 60	EA KW	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$690,309 0 5,000 121,680 122,000 6,000 4,500 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36 S 36 S 37 S 40 L 41 L 42 A 43 H 45 C 46 S 50 P 51 P 55 P 55 P 55 C 55 C 55 C 55 C 55 C 56 C 57 F 58 T 59 C 60 C 62 L	Antania, poli nighting olar Panels - Design / Site Work Construct Construct SITE WORK CONS	8 60 60 80 80 80 80 80 80 80 80 80 80 80 80 80	EA KW	1,900 1,730	103,800 597,670 597,677 597,677 597,677 32,872 \$690,309 0 15,600 121,680 122,000 6,000 0 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0
35 P 36 S 36	Design / Site Work Construct Construct SITE WORK CONS SITE	8id Conting to Good Control of Co	EA KW	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 121,680 122,000 4,500 0 12,000 0 12,000 4,500 0 12,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000
35 P 36 S 36	Parking for lighting foliar Panels - Design / Site Work Construct Construct SITE WORK CONS And Acquisition again fees Architectural & Engineering Design Fees Architectural & Engineering Architectural Architectura	8 60 60 60 60 60 60 60	EA KW	1,900 1,730	103,800 597,670 59,767 657,437 32,872 \$699,309 0 5,000 12,000 4,500 0 12,000 5,000 0 12,000 5,000 10,000 98,600 10,000
35 P 36 S 36	Design / Site Work Construction And Acquisition Legal Fees Verbitectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Livel Experimental & Engineering Design Fees Furnishing Design, selection, bidding Fees Livel Engineering Design Fees Furnishing Design, selection, bidding Fees Livel Engineering Design Fees Envil Engineering Design Fees Envil Engineering Design Fees Envil Engineering Design Fees Livel Engineering Design Fees Head State Sta	8id Conting to Got Co	EA KW SubTotal KW SubTotal Sub	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 12,000 0 12,000 0 0 2,000 4,500 0 0 2,000 0 0 0 10,000 0 10,000 0 0 10,000 0 0 1,500 0 0 1,500
35 P 36 S 36	Parking for lighting foliar Panels - Design / Site Work Construct Construct SITE WORK CONS And Acquisition again fees Architectural & Engineering Design Fees Architectural & Engineering Architectural Architectura	8 60 60 60 60 60 60 60	EA KW	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$699,309 0 5,000 988,669 12,060 6,000 12,000 5,000 12,000 5,000 10,000 98,000 98,000 95,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 5,000 10,000 10,000 5,000 6,000 10,000 5,000 6,000 6,000 10,000 5,000 6,000 6,000 6,000 1,500 6,000 1,500 6,000 1,500 6,000 1,500 6,000 1,500
35 P 36 S 36 S 36 S 36 S 37 S 40 L 42 A 43 H 44 F 44 S 46 S 50 P 51 P 52 A 55 U 55 U 55 U 66 C 67 G 68	Design / Site Work Construct Construct SITE WORK CONST SITE WORK CONSTRUCT SITE SITE WORK CONSTRUCT SITE SITE SITE SITE SITE SITE SITE SITE	8id Conting too Costs 1	EA KW SubTotal KW SubTotal Sub	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 12,000 0 12,000 0 0 2,000 4,500 0 0 2,000 0 0 0 10,000 0 10,000 0 0 10,000 0 0 1,500 0 0 1,500
35 P 36 S 36 S 36 S 37 S 40 L 41 L 42 A 43 L 43 L 46 S 50 F 60 C	Parking los lighting foliar Pands - Design / Site Work Construct Construct Construct Construct SITE WORK CONS SITE WORK CONS SITE WORK CONS SITE WORK CONS And Acquisition	Bid Conting tion Costs to the Cost of the Costs of the Co	EA KW SubTotal Supercy 10% SubTotal 15 15 15 15 15 15 15 15 15 15 15 15 15	1,900 1,730	103,800 597,670 697,437 32,872 \$699,309 0 5,000 12,000 12,000 0 12,000 0 12,000 0 12,000 0 12,000 0 10,000 0 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 1,500
35 P 36 S 36 S 36 S 36 S 37 S 40 L 41 L 42 A 43 H 45 C 46 S 47 S 50 F 55 L 56 F 55 L 66 C 62 L 64 R 65 C 66 C 67 F 68 F 68 F 68 C 69 C 69 C 60	Design / Site Work Construction And Acquisition Legal Fees Verbitectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Livel Eventual & Engineering Design Fees Furnishing Design, selection, bidding Fees Livel Engineering Design Fees Furnishing Design, selection, bidding Fees Livel Engineering Design Fees Event Even Event Event Event Event Even Event Event Even Event Even Event Even Even Event Even Even Even Even Even Even Even Even	Bid Conting Good Conting Bid Conting Bid Conting TRUCTI 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$690,309 0 5,000 121,660 121,660 122,000 0 0 12,000 0 0 12,000 0 0 10,000 0 0 1,500 0 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500 0 0 1,500
35 P 36 S 36	Design / Site Work Construct Construct SITE WORK CONS And Acquisition agal Fees vehiciacutal & Engineering Design Fees information & Technology Design Fees information & Technology Design Fees information & Technology Design Fees will Engineering Design Fees will E	8id Conting too Costs 1	EA KW SubTotal energy 10% SubTotal energy 11	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$699,309 0 5,000 988,669 12,060 6,000 12,060 0 12,000 5,000 98,000 98,000 95,000 10,000 10,000 10,000 1,500 0 1,500 10,000
35 P 36 S S 36 S S S S S S S S S S S S S S S	Parking for lighting foliar Pands - Design / Site Work Construct Construct Construct Construct SITE WORK CONS SITE WORK CONS SITE WORK CONS SITE WORK CONS And Acquisition	Bid Conting too Costs to Costs	EA	1,900 1,730	103,800 597,670 697,437 32,872 \$699,309 0 5,000 12,000 12,000 0 12,000 0 12,000 0 12,000 0 10,000 0 0 10,000 0 10,000 0 10,000 0 0 10,000 0 0 0
35 P 36 S S S S S S S S S S S S S S S S S S	Design / Site Work Construct Construct SITE WORK CONS And Acquisition agal Free verbicectural & Engineering Design Frees information & Technology Design Frees verbicectural & Engineering Design Frees verbicectural Engineering Design Frees verbicectural Engineering Design Frees verbicectural Engineering & Engineering Allowance verbicectural Engineering & Engineering Allowance verbicectural subsurface investigation verbicectural subsurface investigation verbicectural Engineering Connection by Owner verbicectural subsurface investigation verbice Thermal Test Well infrastructer Engineering (Engineering Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Verbice Thermal Test Well infrastructer Engineering Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Verbicectural Engineering Palaring Verbicectural E	8id Conting too Costs 1	EA	1,900 1,730	103,800 597,670 597,677 657,437 32,872 \$699,309 0 5,000 988,669 12,060 6,000 12,060 0 12,000 5,000 98,000 98,000 95,000 10,000 10,000 10,000 1,500 0 1,500 10,000
35 P 36 S S S S S S S S S S S S S S S S S S	Parking for lighting foliar Pands - Design / Site Work Construct Construct Construct Construct SITE WORK CONS SITE WORK CONS SITE WORK CONS SITE WORK CONS And Acquisition	8id Conting too Costs to Costs	EA	1,900 1,730	103,800 597,670 597,677 657,437 32,872 5690,309 0 5,000 988,669 12,000 6,000 12,000 12,000 5,000 98,000 10,000 10,000 10,000 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000
35 P 36 S S S S S S S S S S S S S S S S S S	Passing to lighting foliar Panels - Design / Site Work Construct Construct Construct SITE WORK CONS SITE WOR	8id Conting TRUCTI 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA	1,900 1,730	103,800 597,670 697,437 32,872 \$690,309 0 5,000 12,000 0 12,000 0 12,000 0 12,000 0 10,000 0 0 10,000 0 0 10,000 0 10,000 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 10,000 0 0 0
35 P 36 S S S S S S S S S S S S S S S S S S	Passing to lighting foliar Panels - Design / Site Work Construct Construct Construct SITE WORK CONS SITE WOR	8id Conting tion Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	EA KW KW SubTotal energy 10% SubTotal energy 11% SubTotal energy 1	1,900 1,730	103,800 597,670 697,437 32,872 \$699,309 0 5,000 988,669 115,600 12,000 4,500 0 12,000 5,000 12,000 5,000 10,000 10,000 5,000 10,000
35 P 36 S S S S S S S S S S S S S S S S S S	Design / Site Work Construct Construct SITE WORK CONS And Acquisistion agal Fres verbicerund & Engineering Design Frees information & Technology Design Frees information & Technology Design Frees information & Technology Design Frees warnshing Design, selection, budding Frees warnshing Design, selection, budding Frees warnshing Design, selection, budding Frees warnshing Design Frees Warpher No PIDES plans, permits and reviews itse Survey kembursable expenses by the design team conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Frees Design Good State of the State St	Side Continue Side Continu	EA KW SwbTotal septoy 10% SubTotal septoy 10% SubTotal 15 15 15 15 15 15 15 15 15 15 15 15 15	1,900 1,730	103,800 597,670 597,670 657,437 32,872 \$699,309 0 5,000 988,669 12,060 6,000 12,060 0 12,000 5,000 12,000 5,000 10,000

	Owner: Worth County	Project No.: 2020317			Date:	5/25/21
	Project : Facility Planning	Phase: Conceptual Design	1		Estimator:	KE
	EPH Total Basing D. Jose O.	tion O				
	FEH - Total Project Budget - Op	non U				
	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Build	ing Construction Costs:					
	New Construction					
1	New Construction County Courthouse - New construction (upper level 7,064 SF, Main level 7,645		12,400	SF	220.00	2,728,000
2	County Courthouse - New Constitution (apper level 7,004 Sr., Manifester 7,045 County Courthouse - Historic Renovation (multi-story building only)		9,600	SF	145.00	1,392,000
3	County Sheriff & Jail - New Construction		0	SF	357.00	0
4	County Sheriff & Jail - Renovation		0	SF	165.00	0
5	County Engineering (maintenance)		2,000	SF	168.00	336,000
6	County Roads		0	SF	0.00	0
7	County Conservation		0	SF	0.00	0
			1	SubTotal		4,456,000
		Design / Bi				445,600
		Building Construction				4,901,600
		Constructio	on Continu	zencv 5%		245,080
		BUILDING CONST				\$5,146,680
C: 10	7.10	Bellinia contra	HOUTH	31, 00.	101.11	\$3,110,000
	Work Construction Costs					
	Structure Deconstruction - Engineering & Maintenance		10,000	SF	6	60,000
	Remove trees		6	EA	750	4,500
	Remove foundations - eng		2,000	SF	1 2500	2,000
	Hazard Material survey, sample, test for site demo		1 000	LS SF	2500	2,500 16,000
	Hazardous material abatement		4,000		2 000 00	
	New Parking Spaces New Drive Lane		58 7,375	SF SF	3,000.00	174,000 44,250
	Concrete Curb and Gutter		720	LF	12.00	8,640
	Children's Outdoor Program area		0	SF	8.00	0,040
	Storm Sewer		180	LF	32	5,760
	Domestic Water		60	LF	100	6,000
	Sanitary Sewer		120	LF	38	4,560
	Electrical service, transformer		1	LS	24,000	24,000
	Relocate power lines & poles		0	LS	20,000	0
26	Fill material		3,000	CY	27	81,000
	Retaining Walls		0	LF	120	0
	Pedestrian Paving,		6,200	SF	5.00	31,000
	Lawns & Landscaping		30,000	SF	1	30,000
	Benches and site furniture, donated		0	LS	4,000	0
	Roof canopy		0	LS	30	0
	Flag pole		0	LS	2,800	0
	Directional & Informational Signage - signage, electronic site sign and building Storm Water Detention - underground		0	LS SF	24,000 12.00	24,000
	Storm Water Detention - underground		- 0	SP.	12.00	
	Parking lot lighting		8	EA	1.000	15 200
35	Parking lot lighting Solar Panels -		8 60	EA KW	1,900 1,730	15,200 103,800
35			60	KW	1,730	103,800
35			60	KW SubTotal	1,730	103,800 637,210
35		Design / Bo	60 d Conting	KW SubTotal ency 10%	1,730	103,800 637,210 63,721
35		Site Work Construction	d Conting	SubTotal ency 10% SubTotal	1,730	103,800 637,210 63,721 700,931
35		Site Work Construction Construction	d Conting	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 637,210 63,721 700,931 35,047
35		Site Work Construction	d Conting	SubTotal ency 10% SubTotal gency 5%	1,730	103,800 637,210 63,721 700,931
35 36	Solar Panels -	Site Work Construction Construction	d Conting on Costs	SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978
35 36 40	Solar Panels - Land Acquisition	Site Work Construction Construction	d Conting on Costs on Conting	SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978
35 36 40 41	Solar Panels - Land Acquisition Legal Fees	Site Work Construction Construction	d Conting on Costs on Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978
35 36 40 41 42	Solar Panels - Land Acquisition Legal Fres Legal Fres Architectural & Engineering Design Fees	Site Work Construction Construction	d Conting on Costs on Conting RUCTIO	SubTotal gency 5% ON COS LS LS LS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978
35 36 40 41 42 43	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	d Conting on Costs and Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS LS LS LS LS LS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978 0 5,000 441,199 8,800
35 36 40 41 42 43 44	Solar Panels - Land Acquisition Logal Fees Architentania & Engineering Design Fees Information & Erchnology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction Construction	d Conting on Costs on Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% DN COS LS LS LS LS LS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688
35 36 40 41 42 43 44 45	Solar Panels - Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees Cavil Engineering Design Fees	Site Work Construction Construction	d Conting on Costs :	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688 12,000
35 36 40 41 42 43 44 45 46	Solar Panels - Land Acquisition Lagal Fee Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews	Site Work Construction Construction	d Conting on Costs :	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S	1,730	103,800 637,210 637,212 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688 12,000 5,000
35 36 40 41 42 43 44 45 46 47	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Permishing Design, selection, bidding Fees Civil Engineering Design Fees WPPP & NPDIS plans, permits and reviews Its Survey Site Survey	Site Work Construction Construction	d Conting on Costs on Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS LS	1,730	103,800 637,210 63,721 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688 12,000 5,000 7,000
35 36 40 41 42 43 44 45 46 47 48	Land Acquisition Legal Fees Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Kembursable expenses by the design team	Site Work Construction Construction	d Conting on Costs :	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S	st total	103,800 637,210 637,212 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688 12,000 5,000
35 36 40 41 42 43 44 45 46 47 48 49	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Permishing Design, selection, bidding Fees Civil Engineering Design Fees WPPP & NPDIS plans, permits and reviews Its Survey Site Survey	Site Work Construction Construction	d Conting on Costs on Conting RUCTIC	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S I.S	st total	103,800 637,210 637,210 63,721 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688 12,000 5,000 7,0000 5,000
35 36 40 41 42 43 44 45 46 47 48 49 50	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees WEPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Site Work Construction Construction	d Conting on Costs on Conting RUCTIC	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	st total	103,800 637,210 63,721 700,931 35,047 \$735,978 0 5,000 441,199 8,800 38,688 12,000 5,000 5,000 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Frees Information & Technology Design Frees Information & Technology Design Frees Furnishing Design, selection, bidding Frees Cavil Engineering Design Frees WIPPP & NIPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with defeat flanding planning and reporting requirements Printing Costs for Construction Documents	Site Work Construction Construction	d Conting on Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	st total	103,800 637,210 63,721 70,933 35,047 \$735,978 0 5,000 38,800 12,000 5,000 0 0 0 8,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Groit Engineering Design Fees Furnishing Design, selection, bidding Fees Groit Engineering Design Fees WPPP & NPDES plans, permits and reviews lite Survey Rembursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archological surveys	Site Work Construction Construction	d Conting on Costs : on Costs : on Costs : 1	KW SubTotal ency 10% SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	st total	103,800 637,210 63,721 70,033 35,047 \$735,978 0 5,000 441,190 38,688 12,000 0 0 0 8,000 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Engineering Design Sees Givil Engineering Design Fees SWPPP & NPDISS plans, permits and reviews tics Survey Reimbursable expenses by the design team Conformance with deteal funding planning and reporting requirements Prinning Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institution Divin Review Permits and Fees	Site Work Construction Construction	d Conting in Costs on Costs	KW SubTotal	ST TOTAL	103,800 637,210 637,210 637,217 700,933 35,047 \$735,978 0 5,000 441,199 8,8000 1,000 0 0 0 2,000 0 3,800 0 3,800 0 3,800 0 3,800 0 3,800 3,800 0 3,800
35 36 40 41 41 42 43 44 45 46 47 50 50 51 52 53 54 55	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Frees Information & Technology Design Frees Information & Technology Design Frees Furnishing Design, selection, bidding Frees Groil Engineering Design, Frees SWPPP & NPDISS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with fedderal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having inselfaction Plans Review Permits and Frees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction b Owner	Site Work Construction Construction	d Continged at the continue of	KW SubTotal	1,730	103,800 637,210 63,721 70,033 55,047 \$735,978 0 5,000 0 8,000 0 0 8,000 0 0 0 0 0 0 0 8,000 0 8,000 0 8,000 0 8,000 0 8,000 0 8,000 0 8,000
35 36 40 41 42 43 44 45 46 47 50 51 51 52 53 54 55 56	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gruil Engineering Design Ress SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new	Site Work Construction Construction	60 d Continger 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 637,210 637,210 637,217 700,933 35,047 \$735,978 0 5,000 5,000 38,688 12,000 0 0 8,000 0 0 2,000 35,000 27,000 27,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Engineering Design Fees Givel Engineering Design Fees SWPPP & NPDISS plans, permits and reviews its Survey Reimbursable expenses by the design team Conformance with defeat flauding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inseltion Design Fees Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Firstures, Furnishings & Equipment Allowance \$24/SF new Firstures, Furnishings & Equipment Allowance \$21/SF existing	Site Work Construction Construction	d Conting m Costs is on Conting RUCTIO	KW SubTotal	1,730 ST TOTAL	103,800 637,210 63,721 70,933 55,047 \$735,978 0 5,000 8,000 12,000 5,000 0 0 8,000 2,000 0 8,000 5,000 8,000 1,000 8,000 1,000 8,000 1,000 8,000 1,00
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 55 56 57 58	Land Acquisition Legal Fees Legal Fees Information & Technology Design Fees Surpray & NPDIEs plans, permits and reviews Sites Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authoriny Having Jurisdiction Plan Review Permits and Fees Owner's Buildern Risk Insurance Quality Control Material Testing & Inspections during construction Utility cost during Construction by Owner Fistures, Furnishing & Equipment Allowance \$12/4/Sr ewe Fistures, Furnishings & Equipment Allowance Technology & Computer Equipment Allowance Technology & Computer Equipment Allowance	Site Work Construction Construction	d Conting n Costs n Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 637,210 637,210 637,217 700,933 35,047 \$735,978 0 5,000 5,000 38,688 12,000 0 0 8,000 0 0 2,000 35,000 27,000 27,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, Selection, bidding Fees Goal Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance Technology & Computer Equipment Allowance	Site Work Construction Construction	d Conting m Costs : on Conting RUCTIC	KW SubTotal	1,730 ST TOTAL	103,800 637,210 637,210 637,210 700,933 35,047 \$735,978 0 5,000 5,000 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design, Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having instriction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Matterial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance Inercy & Utility Robates Geotechnical substance investigation	Site Work Construction Construction	d Conting on Cotti	KW	1,730 ST TOTAL	103,800 637,210 63,721 70,033 15,047 \$735,978 0 5,000 0 8,000 0 0 0 8,000 0 0 0 0 0 0 0 0
35 36 40 41 41 42 43 44 45 46 47 50 51 52 53 54 55 56 57 57 60 60 61	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnshing Design, Selection, Bidding Fees Good Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Institution Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspection sduring construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebutes Geotechnical subsurface investigation Geo Thermal Test Well	Site Work Construction Construction	d Conting n Costs: n Conting TUCTIO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal Company Company	1,730 ST TOTAL	103,800 637,210 637,210 70,0731 35,047 \$735,978 0 5,000 1,000 1,000 0 0 2,000 0 3,8,000 0 0 2,000 0 1,000 0 1,000 0 115,000 0 0 10,000 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 60 60 60 60 60 60 60 60 60	Land Acquisition Legal Trees Legal Trees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Engineering Design Fees Givil Engineering Design Fees Givil Engineering Design Fees SWPPP & NPDISS plans, permits and reviews its tics Survey Reimbursable expenses by the design team Conformance with declar flunding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselticion Plan Review Permits and Fees Owner's Builders Risk Insurance Unative Cost of Marieral Testing & Engineeral Allowance S24/SF new Fixtures, Furnishing & Engineeral Allowance S24/SF existing Technology & Computer Engineeral Allowance Energy & Units Mountain Construction Geo Thermal Test Well Inforstructe Engineeral Connections by Owner	Site Work Construction Construction	d Conting n Cost in m Cost	KW SubTotal Control Control	1,730 ST TOTAL	103,800 637,210 63,721 70,933 55,047 \$735,978 0 5,000 0 8,000 0 0 8,000 0 0 2,000 0 277,000 111,000 0 10,000 2,000 0 10,000 5,000
35 36 40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 60 61 62 63	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Goal Engineering Design, selection, bidding Fees Goal Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Sites Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Bailders Rols Insurance Quality Control Material Testing & Inspections during construction Utility cost during Construction by Owner Fixtures, Furnishings & Equipment Allowance SI2/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Goo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocion Expenses (technology, workstations, equipment, etc.)	Site Work Construction Construction	d Conting d Conting RUCTIC 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 ST TOTAL	103,800 637,210 63,721 70,033 35,047 \$735,978 0 5,000 5,000 8,8000 0 0 0,000 5,000 20,000 110,000 100,000 100,000 100,000 20,000 30,000 30,000 30,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 75 58 59 60 61 61 62 63 63 64 64 64 65 65 65 65 65 65 65 65 65 65	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gruil Engineering Design Sees SWPPP & NPDES plans, permits and reviews Site Survey Rembursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Plan Review Permits and Fees Owner's Builders Kils Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Inception & Computer Equipment Allowance Geotechnoical subsurface investigation Geot Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc) Revot of temporary space	Site Work Construction Construction	d Conting n Cost in m Cost	SubTotal SubTotal	1,730 ST TOTAL	103,800 637,210 637,210 637,210 70,933 35,047 \$738,978 0 5,000 5,000 12,000 0 8,000 0 2,000 0 35,000 115,000 10,00
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 60 61 62 63 64 65 66 66 66 66 66 66 66 66 66	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Frees Information & Technology Design Frees Information & Technology Design Frees Engineering Design, selection, bidding Frees Groil Engineering Design, Frees SWPPP & NPDISS plans, permits and reviews its Survey Reimbursable expenses by the design team Conformance with fedderal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having inselfaction Plans Review Permits and Frees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance S12/SF existing Technology & Computer Equipment Allowance Except & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Inforstructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space	Site Work Construction Construction	d Conting on Costs on	KW SubTotal	1,730 ST TOTAL	103,800 637,210 63,721 70,033 35,047 \$735,978 0 5,000 5,000 8,8000 0 0 0,000 5,000 20,000 110,000 100,000 100,000 100,000 20,000 30,000 30,000 30,000
35 36 40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 64 65 66 66 66 66 66 66 66 66 66	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gruil Engineering Design Sees SWPPP & NPDES plans, permits and reviews Site Survey Rembursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Documents Phase I environmental or archeological surveys Authority Having Inrisdiction Plan Review Permits and Fees Owner's Builders Kils Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Inception & Computer Equipment Allowance Geotechnoical subsurface investigation Geot Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc) Revot of temporary space	Site Work Construction Construction	d Contings on Costs on Continue of the Costs on	KW SubTotal SubT	1,730 ST TOTAL	103,800 637,210 637,210 637,217 70,033 35,047 \$738,978 0 5,000 5,000 10,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 50 51 52 53 54 55 56 57 57 60 61 62 63 64 65 66 66 66 66 66 67	Land Acquisition Legal Fees Legal Fees Information & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cord Engineering Design, begins Fees SWPPP & NPDES plans, permits and reviews Site Survey Rembursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Ris Insurance Quality Control Material Testing, & Inspection squiring construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technology & Computer Equipment Allowance Energy, & Utility Rebutes Geotechnical suburaface investigation Geo Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Cround breaking and dedidation ceremonies Owner provided Communications equipment	Site Work Construction Construction	60 d Contingent Costs on Continue Till 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 ST TOTAL	103,800 637,210 637,210 63,721 70,933 5,047 \$735,978 0 5,000 5,000 0 0 0 0 5,000 0 0 0 10,000 0 10,000 0 0 0 0 0 0 0
35 36 40 41 41 42 43 44 45 50 51 51 52 53 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66 66 67 68	Land Acquisition Land Acquisition Lagal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Govil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having instriction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Stay Service Energy & Utility Rebates Georetherical subsurface investigation Geo Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Material Hazardous Material Material Hazardous Material Material Hazardous Material Abatement	Site Work Construction Construction	60 d Contingence on Costs on Conting 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 ST TOTAL	103,800 637,210 63,721 70,933 55,047 \$735,978 0 5,000 8,000 0 8,000 0 0 8,000 0 27,000 8,000 111,000 0 100,000 110,000 1,500 0 1,500 0 0 5,000 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 67 67 66 67 67 68 68 68 68	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gruil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Rembursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Inrisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$21/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebutes Geotechnical subsurface investigation Geot Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (sechnology, workstations, equipment, etc.) Rent of temporary space Ground breaking and decidication ceremonies Owner provided Communications equipment Hazardous Material Jabatement Conceptual design planning	Site Work Construction Construction	60 d Contingence on Costs is on Continue 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal Engre Total SubTotal	1,730 ST TOTAL	103,800 637,210 63,721 70,033 35,047 \$735,978 0 5,000 5,000 8,8000 0 0 0,000 5,000 10,000 110,000 10
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 56 57 58 58 60 61 64 66 67 68 69 70 70 70 70 70 70 70 70 70 70	Land Acquisition Land Acquisition Lagal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Govil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having instriction Plan Review Permits and Fees Owner's Bailders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Stay Service Energy & Utility Rebates Georetherical subsurface investigation Geo Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Material Hazardous Material Material Hazardous Material Material Hazardous Material Abatement	Site Work Construction Construction	60 d Contingent of the control of t	KW SubTotal Engraph SubTotal SubTo	1,730 ST TOTAL	103,800 637,210 637,210 637,210 70,033 35,047 \$735,978 0 5,000 5,000 12,000 0 0 2,000 0 15,000 115,000 10,000 10,000 11,000 11,000 10,
35 36 40 41 42 43 44 45 46 47 48 49 55 55 55 56 66 66 66 67 68 69 70 71	Land Acquisition Legal Free Legal Free Information & Technology Design Fees Veril Engineering Design, selection, bidding Fees Gruil Engineering Design, selection, bidding Fees Gruil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Sites Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Material Testing & Inspections during construction Utility corse during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technologs & Computer Equipment Allowance Linengy & Utility Rebutes Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Mowing and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and deddelation ceremonies Owner provided Communications equipment Hazardoss Material survey sample & test for buildings Hazardoss Material survey sample & test for buildings Hazardoss Material Abatement Conceptual design planning Historic Freservation assessments & services Commissioning of systems	Site Work Construction Construction	60 d Continge on Costs on Continue on Costs on Continue on Costs on Continue on Costs on Continue on Costs on	KW SubTotal SubT	1,730 ST TOTAL	103,800 637,210 637,210 637,210 70,033 5,047 \$735,978 0 5,000 5,000 0 0 0 0 5,000 0 10,000 30,000 1
35 36 40 41 42 43 44 45 46 47 48 49 55 55 56 57 58 60 61 62 63 64 65 66 67 70 70 70 71 72	Land Acquisition Legal Free Legal Free Architectural & Engineering Design Frees Information & Technology Design Frees Information & Technology Design Frees Furnishing Design, selection, bidding Frees Groil Engineering Design, Frees SWPPP & NPDISS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselfaction Plan Review Permits and Frees Owner's Buddern Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/SF rew Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Lenery & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Hazardous Material Abatement Conceptual design planning Hatardous Material Abatement Conceptual design planning	Site Work Construction Construction	60 d Conting in Costs in Cost in Costs in Cost in Cos	SwbTotal	1,730 ST TOTAL	103,800 637,210 637,210 70,033 35,647 \$738,978 0 5,000 5,000 38,800 5,000 0 0 0 0 0 10,000 115,000 10,000 10,000 10,000 10,000 3
35 36 40 41 42 43 44 45 46 47 48 49 51 52 53 54 55 56 67 63 64 65 66 67 68 69 70 71 71 72 73	Land Acquisition Legal Trees Legal Trees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Civil Engineering Design Fees Enrishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NPDISS plans, permits and reviews little State of Sta	Site Work Construction Construction	d d Conting in Costs	KW SubTotal SubT	1,730 ST TOTAL	103,800 637,210 637,210 637,217 70,933 55,047 \$735,978 0 5,000 5,000 0 8,000 0 0 8,000 0 27,000 27,000 110,000 0 100,000 1,500 0 5,000 1,500 0 1,500
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 66 67 70 71 72 73 74 75 75 75 76 77 77 77 77 77 77 77 77 77	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Control of Control Testing Selection Select	Site Work Construction Construction	60 d Conting in Costs in Cost in Costs	SubTotal	1,730 ST TOTAL	103,800 637,210 637,210 637,217 70,033 55,047 \$735,978 0 5,000 5,000 0 8,800 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 66 67 70 71 72 73 74 75 75 75 76 77 77 77 77 77 77 77 77 77	Land Acquisition Legal Frees Legal Frees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Great Engineering Design Fees SwiPPP & NiPDIS plans, permits and reviews lite Swivey Reimbursable expenses by the design team Conformance with Roteal faulting planning and reporting requirements Princing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inseltion Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technology & Computer Equipment Allowance \$21/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotherheal subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rene of temporary space Ground breaking and dedidaction ceremonies Owner provided Communications equipment Hazardous Material Survey sample & test for buildings Hazardous Material Systems LEED or other sustainability certification services Ocommunisoring of systems LEED or other sustainability certification services Space Needs Programming Referendum Campaign Facilitation	Site Work Construction Construction	60 d Contingent of the control of t	Sw SubTotal	1,730 ST TOTAL	103,800 637,210 63,721 70,033 35,047 \$735,978 0 5,000 5,000 38,800 0 0,00 5,000 0 0,00 10,000
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 66 67 70 71 72 73 74 75 75 75 76 77 77 77 77 77 77 77 77 77	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Control of Control Testing Selection Select	Site Work Constructio Constructic SITE WORK CONST	60 d Contingent of the control of t	SubTotal	1,730	103,800 637,210 637,210 637,217 70,033 55,047 \$735,978 0 5,000 5,000 0 8,800 0 0 0 0 0 0 0 0 0 0 0 0 0 0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 66 67 70 71 72 73 74 75 75 75 76 77 77 77 77 77 77 77 77 77	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Control of Control Testing Selection Select	Site Work Constructio Constructic SITE WORK CONST	d Conting in Costs in	SwbTotal	1,730	103,800 637,210 637,210 637,210 700,331 35,647 \$738,978 0 5,000 5,000 38,800 5,000 0 0 0,000 12,000 0 115,000 100,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,000 1,500 10,0
35 36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 60 61 62 63 64 65 66 66 67 70 71 72 73 74 75 75 75 76 77 77 77 77 77 77 77 77 77	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Control of Control Testing Selection Select	Site Work Constructio Constructic SITE WORK CONST	60 d Contingent of the continue of the contin	SubTotal	1,730	103,800 637,210 637,210 637,217 70,933 55,647 \$735,978 0 5,000 5,000 12,000 0 8,000 0 27,000 27,000 110,000 100,000 11,500 10,000 110,000 12,000 12,000 10,000 110,000 110,000 12,000 10,000 1
35 36 40 41 42 43 44 45 46 47 48 49 49 50 51 52 66 67 68 69 60 67 67 68 68 69 70 71 72 73 74 75 76	Land Acquisition Legal Free Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Inselication Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/\$F new Fixtures, Furnishing & Equipment Allowance \$12/\$F existing Technology & Computer Equipment Allowance Control of Control Testing Selection Select	Site Work Constructio Constructic SITE WORK CONST	GO GO GO GO GO GO GO GO	SubTotal	1,730	103,800 637,210 637,210 637,210 70,933 55,047 \$735,978 0 5,000 0 5,000 0 0 0 5,000 0 0 0 0 0



Option P - Total Project Budget

	Owner: Worth County Project : Facility Planning	Project No.: 2020317 Phase: Conceptual Design			Date : Estimator :	5/20/21 KE
	FEH - Total Project Budget - Option P					
	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Bui	Iding Construction Costs:					
1	New Construction County Courthouse - New construction		0	SF	220.00	0
2	County Courthouse - New Construction County Courthouse - Historic Renovation		0	SF	145.00	0
3	County Sheriff & Jail - New Construction		0	SF	357.00	0
4	County Sheriff & Jail - Renovation		0	SF	165.00	0
5	County Engineering (maintenance)		0	SF	168.00	0
7	County Roads, 280' x 110' Bunkers		31,000 1,400	SF SF	132.00 70.00	4,092,000 98,000
_	Painted.				70.00	
		Design / Bid		SubTotal		4,190,000 419,000
		Building Construction				4,609,000
		Construction				230,450
		BUILDING CONSTR			T TOTAL	\$4,839,450
Site	Work Construction Costs					. , , ,
11	Structure Deconstruction - Engineering & Maintenance		400	SF	-	2,800
12	Remove trees		0	EA	750	2,000
13	Remove foundations - eng		400	SF	1	400
14	Hazard Material survey, sample, test for site demo		1	LS	2500	2,500
15	Hazardous material abatement		400	SF	4	1,600
16	New Parking Spaces		14	SF	3,000.00	42,000
17 18	New Drive Lane Concrete Curb and Gutter		21,600	LS LF	6.00 12.00	129,600
18	Concrete Curb and Gutter Emergency Generator		0	SF	8.00	0
21	* '		0	LF	32	0
22	Domestic Water		300	LF	100	30,000
23	Sanitary Sewer - septic field, grease separator		1,200	LF	38	45,600
24	Electrical service, transformer		1	LS	24,000	24,000
25 26	Relocate power lines & poles Fill material		700	LS	20,000	20,000 18,900
27	Retaining Walls		100	LF	120	12,000
28	Pedestrian Paving		800	SF	5.00	4,000
29	Lawns & Landscaping		10,000	SF	1	10,000
30	Benches and site furniture, donated		0	LS	4,000	0
31	Roof canopy Flag pole		0	LS	30 2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building		1	LS	8,000	8,000
34	Storm Water Detention - underground		0	SF	12.00	0
					1,900	
35	Parking lot lighting		6	EA		11,400
35 36	Parking lot lighting Solar Panels -		60	EA KW	1,730	11,400 103,800
			60			
		Design / Bid	60 Conting	KW SubTotal ency 10%	1,730	103,800
		Design / Bid	60 Conting	KW SubTotal ency 10%	1,730	103,800 469,400
	Solar Panels -	Site Work Construction	Conting Costs	KW SubTotal ency 10% SubTotal gency 5%	1,730	103,800 469,400 46,940 516,340 25,817
	Solar Panels -	Site Work Construction	Conting Costs	KW SubTotal ency 10% SubTotal gency 5%	1,730	103,800 469,400 46,940 516,340
36	Solar Panels -	Site Work Construction	Conting Costs:	KW SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 469,400 46,940 516,340 25,817 \$542,157
36	Solar Panels - Solar Panels - Solar Panels - Solar Panels - Land Acquisition	Site Work Construction	Conting Costs:	KW SubTotal ency 10% SubTotal gency 5% TES	1,730	103,800 469,400 46,940 516,340 25,817 \$542,157
36 40 41	Solar Panels - Solar Panels - Land Acquisition Lagal Fees	Site Work Construction	Conting Costs:	KW SubTotal ency 10% SubTotal gency 5% ON COS	1,730	103,800 469,400 46,940 516,340 25,817 \$542,157 0 5,000
36	Solar Panels - Solar Panels - Solar Panels - Solar Panels - Land Acquisition	Site Work Construction	Conting Costs:	KW SubTotal ency 10% SubTotal gency 5% TES	1,730	103,800 469,400 46,940 516,340 25,817 \$542,157
36 	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction	Conting Conting Costs:	KW SubTotal ency 10% SubTotal gency 5% IS IS IS IS	1,730	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240
40 41 42 43 44 45	Land Acquisition Lagal Fres Land Reguistion Lagal Fres	Site Work Construction	Conting a Costs:	SubTotal ency 10% SubTotal ency 5% DN COS IS IS IS IS IS IS	1,730	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000
40 41 42 43 44 45 46	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPP & NPDES plans, pennits and reviews	Site Work Construction	Conting a Costs:	SubTotal ency 10% SubTotal ency 5% DN COS IS IS IS IS IS IS IS IS	1,730	103,800 469,400 46,940 516,340 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000
40 41 42 43 44 45	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Caril Engineering Design Fees Caril Engineering Design Fees Simply & NPDES plans, permits and reviews Site Survey Site Survey	Site Work Construction	Conting a Costs:	SubTotal ency 10% SubTotal ency 5% DN COS IS IS IS IS IS IS	T TOTAL	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 8,000
40 41 42 43 44 45 46 47	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gwil Engineering Design Fees SWPP & NPDES plans, pennits and reviews	Site Work Construction	Conting a Costs:	KW SubTotal ency 10% SubTotal gency 5% DN COS IS IS IS IS IS IS IS	1,730	103,800 469,400 46,940 516,340 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000
40 41 42 43 44 45 46 47 48 49 50	Land Acquisition Lagal Fees Land Acquisition Lagal Fees Land Acquisition Lagal Fees Land Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Ferrishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NIPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs Fee Construction Decuments	Site Work Construction	Conting a Costs: Conting to Costs: Conting to Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal gency 5% DN COS IS I	1,730	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000 8,000 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50	Solar Panels - Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cevil Engineering Design Fees SWPP & NPDEs plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys	Site Work Construction	Conting Cont	KW SubTotal ency 10% SubTotal gency 5% DN COS IS I	1,730	103,800 46,940 46,940 25,817 \$\$42,157 0 5,000 403,621 15,000 5,000 5,000 0 12,000 0
40 41 42 43 44 45 46 47 48 49 50 51 52	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Cavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees	Site Work Construction	Conting a Costs: Conting to Costs: Conting to Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 403,621 1600 6,240 15,000 8,000 5,000 0 12,000 0 2,000
40 41 42 43 44 45 46 47 48 49 50	Solar Panels - Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees Furnishing Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs For Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance	Site Work Construction	Conting Cont	KW	1,730	103,800 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000 0 0 12,000 0 2,000 5,000 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquistion Lagal Fees Land Lagal Lag	Site Work Construction	60 Conting a Costs: a Conting a Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 403,621 1600 6,240 15,000 8,000 5,000 0 12,000 0 2,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56	Solar Panels - Land Acquisition Lagal Fies Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Coel Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fistures, Furnishing, & Equipment Allowance \$24/SF new	Site Work Construction	Conting Costs: a Conting III III III III III III III III III I	KW SubTotal Sub	1,730	103,800 46,940 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 12,000 0 2,000 0 2,000 35,000 35,000 48,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Land Acquisition Lagal Fees Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SWPPP & NPDES plans, peemits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marcial Testing & Inspections during construction Utility costs during Construction by Owner Fexures, Furnishing & Engineeria Allowance \$24/SF new Fexures, Furnishing & Engineeria Allowance \$24/SF seisting	Site Work Construction	60 Conting to Conting	KW SubTotal Sub	1,730 T TOTAL	103,800 469,400 465,400 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 12,000 5,000 0 2,000 5,000 0 35,000 35,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs Foo Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdetion Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SPi existing Technologs & Computer Equipment Allowance \$12/SPi existing Technologs & Computer Equipment Allowance	Site Work Construction	60 Conting a Costs: a Conting 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730	103,800 46,940 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 12,000 0 2,000 0 2,000 35,000 35,000 48,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59	Solar Panels - Land Acquisition Lagal Fiese Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Site Sur	Site Work Construction	60 Conting to Conting	SubTotal	1,730 T TOTAL	103,800 46,940 46,940 516,540 25,817 \$\$42,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 2,000 35,000 35,000 8,000 0 0 2,000 0 0 2,000 35,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, budding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs Foo Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdetion Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SPi existing Technologs & Computer Equipment Allowance \$12/SPi existing Technologs & Computer Equipment Allowance	Site Work Construction	60 Conting to Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 0 0 0 400 1	KW SubTotal	1,730 T TOTAL	103,800 469,400 465,400 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 12,000 5,000 0 2,000 5,000 0 35,000 35,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000 8,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Lagal Fees Land Lagal Fees Lagal La	Site Work Construction	Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730 T TOTAL	103,800 469,400 469,400 469,400 516,5400 25,817 \$\$42,157 0 5,000 403,621 1600 5,000 5,000 0 12,000 5,000 0 12,000 5,000 0 2,000 5,000 0 48,000 48,000 48,000 0 16,000 0 0 2,000 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63	Land Acquistion Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Ferrishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Harring Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/Sir new Fixtures, Furnishings & Equipment Allowance \$24/Sir sexisting Technology & Computer Equipment Allowance \$24/Sir sexisting Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.)	Site Work Construction	Gonting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730 T TOTAL	103,800 469,400 46,940 516,540 25,817 \$\$42,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 0 12,000 3,000 48,000 48,000 0 0 2,000 0 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64	Land Acquisition Legal Fiese Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees (Cell Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$12/Sir existing Technology & Computer Floquipment Allowance \$12/Sir existing Technology & Computer Floquipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geot Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.)	Site Work Construction	60 Conting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 T TOTAL	103,800 46,940 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 0 12,000 0 12,000 0 35,000 48,000 0 10,000 48,000 0 10,000 10,
40 41 42 43 44 45 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SWEPP & NTDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Review Permits and Fees Owner's Builders Risk Insurance Quality Control Anterior Straing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$24/SF sees Technology & Computer Engipment Allowance \$24/SF sees Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructor Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space	Site Work Construction	Gonting Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 T TOTAL	103,800 469,400 46,940 516,540 25,817 \$\$42,157 0 5,000 403,621 160 6,240 15,000 5,000 0 12,000 0 0 12,000 3,000 48,000 48,000 0 0 2,000 0 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs For Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Fupinperal Allowance Energy & Utility Rebates Georethnical subsurface investigation Geo Thermal Test Will Infrastructure Equipment Connections by Owner Moving and Rebustafice investigation Geo Thermal Test Will Infrastructure Equipment Connections by Owner Moving and Rebustafice investigation expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedikation ceremonies Owner provided Communications equipment	Site Work Construction	60 Conting Costs 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal	1,730 T TOTAL	103,800 469,400 465,400 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 0 12,000 0 12,000 0 2,000 48,000 48,000 0 0 2,000 0 0 16,000 0 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SWEPP & NTDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Review Permits and Fees Owner's Builders Risk Insurance Quality Control Anterior Straing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$24/SF sees Technology & Computer Engipment Allowance \$24/SF sees Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructor Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space	Site Work Construction	60 Conting Costs 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	KW SubTotal Sub	1,730 T TOTAL	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 6,240 15,000 5,000 0 0 12,000 0 2,000 48,000 0 48,000 0 12,000 0 10,000 0 10,000 0 10,000 0 0 10,000 0 0 0
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 66 67	Land Acquisition Legal Fies Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees (cvil Engineering Design Fees SWPPP & NYDES plans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs For Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Unity Rebates Geortechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relation Expenses (technologs; workstations, equipment, etc.) Rent of temporary space Ground breaking and dedictation ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning	Site Work Construction	60 Continge of Costs: 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730 T TOTAL	103,800 46,940 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 0 12,000 0 0 12,000 0 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 62 63 64 65 66 67 68 69 70	Land Acquisition Lagal Fees Land Lagal Fees Lagal La	Site Work Construction	60 Continge to Costs and the cost of the costs of the co	KW	1,730 T TOTAL	103,800 469,400 465,400 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 0 12,000 0 12,000 0 35,000 48,000 35,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71	Land Acquisition Lagal Fres Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs For Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technology & Computer Fupinperal Allowance Energy & Units Rebates Georethnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication exeremonies Owner provided Communications equipment Hazardous Material Juriever sample & test for buildings Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems	Site Work Construction	60 Conting to Costs a Cos	KW SubTotal sency 100% substitute	1,730 T TOTAL	103,800 46,940 46,940 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 0 12,000 0 0 12,000 0 0 48,000 0 0 12,000 0 0 0 10,000 0 0 0 10,000 0 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 0 10,000 11,000
40 41 42 43 44 45 50 51 52 53 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees SWPPP & NIPDIS plans, permits and reviews Site Survey Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Put Reimbursable expenses by the design team Conformance will partised time In Review Permits and Fees Owner's Builders Risk Insurance Quality Control Auterial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF sixting Technology & Computer Equipment Allowance \$24/SF sixting Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Will Infrastructure Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication ceremonies Owner provided Communications equipment Hazardous Material alvers sample & text for buildings Hazardous Material alvers sample & text for buildings Hazardous Material alvers sample & text for for Conceptual design Junning Historic Preservation assessments & services Commissioning of Systems	Site Work Construction	60 Continge to Costs and the cost of the costs of the co	KW	1,730 T TOTAL	103,800 469,400 465,400 516,540 25,817 \$542,157 0 5,000 403,621 160 6,240 15,000 0 12,000 0 12,000 0 35,000 48,000 35,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 60 61 62 63 64 65 66 67 68 69 70 71	Land Acquisition Lagal Fres Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Princing Costs For Construction Decuments Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$21/SF existing Technology & Computer Fupinperal Allowance Energy & Units Rebates Georethnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedidication exeremonies Owner provided Communications equipment Hazardous Material Juriever sample & test for buildings Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of Systems	Site Work Construction	60 Contings to Costs at Continue to the cost of the costs at Continue to the cost of the	KW	1,730 T TOTAL	103,800 469,400 465,400 516,5400 25,817 \$542,157 0 5,0000 403,621 1600 5,0000 0 12,0000 0 12,0000 0 2,0000 0 48,0000 48,0000 2,0000 0 16,0000 20,0000 0 0 16,0000 20,0000 0 0 16,0000 20,0000 0 0 16,0000 20,0000 0 0 0 0 0 0 0 0 0 0 0 0 0
36 40 41 42 43 44 45 50 51 52 53 54 55 56 67 68 69 70 71 72 73 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NYDES plans, permits and reviews Site Survey Reimbarnable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Haring fursidation Plan Neview Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance (\$24/SF existing) Technology & Computer Equipment Allowance (\$24/SF exist	Site Work Construction	60 Conting (Costs) Conting (Costs) (KW	1,730 T TOTAL	103,800 469,400 46,940 516,540 25,817 \$542,157 0 5,000 10,000 12,000 0 12,000 0 12,000 0 0 12,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 50 51 52 53 54 66 67 66 67 68 69 70 71 72 73 74	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design Sees of the Sees SWPPP & NPDIES plans, spennits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal furnishing planning and reporting requirements Prinning, Costs for Construction Documents Phase I environmental or archeological surveys Authority Haring, Iurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marcial Testing & Inspections during construction Utility costs during Construction Dy Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Geor Thermal Test Well Infrastructer Equipment Connections by Owner Moving and Relocation Expenses (technology, workstations, equipment, etc.) Rent of temporary space Ground breaking and dedication ceremonies Owner provided Communications equipment Hazardous Material Abatement Conceptual design planning Historic Preservation assessments & services Commissioning of systems LEED or other sustainability certification services Space Needs Programming Referendum Campagin Facilitation	Site Work Construction Construction Construction SITE WORK CONSTR	Contings Contings 1 1 1 1 1 1 1 1 1 1 1 1 1	KW	1,730 T TOTAL	103,800 46,940 46,940 516,540 25,817 \$542,157 0 5,000 403,621 1600 6,240 15,000 0 0 12,000 0 0 12,000 0 0 0 12,000 0 0 0 12,000 0 0 0 10,000 0 0 10,000 0 0 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 0 0 0
36 40 41 42 43 44 45 50 51 52 53 54 55 56 67 68 69 70 71 72 73 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NYDES plans, permits and reviews Site Survey Reimbarnable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Haring fursidation Plan Neview Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance (\$24/SF existing) Technology & Computer Equipment Allowance (\$24/SF exist	Site Work Construction Construction SITE WORK CONSTR	Conting Office State 1	KW	1,730 T TOTAL	103,800 469,400 469,400 469,400 516,5400 25,817 \$\$42,157 0 5,000 10,000 5,000 0 12,000 5,000 0 12,000 8,000 48,000 2,000 20,000 16,000 20,000 16,000 16,000 16,000 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 50 51 52 53 54 55 56 67 68 69 70 71 72 73 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NYDES plans, permits and reviews Site Survey Reimbarnable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Haring fursidation Plan Neview Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance (\$24/SF existing) Technology & Computer Equipment Allowance (\$24/SF exist	Site Work Construction Construction STEE WORK CONSTR	Conting UCTIC 1	KW SubTrotal	1,730 T TOTAL	103,800 469,400 465,400 516,540 516,540 5,000 6,021 160 6,240 15,000 0 12,000 0 12,000 0 12,000 0 0 16,000 20,000 0 16,000 16,000 10,000 11,00
36 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 67 68 66 67 68 69 70 71 72 73 74 75	Land Acquisition Lagal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWEPP & NYDES plans, permits and reviews Site Survey Reimbarnable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Decuments Printing Costs for Construction Decuments Phase I environmental or archeological surveys Authority Haring fursidation Plan Neview Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF new Fixtures, Furnishing & Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance \$24/SF existing Technology & Computer Equipment Allowance (\$24/SF existing) Technology & Computer Equipment Allowance (\$24/SF exist	Site Work Construction Construction SITE WORK CONSTR	Contings Costs: Costs: Conting Costs:	KW	1,730 T TOTAL	103,800 469,400 469,400 469,400 516,5400 25,817 \$\$42,157 0 5,000 10,000 5,000 0 12,000 5,000 0 12,000 8,000 48,000 2,000 20,000 16,000 20,000 16,000 16,000 16,000 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0

	Owner: Worth County	Project No.: 2020317			Date:	5/20/21
	Project : Facility Planning	Phase: Conceptual Design			Estimator:	KE
	port of an analysis of					
	FEH - Total Project Budget - Opt	ion Q		_		
	DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Buil	ding Construction Costs:					
	New Construction					
1	New Construction County Courthouse - New construction (upper level 7,064 SF, Main level 7,645		12,400	SF	220.00	2,728,000
2	County Courthouse - Hew Construction (upper lever 7,000 SF, Main lever 7,000 SF, County Courthouse - Historic Renovation (multi-story building only)		9,600	SF	145.00	1,392,000
3	County Sheriff & Jail - New Construction		17,610	SF	357.00	6,286,770
4	County Sheriff & Jail - Renovation		0	SF	165.00	0
5	County Engineering (maintenance)		2,000	SF	168.00	336,000
6	County Roads		0	SF	0.00	0
7	County Conservation		0	SF	0.00	0
				SubTotal		10,742,770
		Design / Bid				1,074,277
		Building Construction				11,817,047
		Construction	n Contine	ency 5%		590,852
		BUILDING CONSTR				\$12,407,899
Site	Work Construction Costs			. 500		. =, .51,077
			0.4=-			
11	Structure Deconstruction - Engineering & Maintenance		8,170	SF	7	57,190
12	Remove trees Remove foundations - eng		6 2,000	EA SF	750	4,500 2,000
14			1	LS	2500	2,500
15	Hazard Material survey, sample, test for site demo Hazardous material abatement		4,000	SF	2300 4	16,000
16	New Parking Spaces		59	SF	3,000.00	177,000
17	New Parking Spaces New Drive Lane		4,800	SF	6.00	28,800
	Concrete Curb and Gutter		320	LF	12.00	3,840
	Children's Outdoor Program area		0	SF	8.00	3,040
21	Storm Sewer		180	LF	32	5,760
	Domestic Water		60	LF	100	6,000
	Sanitary Sewer		120	LF	38	4,560
24	Electrical service, transformer		1	LS	24,000	24,000
25	Relocate power lines & poles		0	LS	20,000	0
26	Fill material		3,000	CY	27	81,000
27	Retaining Walls		0	LF	120	0
28	Pedestrian Paving,		6,200	SF	5.00	31,000
	Lawns & Landscaping		30,000	SF	1	30,000
	Benches and site furniture, donated		0	LS	4,000	0
31	*		0	LS	30	0
	Flag pole		0	LS	2,800	0
	Directional & Informational Signage - signage, electronic site sign and building		1 0	LS	24,000	24,000
	Storm Water Detention - underground		0	SF	12.00	15 200
.00	Parking lot lighting Solar Panels -		8 60	EA KW	1,900 1,730	15,200 103,800
36			00	1011	7	
36						
36				SubTotal		617,150
36		Design / Bid	l Conting	SubTotal ency 10%		
36		Design / Bid	l Conting	SubTotal ency 10%		617,150
36			l Conting	SubTotal ency 10% SubTotal		617,150 61,715
36		Site Work Construction	l Conting n Costs	SubTotal ency 10% SubTotal gency 5%		617,150 61,715 678,865
36		Site Work Construction Construction	l Conting n Costs	SubTotal ency 10% SubTotal gency 5%		617,150 61,715 678,865 33,943
		Site Work Construction Construction	l Conting n Costs	SubTotal ency 10% SubTotal gency 5%		617,150 61,715 678,865 33,943
40	Land Acquisition Lagal Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting	SubTotal ency 10% SubTotal gency 5% ON COS		617,150 61,715 678,865 33,943 \$712,808
40 41	Land Acquisition Logal Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS		617,150 61,715 678,865 33,943 \$712,808
40 41 42	Land Acquisition Logal Fees Architectural & Engineering Design Fees	Site Work Construction Construction	I Conting n Costs ! n Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS		617,150 61,715 678,865 33,943 \$712,808 0 5,000
40 41 42	Land Acquisition Logal Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS LS LS LS		617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053
40 41 42 43	Land Acquisition Logal Fees Architectural & Engineering Design Fees Information & Technology Design Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S		617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053 15,600
40 41 42 43 44	Land Acquisition Logal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting n Costs ! n Conting n Costs ! 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S		617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053 15,600 90,480
40 41 42 43 44 45	Land Acquisition Logal Fees Architectural & Engineering Design Fees Information & Technologe Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting RUCTIC	SubTotal ency 10% SubTotal gency 5% DN COS IS IS IS IS IS IS IS IS IS		617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053 15,600 90,480 8,000 5,000 4,500
40 41 42 43 44 45	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gruf Engineering Design Fees SWPPP & NYDES plans, permits and reviews Site Survey Reimbursable expenses by the design team	Site Work Construction Construction	1 Conting n Costs ! n Conting 1 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal gency 5% ON COS I.S I.S I.S I.S I.S I.S I.S I.S		617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053 15,600 90,480 8,000 5,000
40 41 42 43 44 45 46 47	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWFPP & NDDES Jans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements	Site Work Construction Construction	1 Conting n Costs ! n Conting RUCTIC	SubTotal ency 10% SubTotal gency 5% DN COS IS IS IS IS IS IS IS IS IS	ST TOTAL	617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053 15,600 90,480 8,000 5,000 4,500
40 41 42 43 44 45 46 47 48 49 50	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technologo Design Fees Furnishing Design, Seedroin, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Sire Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents	Site Work Construction Construction	1 Conting n Costs ! n Conting n Costs ! 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal gency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	ST TOTAL	617,150 61,715 678,865 33,943 \$712,808 0 5,000 984,053 15,600 90,480 8,000 5,000 4,500 0 12,000
40 41 42 43 44 45 46 47 48 49 50 51	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technologe Design Fees Furnishing Design, selection, bidding Fees Gavil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursalbe expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phinting Costs for Construction Documents	Site Work Construction Construction	1 Conting n Costs ! n Conting RUCTIO	SubTotal ency 10% SubTotal gency 5% DN COS I.S I.S I.S I.S I.S I.S I.S I.S I.S I	ST TOTAL	617,150 61,715 678,865 5712,808 0 0 5,000 94,465 5,000 9,480 5,000 5,000 0 15,000 0 15,000 0 15,000 0 15,000 0 15,000
40 41 42 43 44 45 46 47 48 49 50 51 52	Land Acquisition Logal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees	Site Work Construction Construction	1 Conting n Costs ! n Conting n Costs ! 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal ency 10% SubTotal gency 5% ON COS IS I	ST TOTAL	617,150 61,715 678,865 5712,808 5712,808 94,053 15,600 94,953 15,600 94,950 1,5000 0,000 1,5000 0,000 1,5000 0,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Ballest Sike Insurance	Site Work Construction Construction	1 Conting RUCTIC	SubTotal ency 10% SubTotal gency 5% DN COS IS I	ST TOTAL	617,150 61,715 678,865 678,865 6712,808 5712,808 5,000 984,053 15,000 90,480 4,000 10,000 12,000 0 0 2,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPD & NDISD Julia, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phisas I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Impections during construction	Site Work Construction Construction	1 Conting n Costs on Conting n Conting 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	617,150 61,715 678,865 5712,808 5712,808 5,000 94,405 15,000 90,480 8,000 4,500 0 0 0 0 0 0 0 1,2,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technologo Design Fees Information & Technologo Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner	Site Work Construction Construction	1 Contings n Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal SubTotal	ST TOTAL	617,150 61,715 678,865 33,943 33,943 5712,888 670 984,053 15,600 94,053 15,600 12,000 12,000 2,000 0 12,000 5,000 12,000 5,000 12,000 5,000 13,000 5,000 5,000 6,0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Gird Engineering Design, selection, bidding Fees SWPP & NPDES plans, permits and reviews SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal fanding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budlers Rick Insurance Quality Control Material Testing & Impections during construction Utility costs during Construction by Owner Fatures, Furnishings & Equipment Allowance \$24/SF new	Site Work Construction Construction	1 Contings n Costs 's n Continy 1 1 1 1 1 1 1 1 1 1 1 1 1 1 2 9,000	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 6712,808 5712,808 0 5,000 984,053 15,000 90,480 4,500 0 12,000 0 12,000 0 5,000 0 5,000 0 6,000 0 6,000 0 6,000 6,000 6,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Grid Engineering Design Fees SWPPP & NIPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing, Costs for Construction Documents Phisac I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Marcial Testing, & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$12/\$F! new Fixtures, Furnishings & Equipment Allowance \$24/\$F! new	Site Work Construction Construction	1 Conting n Costs : a Conting N Costs : a Conting N Costs : a Conting N COST (Costs N Costs N	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 8712,808 8712,808 944,053 944,053 15,600 94,053 12,000 0,00
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Civil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budlers Rick Insurance Quality Control Material Testing & Impections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance	Site Work Construction Construction	1 Conting n Costs : 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 6712,808 5712,808 0 5,000 984,053 15,000 90,480 4,500 0 12,000 0 12,000 0 5,000 0 5,000 0 6,000 0 6,000 0 6,000 6,000 6,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPD & NDISD Julia, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phisas I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Material Testing & Impections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allovance \$24/SF new Fixtures, Furnishings & Equipment Allovance \$12/SF existing Technology & Computer Equipment Allovance Energy & Utility Rebates	Site Work Construction Construction	Conting Cont	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 6712,808 5712,808 5,000 984,053 15,000 99,480 5,000 90,480 6,000 0 0 0 2,000 2,000 35,000 8,000 6,000 0 0 6,000 0 0 6,000 0 0 6,000 0 0 0
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWPPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Prinning, Costs for Construction Documents Phase 1 environmental or archeological surveys Authorist Having Jurisdiction Plan Review Permits and Fees Owner's Builders Risk Insurance Quality Control Marchail Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SP new Fixtures, Furnishings & Equipment Allowance \$21/SP existing Technology & Computer Equipment Allowance Energy & Utility Rebusts Gootechnical subsurface investigation	Site Work Construction Construction	1 Contings n Costs 1 n Contings n Costs 1 n Contings n Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 678,865 8712,808 984,053 15,600 944,053 15,600 0,488 8,000 12,000 0,5000 0,5000 0,5000 0,5000 0,5000 0,5000 12,000 12,000 13,000 14,500 15,000 15,000 15,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000 10,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 56 57 58 59 60 61	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Grid Engineering Design, selection, bidding Fees SWPP & NPDES plans, permits and reviews SWPP & NPDES plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal fanding planning and reporting requirements Printing Costs for Construction Documents Phase I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budlers Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/8F new Fixtures, Furnishings & Equipment Allowance \$12/8F existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geot Termila Test Well	Site Work Construction Construction	1 Conting n Costs 1 n Conting n n Costs 1 n n Costs 1 n n Costs 1 n n n n n n n n n n n n n n n n n n	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 6712,808 5712,808 5712,808 5,000 984,053 15,000 90,480 5,000 10,000 10,000 66,000 115,000 10,000 115,000
40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 55 56 57 58 59 60 61 62	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, bidding Fees Givil Engineering Design Fees SWFPD & NDDES Jans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal funding planning and reporting requirements Printing Costs for Construction Documents Phisa I environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budders Risk Insurance Quality Control Marcial Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Enginement Allowance \$24/SF new Fixtures, Furnishing & Enginement Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility, Rebates Gootschuical subsurface investigation Geo Thermal Test Well Infrastructer Equipment Connections by Owner	Site Work Construction Construction	1 Conting n Costs 1 n Conting n Costs 1 n Conting n Costs 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 678,865 8712,808 98,4653 15,6000 99,480 15,6000 0 0 12,000 2,000 5,000 8,000 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 115,200 15,000
40 41 42 43 44 45 46 47 50 51 52 53 54 55 56 67 60 61 62 63	Land Acquisition Legal Fees Architectural & Engineering Design Fees Information & Technology Design Fees Furnishing Design, selection, hidding Fees Civil Engineering Design Fees SWPPP & NPDIS plans, permits and reviews Site Survey Reimbursable expenses by the design team Conformance with federal finding planning and reporting requirements Prinning Costs for Construction Documents Phase 1 environmental or archeological surveys Authority Having Jurisdiction Plan Review Permits and Fees Owner's Budlers Rick Insurance Quality Control Material Testing & Inspections during construction Utility costs during Construction by Owner Fixtures, Furnishings & Equipment Allowance \$24/SF new Fixtures, Furnishings & Equipment Allowance \$12/SF existing Technology & Computer Equipment Allowance Energy & Utility Rebates Geotechnical subsurface investigation Geo Thermal Test Well Infrastructre Equipment Connections by Owner	Site Work Construction Construction	1 Conting m Costs : n Conting RUCTIC 1	SubTotal	ST TOTAL	617,150 61,715 678,865 678,865 6712,808 5712,808 5712,808 5,000 90,480 15,000 0 0 0 12,000 0 12,000 0 5,000 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 115,200 0 15,000 0 15,000 0 15,000 0 15,000 0 15,000 0 15,000 0 15,000 0 15,000 0 15,000 0 16,000 0 16,000 0 16,000 0 16,000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
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Worth County Facility Planning Options budget summary 2021-5-25

Day	12	voti	ina

		Day 2 voiling
Courthouse - Administrative & Courts	Budget	score
G (expand & renovate)	\$5,730,395	7
J (new courthouse, demo existing)	\$8,518,120	12
O (expand & renovate)	\$7,267,645	CAW
Courthouse - Administrative, Courts, Sheriff, & Jail		
A (urgent & required only)	\$9,276,078	4
H (new sheriff & Jail, reno courthouse)	\$14,008,929	3
K, K.1 (Courthouse addition, demo jail)	\$15,330,409	6
		11
K, K.1', K.2 (courthouse & Jail additions)	\$14,138,449	
L, L.1 (all new, demo courthouse)	\$16,395,415	11
N (all new, empty courthouse)	\$16,821,798	0
Q (Expand and renovate)	\$15,688,041	CAW
Sheriff & Jail		
I, I.1 (new jail at Kensett)	\$8,743,031	42
County Roads facility		
B, B.1, B.2, B.2.1, B.3 (all new)		0
P (new at Kensett)	\$6,163,128	CAW
County Roads & Engineering		
M, M.1, M.2, M.2.1 (all new, Northwood)	\$7,102,046	0
,		
County Roads & Conservation		
E, E.1 (new at recycling)	\$6,133,639	9
E.2 (new at recycling roads on west)	\$8,411,901	15
F, F.1 (new in Northwood)	40,111,001	0
County Concernation		
County Conservation		0
C (renovate and small expansion)	00.440.074	0
D, D.1 (all new at recycling)	\$2,142,274	0

CAW = Created After Workshop

Operating Costs Comparison Chart

									Caustu	
	Jail & Sheriff		Deputies		Courthouse		Treasurer		County Attorney	
9/28/2021	Existing		Existing		Existing		Existing		Existing	
	Repairs Only		Repairs Only		Repairs Only		Repairs Only		Rental	
Total Building Area	5,185	SF	3,900	SF	12,600	SF	3,700	SF	1,000	SF
Total renovated area	0	SF	0	SF	0	SF	0	SF	0	SF
Total New area	0	SF	0	SF	0	SF	0	SF	0	SF
Ongoing Operations										
Gas /YR-existing	\$2,074.00		\$1,560.00		\$7,018.20		\$1,517.00		\$400.00	
Gas \$0.25/SF/YR-renov	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Gas \$0.20/SF/YR-new	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Electrical /YR-existing	\$2,722.13		\$3,069.30		\$22,302.00		\$3,688.90		\$525.00	
Electric \$0.3/SF/YR-renov	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Electric \$0.25/SF/YR-new	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Water & sewer /YR-existing	\$740.42		\$556.92		\$2,192.40		\$629.00		\$142.80	
Maint. /YR-existing	\$12,962.50		\$9,750.00		\$31,500.00		\$9,250.00		\$0.00	
Maint. \$1.50/SF/YR-renov	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Maint. \$1.00/SF/YR-new	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Rent									\$5,400.00	
Custodial /YR	\$9,851.50		\$7,410.00		\$23,940.00		\$7,030.00		\$1,500.00	
Landscaping & snow removal	\$1,000.00		\$1,000.00		\$1,865.00		\$1,000.00		\$0.00	
Telephone	\$2,000.00		\$2,000.00		\$17,214.00		\$3,000.00		\$618.00	
Elevator	\$0.00		\$0.00		\$5,000.00		\$0.00		\$0.00	
Insurance	\$4,407.25		\$3,315.00		\$10,710.00		\$3,145.00		\$850.00	
staff variation - increases over existing.	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Total Annual operations	\$35,757.79		\$28,661.22		\$121,741.60		\$29,259.90		\$9,435.80	
annual cost/SF	\$6.90		\$7.35		\$9.66		\$7.91		\$9.44	
20 years plus 3% inflation	\$960,825.29		\$770,137.71		\$3,271,242.38		\$786,224.47		\$253,543.48	
20 yr cost/SF	\$185.31		\$197.47		\$259.62		\$212.49		\$253.54	
40 years plus 3% inflation	\$2,696,182.64		\$2,161,092.09		\$9,179,470.00		\$2,206,233.32		\$711,471.21	
To years plas 576 timeters	Existing SF		Needed SF		7 3,17 3, 17 616 6		, _,		.,, .,	
Sheriff & Jail	5,185	SF	17,610	SF						
Deputy space	3,900	SF	0	SF			RED TEXT = ESTIMATED			
County Engineering Offices	3,100	SF	2,000	SF			BLACK TEXT = ACTUAL			
Courthouse Judicial		SF	10,098	SF						
Courthouse Administrative		SF	11,895	SF						
County Attorney	1,000	SF								
Treasurer	3,700	SF								
Courthouse combined	12,600	SF								
TOTAL	29,485		41,603							



	Engineer & Maint		Total ALL SIX		OPTION Q Courthouse & Jail		OPTION K2 Courthouse & Jail		OPTION N Courthouse & Jail	
	Existing		Existing bldgs		Add & Reno		Add & Reno		Build All New	
	Repairs Only		Repairs Only		Hist. CH only		CH & Jail			
Total Building Area	3,100	SF	29,485	SF	41,603	SF	41,603	SF	41,603	SF
Total renovated area	0	SF	0	SF	9,600	SF	17,600	SF	0	SF
Total New area	0	SF	0	SF	32,003	SF	24,003	SF	41,603	SF
Ongoing Operations										
Gas /YR-existing	\$1,240.00		\$13,809.20		\$0.00		\$0.00		\$0.00	
Gas \$0.25/SF/YR-renov	\$0.00		\$0.00		\$2,400.00		\$4,400.00		\$0.00	
Gas \$0.20/SF/YR-new	\$0.00		\$0.00		\$6,400.60		\$4,800.60		\$8,320.60	
Electrical /YR-existing	\$1,627.50		\$33,934.83		\$0.00		\$0.00		\$0.00	
Electric \$0.3/SF/YR-renov	\$0.00		\$0.00		\$2,880.00		\$5,280.00		\$0.00	
Electric \$0.25/SF/YR-new	\$0.00		\$0.00		\$8,000.75		\$6,000.75		\$10,400.75	
Water & sewer /YR-existing	\$442.68		\$4,704.22		\$5,940.91		\$5,940.91		\$5,940.91	
Maint./YR-existing	\$7,750.00		\$71,212.50		\$0.00		\$0.00		\$0.00	
Maint. \$1.50/SF/YR-renov	\$0.00		\$0.00		\$14,400.00		\$26,400.00		\$0.00	
Maint. \$1.00/SF/YR-new	\$0.00		\$0.00		\$32,003.00		\$24,003.00		\$41,603.00	
Rent			\$5,400.00							
Custodial/YR	\$5,890.00		\$55,621.50		\$62,404.50		\$62,404.50		\$62,404.50	
Landscaping & snow removal	\$1,000.00		\$5,865.00		\$3,000.00		\$3,000.00		\$3,000.00	
Telephone	\$3,000.00		\$27,832.00		\$2,286.00		\$2,286.00		\$2,286.00	
Elevator	\$0.00		\$5,000.00		\$5,000.00		\$5,000.00		\$5,000.00	
Insurance	\$2,635.00		\$25,062.25		\$2,703.00		\$2,703.00		\$2,703.00	
staff variation - increases over existing.	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Total Annual operations	\$23,585.18		\$248,441.49		\$147,418.76		\$152,218.76		\$141,658.76	
annual cost/SF	\$7.61		\$8.43		\$3.54		\$3.66		\$3.41	
20 years plus 3% inflation	\$633,742.62		\$6,675,715.96		\$3,961,197.24		\$4,090,175.04		\$3,806,423.89	
20 yr cost/SF	\$204.43		\$226.41		\$95.21		\$98.31		\$91.49	

/FACILITY ASSESSMENT



On the following pages FEH provides the assessment of each County building, the issues and associated costs and a photo directory of images associated with the issues.

FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - COURTHOUSE MARCH 2021

ARCHITECTURAL ASSESSMENT

The courthouse is situated on a one-city-block site located off of State Highway 105. The building fronts the main highway, with a parking lot located behind the building. The building is comprised of load bearing brick masonry walls and wood floor and roof framing. The windows are a newer vinyl punched openings. The historic south entrance consists of wood infill in a stone archway, with an aluminum door and frame. The north entrances are aluminum storefront. The original 1893 and 1938 courthouse was expanded in 1988 when the Clerk of Court and Sheriff's building was added. Accessibility improvements were made in 2003.



The courthouse roof has been replaced with standing seam metal. Stone design elements at the end of the gables have been covered up with trim associated with the metal roof.

The courthouse building appears structurally sound but there is evidence of water infiltration at multiple locations. The building envelope will require effort to make the building watertight. Updates are also required for accessibility, to resolve some building issues, and address maintenance. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The courthouse site, which encompasses a city block, is shared by the Jail and Sheriff's facilities, the Engineering building, the Worth County Veterans Monument, and a surface parking lot. The site is relatively level. The courthouse building is centered within the two-acre lot. East of the courthouse is open. The Sheriff's facilities are located to the northwest and the engineering building is located to the north. Parking is located at the northwest corner of the site.

Each exterior door has a sidewalk connecting to the stoops. A section of the north entrance sidewalk has

settled and no longer provides an accessible path to the main entrance from the parking lot. The remaining sidewalks are in good shape and relatively level. The sidewalks along the streets have site lighting; the pathways leading to the south courthouse entrance are not individually lit. The site has a number of older trees. These provide shade and character, but also add to building maintenance with leaves and branches falling onsite and onto the roof. The trees should be trimmed appropriately off the building.



EXTERIOR

The building is comprised of load bearing brick masonry walls with a stone base and decorative banding. Wood framing supports the floor and roof. The main, historic, monumental entrance at the south of the courthouse contains a wide staircase. The entrance off the parking lot is on-grade on the north side of the building. The main entrances have security pin pads.

Significant brick deterioration, with flaking brick present on the steps, is visible at the south building entrance stairs. The infill wood at the south entry is deteriorating; some sections of wood should be replaced, and the entire element repainted. The handrails at the exterior steps does not meet accessibility requirements and a guardrail is required. The stairs are wide enough that a center handrail should be provided.



COURTHOUSE ASSESSMENT



The exterior brick varies from sound and in good shape, to pitted and deteriorated. Sections of the exterior building at the southeast building face and the west building wall are missing portions of their face. These bricks should be replaced to prevent water from entering the building through the porous brick. Mortar and masonry cracking is visible at the west wall between windows and is in need of repointing. There is evidence of mortar cracking at the limestone base, intermittently around the perimeter. The mortar should be removed and replaced with an ageappropriate mortar mixture.

The painted steel lintels at window openings are rusting; the rust must be removed, and the lintels repainted. The windows have been replaced relatively recently and the sealant around the units appears to be in good shape. There are instances of the exterior area wells at the lower-level windows draining so slowly that, when there is a heavy rain, the water exceeds the windowsill elevation and enters the building. The area well drains should be scoped, and the lines opened to allow proper drainage.



There is visible evidence of water causing deterioration at the southeast roof intersection, indicating that the water does not drain into the provided gutter, but exceeds the gutter face to wash the face of the building. This is causing brick deterioration and water infiltration. The water must be directed properly into the gutter.

The building envelope does not meet the current level of thermal insulation for energy efficiency, which has increased since the buildings were constructed. The original courthouse masonry walls appear to have minimal insulation at the interior. The 1988 building has fiberglass exterior wall insulation. Despite this, the code only requires newly constructed alterations to the existing building to follow the stricter energy requirements. The County may want to consider upgrades to the roof and exterior of the building to increase the building's energy performance.

INTERIOR

The existing courthouse interior is in fair condition. Typical finishes within the historic building include carpet, wood paneling, and lay-in acoustical tile ceilings or adhered smaller ceiling tile. The addition from 1988 has vinyl composition tile and carpet, painted gypsum board on metal studs at interior walls, and lay-in acoustical ceiling tile. The acoustical tile is sagging and mismatched; it is recommended that it be replaced in prominent spaces.



There are multiple locations with visible evidence of water infiltration. These locations include the storage room off the boiler room and the south wall and ceiling of the supervisors' room. These two

spaces, since they are located at the lower level of the building, will require a fix that provides below-grade waterproofing around the perimeter of the rooms, and associated tuckpointing at the exterior masonry. Damaged interior finishes will need to be removed and replaced. At the assessor and recorder departments, the Court Interview room, and the historic stair, water infiltration is due to the roof not restraining the water flow and the brick being subsequently damaged. With repairs to the roof and exterior masonry, the damaged interior finishes can be removed and replaced. The interior wood paneling is bowing and warped due to moisture; replacement of this material throughout the building would be recommended.





The north addition inner vestibule has multiple locations where water infiltration has deteriorated the wall and ceiling finishes. This appears to be due to a poor roof and wall connection where the metal roof meets the courthouse and elevator addition. The proper flashing should be provided at this connection; the damaged interior finishes, insulation, and ceilings should be removed and replaced.

The boiler room contains a significant number of storage items that do not allow for sufficient clearance and access around the equipment located in the room.

The guardrail at the steps to the main level of the courthouse from the north addition is not tall enough. The guardrail must be raised and an adjacent, continuously graspable handrail provided along the stair. Piping runs vertically through the south, historic stairwell, interrupting the handrail continuity. This piping must be rerouted to allow for a continuously graspable handrail.

The east door of the north addition magistrate courtroom swings out of the room, which is required, but protrudes into the exit path from the stairwell. An alcove for the door should be provided to allow for proper egress. The drinking fountain adjacent to this door also protrudes into the exit path from the stairwell and should be provided in an alcove.



COURTHOUSE ASSESSMENT

The south, exterior vestibule is shallow with a step. The inner vestibule doors are difficult to open due to door swings and floor level changes. It is recommended that this vestibule and entry sequence be reconfigured for ease of use and code compliant.

The upper level of the courthouse contains the court space. The District Courtroom contains two existing but one of the exits does not have 'panic hardware' for ease of exiting with large occupant loads. This should be updated.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Publicly accessed water fountains are required to be installed in pairs at two mounting heights to allow for occupants of different reach ranges to use them. The drinking fountain in the north addition is a single unit; it should be replaced with a dual-unit and located in an alcove so as not reduce the egress width.

Generally, all doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. Insufficient clearance is provided at some doors. Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

Of the six toilet rooms in the building, five are not fully accessible. Accessibility is not only the large toilet clear floor space with grab bars, but also includes the door clearances, grab bar locations, clear space in front of the sink, maneuvering spaces, and toilet accessory mounting heights. The bathrooms do not have the proper door widths nor clearances; the accessories protrude into the pathways or are too high, and the sink handles and flushometers are not accessible. Shrouds are also required at piping below the sink. More than half of the individual toilet rooms utilized by the public are required to be accessible.

The public-service countertops in the departments are all 42-inches high and do not have a lower, accessible-height section. The vaults, some of which are used by the public, have significantly ramped door thresholds and have doors that do not meet minimum ADA width requirements. The door into the



Assessor's department is 31-inches wide, which will not allow wheelchair access. The floor is ramped, in the lower level into the supervisors' space and the assessor's space, which is too steep for a wheelchair.



The upper level of the courthouse contains the court space. The District Courtroom contains steps to access the witness stand and the jury box. This should be ramped with proper, accessible clear space. An accessible, wheelchair space is not provided in the jury box. Additionally, the egress

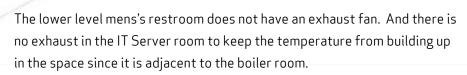


corridor north and east of the courtroom is narrow at 48-inches and does not provide a proper turning radius for a wheelchair to access the elevator or exit the courtroom to the north.

The south, historic stair does not have an accessible guardrail and handrail. Additionally, the number of accessible exits required by code must exceed more than 50% of the overall building exits. One exit must be upgraded along the south of the building to be accessible. Accessibility also applies to signage and wayfinding; the signage throughout the building does not contain raised lettering nor braille.

HVAC SYSTEMS

In general, the entire HVAC system is outdated. Minimal revisions were made as part of the accessibility improvements. The building is heated with steam through a boiler system. Cooling is provided through a mix of ducts and mini-split systems. The requirement for code-required outside air exchanges is not being met. The temperature controls are outdated and inefficient; it is recommended that these controls be replaced with direct digital controls (DDC). A new mechanical system would meet the current, more stringent energy code and be more efficient to operate.





COURTHOUSE ASSESSMENT

PLUMBING SYSTEMS

Many components of the plumbing systems need improvements. The sink faucets and toilet flush valves are outdated. The drinking fountains should be replaced with new, accessible and efficient units with bottle fillers. Much of the existing water piping is galvanized and should be replaced.

ELECTRICAL SYSTEMS

Due to the existing system and the current need for power due to technology, the electrical service should be updated. In addition to code-compliant equipment, new wiring and additional outlets should be provided. It is recommended that the entire building be upgraded to LED lights and that the building's power be upgraded for HVAC upgrades and additions.

In addition to power, the duress systems and the access control systems should be extended for safety of building occupants.



BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	РНОТО
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
COUNTY COURTHO	USE				
Architectural					
Interior					
Assessor	Water infiltration is evident outside the vault	Determine water infiltration location and seal it.	Urgent	\$5,000.00	
	The quantity of electrical outlets in the space is insufficient	Update electrical	Recommended	See Electrical	2
Supervisors	Water damage evident along south wall and ceiling of space.	Repair exterior wall and below grade to prevent water from entering the building	Urgent	\$12,000.00	38, 39
Boiler Room	The boiler room and the room to the west was wet and water infiltration is consistent.	Provide below-grade waterproofing around the room perimeter.	Urgent	\$20,000.00	22
	The room contains storage with insufficient clearance around equipment.	Relocate storage to room to the west once it is watertight.	Required	\$1,000.00	22,24
IT Server Room	The room overheats, damaging equipment.	See HVAC section below.	See Line 53	See HVAC	
Men's Toilet Room	The room does not have an exhaust fan	Provide an exhaust fan.	Recommended	See HVAC	10
Main Level North Stair	The guardrail at the steps to the main level is not tall enough.	Provide guardrail and handrail at stairs.	Required	\$2,000.00	32
Historic South Stair	Piping runs vertically through the stairwell, interrupting the handrail continuity.	Reroute piping to allow for handrail continuity.	Recommended	\$5,000.00	14
	There is visible evidence of bowing wood paneling & finishes indicating water infiltration.	Resolve water infiltration at southeast corner of building, repoint brick as necessary, remove & replace damaged interior finishes	Urgent	\$24,000.00	12,13
Auditor	The quantity of electrical outlets in the space is insufficient	See Electrical section.	Recommended	See Electrical	
	The quantity of panic buttons does not match the number of workstations	Update the duress system to provide access at each workstation in each department	Recommended	\$8,000.00	
Recorder	Water infiltration is evident along the south wall.	Remove & replace damaged interior finishes once leak is resolved, remove interior paneling and paint wall	Urgent	\$6,000.00	12
	Heat in the space is inconsistent, requiring open windows, which are difficult to maneuver.	Provide updated HVAC elements and controls, see HVAC section below.	Recommended	See HVAC	

COURTHOUSE IMPROVEMENT MEASURES

BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	PHOTO REFERENCE	
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST		
Magistrate Courtroom	The east door swings out of the room and protrudes into the egress path from the stairwell	Provide alcove for door so it does not swing into the egress path.	Required	\$8,000.00	42	
South Vestibule	The vestibule is shallow and inner doors are difficult to open due to door swings and steps.	Build code-compliant entry vestibule	Recommended	\$50,000.00	37, 40	
Judge Office	The door to the law library does not swing freely and scrapes along the floor.	Shorten door to swing freely.	Recommended	\$250.00	30	
District Courtroom	One exit from the courtroom does not have exit devices.	Provide exit devices at door.	Required	\$3,200.00	41	
North Vestibule	Visible evidence of water infiltration and damage at inner vestibule doors.	Determine water infiltration location, repair wall and roof as required, replace damaged interior finishes.	Urgent	\$8,000.00	43, 44	
North Lobby	The drinking fountain protrudes into the path of travel.	Relocate the drinking fountain to a wall recess in a similar location.	Required	\$2,000.00		
Building	Existing ceiling tile is mismatched and deteriorated in some locations	Replace ceiling tile.	Recommended	\$25,000.00		
SUBTOTAL				\$179,450		
Exterior						
	Water infiltration is evident at a roof intersection in the southeast corner of the building.	Rework roof at intersection to direct water into gutter.	Urgent	In Line Item Above	45	
	Water infiltration is evident at the roof of the north addition.	Rework roof and wall intersection to be watertight.	Urgent	In Line Item Above	43, 44	
Masonry	Brick deterioration is evident at the building southeast corner and along the west building wall.	Repoint masonry and replace bricks as required.	Urgent	In Line Item Above	27,28	
	Significant brick deterioration is visible at the south building entrance stairs.	Repair bricks, replace if required.	Urgent	\$9,000.00	26	
	Steel lintels are rusting at window openings.	Remove rust and repaint lintels.	Recommended	\$4,500.00	27	
	An exterior outlet wall penetration is not fully sealed	Seal masonry opening.	Urgent	\$250.00		
	Mortar and masonry cracking is visible at the west wall between windows	Repoint masonry and replace bricks as required.	Urgent	\$1,500.00	27	



BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	РНОТО
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
	Evidence of mortar cracking at the limestone base, intermittently around the perimeter.	Repoint masonry base	Urgent	\$12,000.00	28
Exterior	Exterior area wells at windows do not drain and push water above window sills.	Scope piping and resolve issue to provide free drainage.	Urgent	\$4,000.00	15
	Exterior downspouts do not have splash blocks to direct water away from the building envelope.	Provide splash blocks to move water away from building.	Urgent	\$400.00	16,25
	North accessible entrance sidewalk is settling.	Replace sections with new subgrade and sidewalk.	Required	\$500.00	33
	South Entry wood is deteriorating	Replace deteriorated wood and repaint entrance	Urgent	In Line Item Above	37
SUBTOTAL				\$32,150	
Accessibility					
General	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$10,000.00	36
Each Department	Public-Service Countertops are 42" high	Replace or rework existing countertops to have an ADA-compliant segment	Required	\$6,000.00	34,35
Women's Bathroom	The door to the room is not accessible. The large stall is not accessible. There is no accessible turning radius. The sink is not an accessible height. The toilet accessories are mounted outside the allowable reach range.	Reconfigure bathroom to be fully accessible	Required	\$25,000.00	31
Assessor	The door into the department is 31" wide and is not accessible.	Widen opening into department.	Required	\$6,000.00	
	The back corridor and vault are accessed with a step.	Rework floor to be ramped.	Required	Accommodation Required	
Vaults	The doors into the vaults are too narrow and are ramped.	Provide publicly- accessed items, that are currently stored in vaults, in an accessible space.	Required	Accommodation Required	1
Jury Room, Interview Room	The toilet rooms are not accessible regarding clearances, doors, sinks, accessories.	Rework entire toilet room to be accessible by jury.	Required	\$50,000.00	
District Courtroom	Access to the Witness Stand has steps and accessible clear space is not provided.	Provide ramp to access stand. Clear space for wheelchair to maneuver must be provided.	Required	\$12,000.00	9

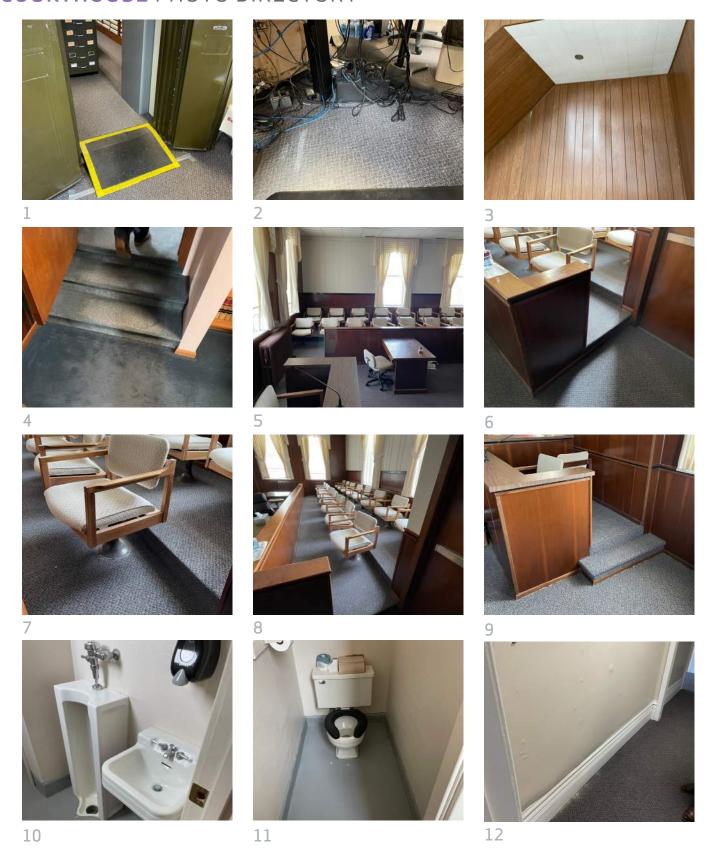
COURTHOUSE IMPROVEMENT MEASURES

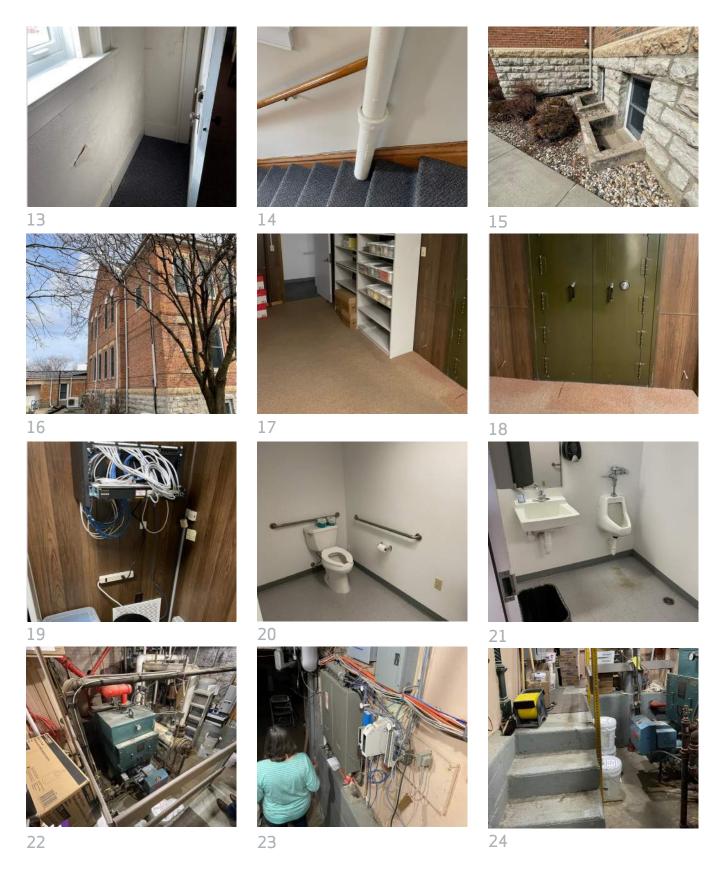
BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	РНОТО	
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE	
	The Jury Box is accessed by steps.	Provide ramp to access stand.	Required	\$8,000.00	7,8	
	The chairs within the jury box are fixed and accessible clear space is not provided.	Provide movable chairs or removable chair for wheelchair space. Clear space for wheelchair to maneuver must be provided.	Required	\$1,500.00	5,7	
	The egress corridor north and east of the courtroom is too narrow and does not provide proper turning radius for a wheelchair to access the elevator.	Rework corridors to provide clearance.	Required	\$15,000.00		
General	Floor Ramping on Lower Level into Supervisors and into Assessor spaces	Rework floor transitions to be accessible.	Required	\$2,000.00		
Exterior	Exterior stair does not have compliant guardrail and handrail	Provide guardrail and handrail at both sides of stair, provide center railing	Required	\$1,200.00	37	
General	Wayfinding and signage does not contain raised lettering nor braille	Replace signage with accessible elements.	Required	\$1,200.00		
General	The number of accessible exits must exceed more than 50% of the overall building exit count	Create a south, accessible exit to the south.	Recommended	\$12,000.00		
General	Existing drinking fountains are not dual-height, which is required by ADA	Convert drinking fountains to accessible dual units with bottle filler, typical	Required	\$2,000.00		
SUBTOTAL				\$151,900.00		
Engineering System	26					
Plumbing	15					
Toilet Rooms	Outdated plumbing fixtures, flushometers, and faucets	Replace sinks, faucets, flush valves	Required	In Line Items Above	10,31	
SUBTOTAL				\$-		
HVAC						
General	Add cooling in lieu of minisplit systems, provide coderequired air exchanges	A separate air handling system would need to be added to provide cooling. There would be associated general construction, roofing, and electrical work.	Recommended	\$240,000	46	



BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Boiler Room	Improved energy efficiency	The building steam pumps run at a constant speed. Adding VFD's would allow for controlling the pumps speed to match the demand for hot water which would save electricity. There would be associated electrical work.	Recommended	\$10,000	22
Server Room	There is no exhaust for the room to keep the temperature from building up in the room	An exhaust fan would be installed in the room connected to exhaust ductwork that would terminate through the roof. The fan would be controlled to operate when the room exceeds the room temperature setpoint. There would be associated roofing and electrical work.	Recommended	\$7,500	
Building	Lack of controls	Provide DDC Controls	Recommended	\$25,000	
SUBTOTAL				\$282,500	
Electrical					
Building	Lighting Upgrades	Upgrade entire building to LED Lights	Recommended	\$60,000.00	46, 38
Building	Outdated Electrical Service	Replace existing switchboard and panels with new code compliant equipment, new wiring, provide additional outlets	Recommended	\$50,000.00	23
Building	HVAC Upgrades	Power for HVAC upgrades & adds	Recommended	\$10,000.00	
Building	Access Control for County Staff	Card readers added for ease of use by County Staff	Recommended	\$100,000.00	
SUBTOTAL				\$220,000	
Total Coat Even a statis	on (includes construction fees,	1inflation avaludes de	cian food EEGEV	\$866,000	
Total Cost Expectatio	m (metades construction rees,	r year illitation, excludes des	signifees, i i QE)	7000,000	

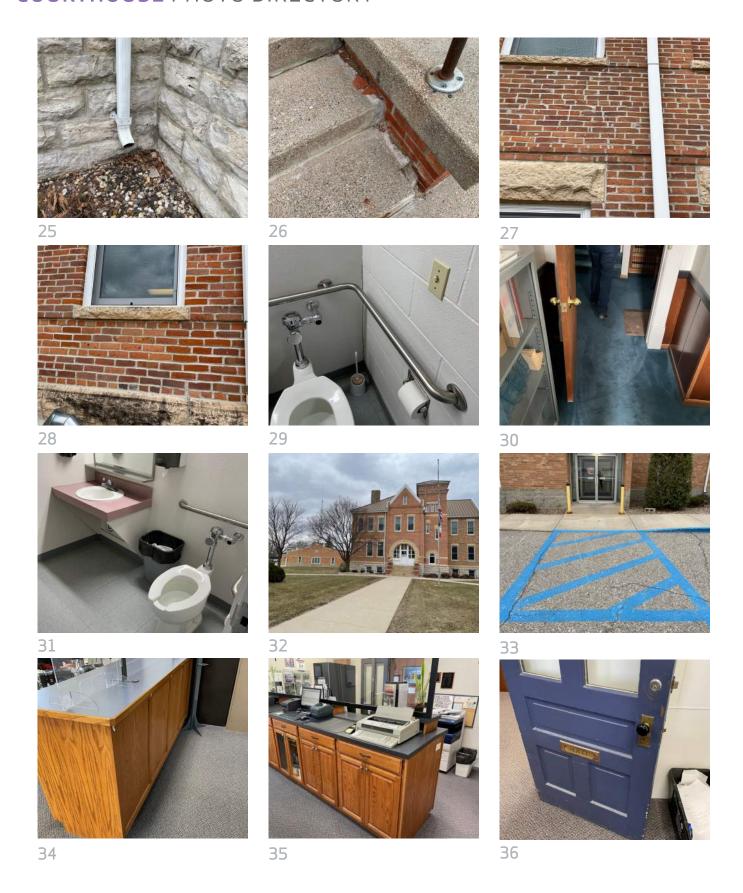
COURTHOUSE PHOTO DIRECTORY

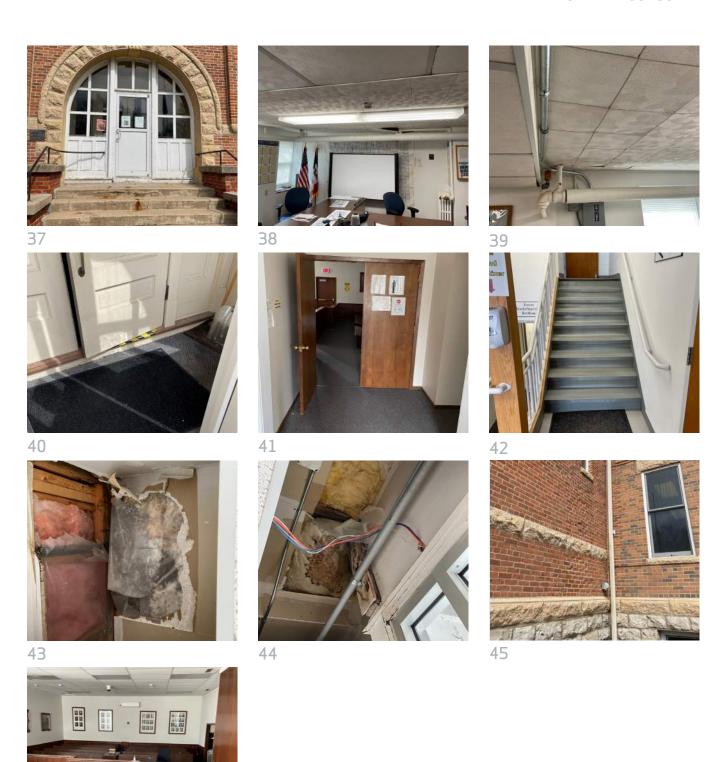




WORTH COUNTY / 173

COURTHOUSE PHOTO DIRECTORY





46

FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - CONSERVATION MARCH 2021

ARCHITECTURAL ASSESSMENT

County Conservation is situated on an 0.28-acre site located off of 1st Avenue North, six blocks from the County Courthouse. The Office and the Shop buildings are located in a north/south orientation, parallel on the site. The buildings are comprised of wood columns with wood trusses, clad in corrugated metal for the walls and roof; the north-most office walls are clad in wood siding. The window is vinyl. The overhead doors and sliding doors are aluminum. Updates to the building were made in the recent past.







The conservation buildings appear structurally sound. The office building envelope is minimally insulated. Updates are also required for accessibility and to resolve some building code issues. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The County Conservation buildings are situated on an 0.28-acre site located off of 1st Avenue North, six blocks from the County Courthouse. The buildings are located in a north/south orientation, parallel on the site. Parking spaces are available north of the office building.

There is no sidewalk around the site nor accessible parking space for the public meetings that are conducted onsite. There is also no accessible route into the office space through the front door. These items are required to conduct meetings that are open to the public.

EXTERIOR

The buildings are comprised of wood columns with wood trusses, clad in corrugated metal for the walls and roof; the north-most office walls are clad in wood siding. The window is vinyl. The overhead doors and sliding doors are aluminum. The exterior building materials appear to be in good condition.

The building envelope does not meet the current level of thermal insulation for energy efficiency, which has increased since the office building was originally constructed. The code only requires newly constructed alterations to the existing building to follow the stricter energy requirements. The County may want to consider upgrades to the roof and exterior of the building to increase the building's energy performance.

INTERIOR

The existing office space is in good condition. Typical finishes within the building include carpet, wood paneling, and gypsum board ceilings. The shop spaces attached to the office contain concrete slabs floors with wood or fiberglass paneling walls surfaces. The ceiling is corrugated metal panel or open to the structure above. The large shop



building contains a wood-framed mezzanine around half of the building and a gravel floor.

CONSERVATION ASSESSMENT

The wood working space is directly adjacent to the welding space, with a tarp that can be deployed between the spaces. This should be replaced with a fireproof curtain.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

The existing toilet room is not accessible, and this is required for public meeting spaces. Accessibility is not only the large toilet clear floor space with grab bars, but also includes the door clearances, grab bar locations, clear space in front of the sink, maneuvering spaces, and toilet accessory mounting heights. The bathrooms do not have the proper door widths nor clearances; the accessories protrude into the pathways or are too high, and the sink handles and flushometers are not accessible. The shower is not accessible. Shrouds are also required at piping below the sink.



HVAC SYSTEMS

The HVAC system has had some recent updates. The forced-air system is located in the shop portion attached to the office, which creates a scenario where dust easily enters the office building. This air should be re-ducted to minimize this effect.

There is no exhaust hood associated with the welding space nor is there a dust collector associated with the wood shop portion of the space. These elements are required to meet building code.

PLUMBING SYSTEMS

The plumbing fixtures should be updated to meet accessibility requirements, and with public access, a drinking fountain or water cooler must be provided.

ELECTRICAL SYSTEMS



Due to the existing system and the current need for power due to shop support, the electrical service should be updated. In addition to code-compliant equipment, new wiring and additional outlets should be provided to fully accommodate needs. The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights.

CONSERVATION IMPROVEMENT MEASURES

COUNTY CONSERVATIO Architectural Interior SUBTOTAL Accessibility The to	INTENANCE ITEM	TO CORRECT	URGENCY LEVEL	BUDGET	PHOTO REFERENCE
Architectural Interior Woo with SUBTOTAL Accessibility The to t The park Clear acce clear acce substite SUBTOTAL Engineering Systems Plumbing		10 COMMECT			NEI ERERGE
SUBTOTAL Accessibility The to	<u></u>				
SUBTOTAL Accessibility The to					
Accessibility The to	od Working share space h Welding	Segregate spaces with a fireproof curtain	Required	\$2,000.00	1,2
The to				\$2,000	
The to					
SUBTOTAL Engineering Systems Plumbing Plur	ere is no accessible route the building.	Accessible entrance and path to the front door	Required	\$200.00	6,7
SUBTOTAL Engineering Systems Plumbing Plur	ere is no accessible king	Provide paved, accessible parking	Required	\$2,350.00	6
Engineering Systems Plumbing Plur	e toilet room is not essible regarding arances, doors, sinks, essories.	Provide an accessible, public-use toilet.	Required	\$30,000.00	3
Plumbing Plur				\$30,000	
Plumbing Plur					
Plur					
	mbing fixtures are not essible.	Updated plumbing and provide accessible	Required	Line Item Above	3
		fixtures			
SUBTOTAL				\$-	
HVAC					
No 4	exhaust hood at welding	Provide exhaust hood.	Required	\$5,000	7
	st easily enters the cupied, non-shop space.	Re-duct return air to reduce dust in non-shop space.	Recommended	\$1,200	4
No I sho	Dust Collector at wood	Provide exhaust fan.	Required	\$3,000	1,2
SUBTOTAL				\$9,200	
Electrical					
	rared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	
	ort Circuit & Arc-Flash ordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
	1.6.	Replace lighting with LED	Recommended.	\$18,000.00	5
SUBTOTAL	ht fixtures contain orescent bulbs	units		<u> </u>	
Total Cost Expectation (inc		units		\$40,500	



FACILITY ASSESSMENTS

CONSERVATION PHOTO DIRECTORY













WORTH COUNTY / 181

FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - ENGINEERING MARCH 2021

ARCHITECTURAL ASSESSMENT

The engineering building is situated on a one-city-block site located off of State Highway 105. The building is located behind the county courthouse, adjacent to a surface parking lot. The building is comprised of exterior, brick load bearing masonry walls that have since been clad with vinyl siding. The floor and roof framing are wood. The roof is standing seam metal. The windows are vinyl punched openings. The original, approximate 1950s building has been through cosmetic iterations with the stair added at a later date.



The engineering building appears structurally sound with few modifications required to resolve some building issues, and address maintenance. The building is not accessible and would require significant modifications to become so. The following is a report of the condition of the current building along with estimated costs for corrections needed.



SITE

The Engineering Building site, which encompasses a city block, is shared by the Jail and Sheriff's facilities, the County Courthouse, the Worth County Veterans Monument, and a surface parking lot. The site is relatively level. The engineering building is centered along the north edge of the two-acre lot. East of the building is open. The Sheriff's facilities are located to the northwest and the courthouse building is centered on the site. Parking is located at the northwest corner of the site, west of the engineering building.

The engineering door exits the southwest corner of the building. There is no stoop at the door and the parking lot is deteriorated and cracked at the door location. The overhead doors exit to a paved area connecting to the surface parking lot. The site has a number of older trees. These provide shade and character, but also add to building maintenance with leaves and branches falling onsite and onto the roof. The trees should be trimmed appropriately off the building.



EXTERIOR

The engineering building is comprised of exterior, brick load bearing masonry walls that have since been clad with vinyl siding. The floor and roof framing are wood. The roof is standing seam metal. The windows are vinyl punched openings. Sealant around the windows is deteriorated and cracking and needs to be replaced. The perimeter vinyl flashing around the overhead doors has been damaged over time and is in need of repair.



INTERIOR

The existing interior is in fair condition. The interior walls are wood stud partitions with either gypsum board or wood paneling finish. Typical finishes within the building include carpet, sheet vinyl, gypsum ceilings and adhered acoustical tile ceilings. The floor seams in the work area have deteriorated. The steps to the office space on the upper level are not all equal, the bottom step is significantly shorter. Code requires that all the steps be a consistent height to prevent a



tripping hazard. Water infiltration has been resolved at the ceiling by the stairs, but the damage to the interior has not been repaired.

ENGINEERING ASSESSMENT

ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

With the office and meeting space on the second floor, only accessible by stairs, this prevents universal access. An accessible conference room at-grade for public access would resolve this item.

Generally, all doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. Insufficient clearance is provided at some doors. Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at many of the doors in the building should be replaced.

The toilet room is not accessible regarding clearances, doors, sinks, accessories. Staff would need accommodation if an employee required an accessible toilet. Since the building is open to the public, an accessible toilet room is required. There is a lack of clear space at the sink and the toilet. Grab bars are required along the back and side of the toilet. The sink is to have knee space underneath with the pipes insulated.





For a publicly accessed building, the number of accessible exits required by code must exceed more than 50% of the overall building exits. If accessibility were provided to this space, the one entrance would need to be upgraded and an accessible way to get to the second floor provided. Accessibility also applies to signage and wayfinding; the exterior signage does not contain raised lettering nor braille.

HVAC SYSTEMS

In general, the entire HVAC system appears outdated. An exterior unit and intervents indicate forced air heating and cooling but the exact age and status was unable to be determined.

PLUMBING SYSTEMS

Many components of the plumbing systems need improvement. The sink and toilet are not accessible. The layout will need to be revised.



ELECTRICAL SYSTEMS

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights. It is recommended that the building's power be upgraded for HVAC upgrades and additions.

ENGINEERING IMPROVEMENT MEASURES

BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	рното
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
ENGINEERING					
Architectural					
Interior					
Stairs	Steps to the office space on the upper level are not all equal, the bottom step is significantly shorter.	Replace metal stairs to have consistent riser heights.	Required	\$8,000.00	6
Stair Ceiling	Water infiltration has been resolved at the ceiling but the damage has not been repaired.	Repair the damaged ceiling.	Recommended	\$1,000.00	7
Work Space	Floor Seams have deteriorated.	Replace Flooring	Recommended	\$7,000.00	9
SUBTOTAL				\$16,000	
Exterior			I	44.700.00	<u> </u>
	Sealant around the windows is deteriorated and cracking	Replace sealant around the windows	Urgent	\$1,700.00	4
	Perimeter around the overhead doors have been damaged over time	Repair damaged overhead door perimeter.	Recommended	\$1,000.00	2,3
SUBTOTAL				\$2,700	
A *1 *1*.					
Accessibility	D 1/ 1	D 1 1 1 1 1	D	42.400.00	
	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$2,400.00	5
	Access by the public is not accessible and must be conducted at an alternate location.	Relocate the public- access to an at-grade accessible conference room	Required	\$15,000.00	1
	The toilet room is not accessible regarding clearances, doors, sinks, accessories.	Staff would need accommodation if an employee required an accessible toilet room	Required	TBD	8
SUBTOTAL				\$17,400	
F :					
Engineering System	ns				
Plumbing	Plumbing fixtures are not	Staff accommodation for	Required	TBD	8
	accessible.	updated plumbing and accessible fixtures	Requirea	IBD	8
SUBTOTAL				\$-	



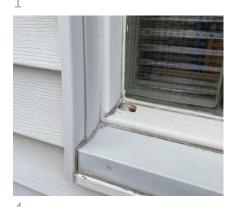
BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	РНОТО
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
Building	Lighting utilizes fluorescent bulbs	Replace with high efficiency, LED lighting	Recommended	\$15,000.00	9,10
SUBTOTAL				\$37,500	
Total Cost Expectatio	sign fees, FF&E)	\$73,600			

ENGINEERING PHOTO DIRECTORY





















10

FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - SECONDARY ROADS MARCH 2021

ARCHITECTURAL ASSESSMENT

The secondary roads site in Northwood, IA is situated on a 2.59 acre site located off of 13th Street South. The is part of a residential neighborhood, with buildings around the perimeter of the site and open space in the center. There are multiple buildings on the site, housing the shop, cold storage, salt/sand, and sign storage. The buildings originate from the 1940s and are a mix of metal- and wood-clad steel- and woodframed structures.





The buildings are past their useful life. The structures no longer fully accommodate the large vehicles used by the department. There is little to no insulation in the buildings, and the heating system is unable to keep up with the demand. The buildings are not accessible. Consideration should be given to replacement or relocation of this secondary roads facility.

SECONDARY ROADS IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE	
SECONDARY ROAD	S			'		
Exterior						
	Assembly of different buildings, at the end of their life, low energy efficiency, difficult to heat, no hoist or shop, overhead doors not large enough. Buildings are not accessible.	Replace all buildings	Recommended	\$2,100,000.00	1,2,3,4	
SUBTOTAL				\$2,100,000		
Total Cost Expectatio	n (includes construction fees, i	1 year inflation, excludes de	sign fees, FF&E)	\$2,100,000		

SECONDARY ROADS PHOTO DIRECTORY







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А



FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - SHERIFF AND JAIL MARCH 2021

ARCHITECTURAL ASSESSMENT

The Worth County Sheriff and Jail building is situated on a one-city-block site located off of State Highway 105 and shared with the County Courthouse. The building is set back from the main highway on the west edge of the site, with a parking lot located behind the building. The building is comprised of load bearing concrete block walls with brick veneer and a split face concrete block base. The floor is slab-ongrade concrete and the roof structure is steel joists. The windows are vinyl punched openings with the jail cell windows a mix of glass block infill and vinyl windows. The roof is standing seam metal. The building was constructed in 1988 to connect to the existing courthouse.



The Sheriff and jail building appears structurally sound but there is evidence of water infiltration along the south exterior wall. Updates are also required for accessibility, to resolve some building issues, and address maintenance. The most significant upgrades to the building are related to the jail facility and the change in jail facilities and security measures. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SHERIFF AND JAIL ASSESSMENT

SITE

The jail site, which encompasses a city block, is shared by the courthouse and engineering facilities, the Worth County Veterans Monument, and a surface parking lot. The site is relatively level. The jail is west of the courthouse, set back on the two-acre lot. Parking is located at the northwest corner of the site, behind the jail.

Each exterior door has a sidewalk connecting to the stoops. The north entrance sidewalk enters a public space before entering the jail. The remaining sidewalks are in good shape and relatively level. The sallyport entrance drive has significantly settled, such that there is a difference of a few inches from the building slab to the drive elevation.



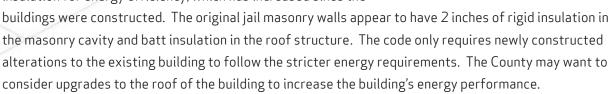
EXTERIOR

The building is comprised of load bearing concrete block walls with brick veneer and a split face concrete block base. The floor is slab-on-grade concrete, and the roof structure is steel joists. The exterior doors have security pin pads.

The exterior brick is in good shape. The split-face block around the building perimeter is not sealed and is absorbing moisture; a sealer should be applied to this masonry.

The painted steel lintels at window openings are rusting; the rust must be removed, and the lintels repainted. The sealant around the window units is cracked and deteriorated and in need of replacement.

The building envelope does not meet the current level of thermal insulation for energy efficiency, which has increased since the



INTERIOR

The existing jail interior is in good condition. Typical finishes within the administrative portion of the building include carpet and vinyl composition tile, lay-in acoustical tile, and painted gypsum board on



metal studs at interior walls. The jail spaces have masonry walls and precast ceilings. The existing carpet in the staff areas is warped and raised, presenting a tripping hazard; this should be replaced.

The south exterior wall has an instance where water infiltration has deteriorated the wall and ceiling finishes. This appears to be due to a poor roof and wall connection where the metal roof meets the exterior wall. The proper flashing should be provided at this connection; the damaged interior finishes, insulation, and ceilings should be removed and replaced.

At the doorways that connect to the public bathrooms and the jail, there is cracking evident that indicates building movement or lack of a joint for movement. An expansion joint should be added where the jail connects to north courthouse addition.



Overall, the jail configuration has an unsafe situation where booking shares space with storage and the washer / dryer. There are instances where circulation paths cross between administrative staff and inmates, which is not advisable. There are instances where circulation paths cross between the public and inmates, which should be avoided. When inmates are transported to the courtrooms, they are moved along corridors that are shared with county staff and the public. The building configuration must be evaluated and adjusted to provide adequate safety for staff and visitors while allowing for the security of inmates.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Generally, all doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. Insufficient clearance is provided at the exterior door on the southwest of the jail. Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

Of the toilet rooms in the building, none are fully accessible. Accessibility is not only the large toilet clear floor space with grab bars, but also includes the door clearances, grab bar locations, clear space in front of the sink,



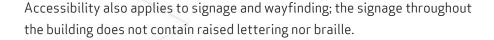
SHERIFF AND JAIL ASSESSMENT

maneuvering spaces, and toilet accessory mounting heights. The two public bathrooms do not have the proper clear space at the toilet nor the required turning radius. The booking bathroom does not have the proper clearances; the accessories protrude into the pathways or are too high, and the sink handles and flushometers are not accessible. Shrouds are also required at piping below the sink. More than half of the individual toilet rooms utilized by the public are required to be accessible.

The public-service countertop in the jail reception area is 42-inches high and does not have a lower, accessible-height section.

There is no accessible jail cell, which is required.

The multipurpose meeting space for inmates and other entities off the public lobby of the jail contains a deadbolt on the outside of the door, which does not meet building code. This door hardware should be revised to be code compliant.





HVAC SYSTEMS

The current HVAC system ties into the existing boiler in the courthouse for heating and a forced-air cooling system is in place. The requirement for code-required outside air exchanges is not being met. The temperature controls are outdated and inefficient; it is recommended that these controls be replaced with direct digital controls (DDC) with revised building zoning for staff and inmate spaces.

PLUMBING SYSTEMS

Many components of the plumbing system need improvement. The sink faucets and toilet flush valves are outdated and inaccessible. Much of the existing water piping is galvanized and should be replaced. The water service entrance is not easy to access through a storage room.

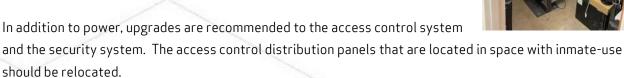
ELECTRICAL SYSTEMS

Due to the existing system and the current need for power due to technology and gear used by staff, the electrical service should be updated. In addition to code-compliant equipment, new wiring and additional



outlets should be provided. It is recommended that the entire building be upgraded to LED lights and that the building's power be upgraded for HVAC upgrades and additions.

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights.





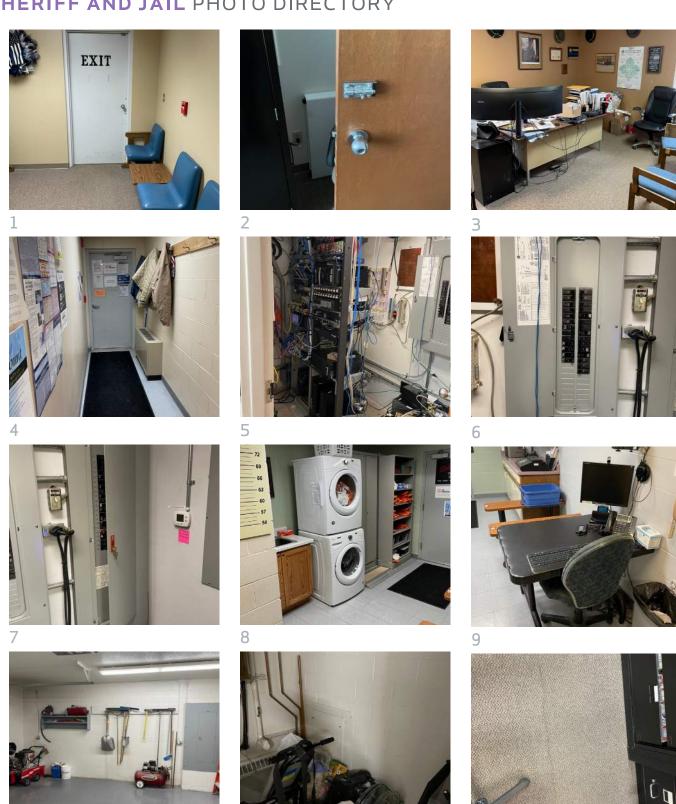
SHERIFF AND JAIL IMPROVEMENT MEASURES

BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	рното
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
SHERIFF AND JAIL					
Architectural					
Interior	I	I	I	T	
	Cracking evident at doorways to public bathrooms and jail, indicating building movement or lack of expansion joint	Confirm no building movement, cut out crack at floor and walls, install expansion joint	Recommended	\$5,000.00	4
	Water infiltration is evident at the ceiling along the south wall	Resolve water infiltration at wall and roof, repoint brick as necessary, remove & replace damaged interior finishes	Urgent	\$40,000.00	3
	Carpet in staff area is warped and presents a tripping hazard	Replace flooring	Required	\$5,000.00	12,13
	Unsafe situation where booking shares space with W/D and Storage	Rework shared space	Required / Safety	TBD	8,9
	Unsafe situation where circulation crossing of administrative staff and inmates	Rework circulation	Required / Safety	TBD	
	Unsafe situation where circulation crossing of public and inmates	Rework circulation	Required / Safety	TBD	
	Unsafe situation where inmates moved up to courtroom through public route	Rework route	Required / Safety	TBD	
SUBTOTAL				\$50,000	
Exterior					
Executor	Sealant around the windows is	Replace sealant around the	Urgent	\$120.00	17
	The exterior concrete slab is settling, so there is a step for a vehicle into the sallyport	Raise slab to be level with the floor.	Required	\$2,500.00	14,15
	Steel lintels are rusting.	Remove rust and repaint lintels.	Recommended	\$3,600.00	16
	The split-face block base appears to be absorbing water	Provide sealer at split-face block, around building	Urgent	\$2,200.00	18,19
SUBTOTAL				\$8,420	
Accessibility					
	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$9,000.00	2
	Meeting area with inmate contains deadbolt on outside of door	Replace with institutional-type door hardware for security and egress in emergency scenario	Required	\$1,000.00	2



BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	РНОТО
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
	Public Toilets adjacent to jail lack accessible clear space at the toilet and proper turning radius.	Rework bathrooms to provide an accessible use	Required	\$50,000.00	
	Exterior door to the west does not have the accessible clear space adjacent to the door lever.	Rework exterior door configuration.	Required	\$10,000.00	
	Booking bathroom is not accessible	Rework bathroom to be accessible.	Required	\$30,000.00	
	Lack of accessible jail cell	Provide accessible cell and access from adjacent jail space	Required	\$75,000.00	
SUBTOTAL				\$175,000	
Engineering System					
Plumbing	15				
- to	Flushometers at Public Toilet Rooms is not accessible.	Replace flushometers with accessible-type	Required	Included above	
	Water Service entrance is not easy to access through a storage room	Move storage into new space for ease of access	Recommended	\$25,000	
SUBTOTAL				\$25,000	
HVAC					
TIVAC	HVAC Zoning inadequate	Revise zoning	Recommended	\$12,000	
SUBTOTAL	Tivite Zoning inddequate	The vise 2011ing	rteesminenaea	\$12,000	
303101712				7 12,000	
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
	Access control distribution panels are in space with inmate-use	Relocate distribution panels	Recommended.	\$4,000.00	
	Electrical insufficient for gear used by department				5,6,7
	Light fixtures contain fluorescent bulbs	Replace lighting with LED units	Recommended.	\$30,000.00	10
SUBTOTAL				\$56,500	
	on (includes construction fees,			\$326,920	

SHERIFF AND JAIL PHOTO DIRECTORY



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FACILITY ASSESSMENTS



WORTH COUNTY / 199

FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - SHERIFF'S DEPUTIES MARCH 2021

ARCHITECTURAL ASSESSMENT

The Sheriff's Deputies is located on the corner of Central Ave and 9th street. The building is leased from the City of Northwood. The building is comprised of load bearing masonry walls with some interior wood stud partition walls, and wood floor and roof framing. Newer vinyl windows were added between 2010-2015 on the upper floor. It was constructed in 1900, with many different occupants over the years.



The building appears structurally sound but there is evidence of water infiltration at multiple locations, particularly the upper level. The building envelope will require effort to make the building watertight. Updates are also required for accessibility, to resolve some building issues, and address maintenance. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The Sheriff's Deputies building is located on the corner of Central Ave and 9th street, anchoring the corner of the historic main street.

The main entrance has a sidewalk to the south and east. The section of the sidewalk to the main, secure entrance is not accessible at the door threshold. A sidewalk also provides access to the exterior door for the basement access enclosure on the north of the building.



EXTERIOR

The building is comprised of load bearing masonry walls with some interior masonry and wood stud partition walls, and wood-framed floor and roof structure. Newer vinyl windows were added between 2010-2015 on the upper floor. The upper level is accessed from the exterior stair with a low guardrail on one side.

The wood frame around the vinyl windows has deteriorated. The exterior aluminum security door does not latch properly, the door hardware should be replaced.



INTERIOR

The existing building interior is in poor condition. Typical finishes within the building include carpet, vinyl, VCT, plaster, gypsum board, and lay-in acoustical tile ceilings, plaster, and gypsum ceiling finishes. The upper level is currently unoccupied.



The building layout hinders the chain of custody and security of evidence. The stairs to the basement do not meet code for the required maximum riser height. The stairs should also have handrails on both sides. Potential hazardous materials may be found throughout the building. Water infiltration is evident in the upper level and basement.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

The toilet room is not accessible regarding clearances, doors, sinks, accessories. This is not a public space. Staff would need accommodation if an employee required an accessible toilet room.



DEPUTIES ASSESSMENT

HVAC SYSTEMS

In general, the HVAC system appears outdated. The system is forced air. The requirement for code-required outside air exchanges does not appear to be met. The temperature controls are outdated and inefficient; it is recommended that these controls be replaced with direct digital controls (DDC). A new mechanical system would meet the current, more stringent energy code and be more efficient to operate.

PLUMBING SYSTEMS

Many components of the plumbing systems need improvement. The sink, faucet and toilet are not accessible. The faucet knobs are to be replace with a paddle or sensor. The current layout does not provide the clearances needed at the sink or toilet.

ELECTRICAL SYSTEMS

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights. It is recommended that the building's power be upgraded for HVAC upgrades and additions.



DEPUTIES IMPROVEMENT MEASURES

BUILDING AREA	CODE /	RECOMMENDATION	URGENCY	BUDGET	РНОТО
	MAINTENANCE ITEM	TO CORRECT	LEVEL	COST	REFERENCE
DEPUTIES					
Architectural					
Interior			1		
Stairs	Chain of Custody and security of evidence	Provide secure, main level evidence storage	Required	\$140,000.00	
	Steps to the basement are steep.	Replace stairs to have code-compliant riser heights with handrails on both sides.	Required	\$5,000.00	2
	Potential hazardous materials may be found throughout the building	Remediate hazardous materials.	Required	\$20,000.00	
	Water infiltration is evident in the upper level.	Replace roof and flashing, repair exterior wall as needed.	Urgent	\$12,000.00	5,6
	Water infiltration is evident in the basement	Direct water away from the building and provide waterproofing as required.	Urgent	\$50,000.00	
SUBTOTAL				\$227,000	
Exterior			I		
	Stairs to the upper level are exterior with a low guardrail on one side.	Provide interior stair to upper level for more frequent use.	Recommended	\$18,000.00	8
	Wood frames around vinyl windows is deteriorated	Replace wood where unsalvageable, paint wood frames	Recommended	\$3,200.00	9
	Exterior, security door does not latch properly	Replace door hardware and aluminum frame, if needed.	Recommended	\$3,000.00	1
	The split-face block base appears to be absorbing water	Provide sealer at split-face block, around building	Urgent	\$2,200.00	18,19
SUBTOTAL				\$24,000	
Accessibility					
Accessibility	The toilet room is not accessible regarding clearances, doors, sinks, accessories.	Staff would need accommodation if an employee required an accessible toilet room	Required	TBD	4
SUBTOTAL				\$ -	
Engineering Control					
Engineering System	5				
Plumbing	Dlumbing five	Chaff accommendation for	Dogwiss	TDD	1
	Plumbing fixtures are not accessible.	Staff accommodation for updated plumbing and accessible fixtures	Required	TBD	4
SUBTOTAL				\$ -	

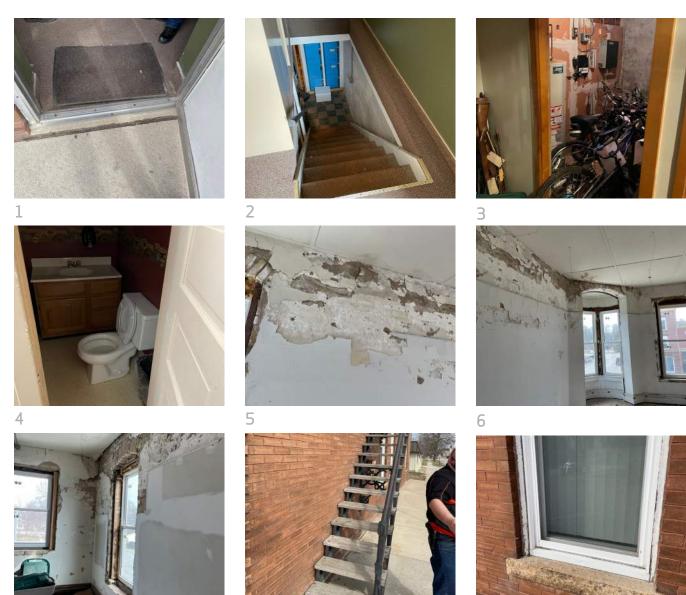
DEPUTIES IMPROVEMENT MEASURES

BUILDING AREA	CODE /	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
		10 COMMEC!			
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	3
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
Building	Lighting utilizes fluorescent bulbs	Replace with high efficiency, LED lighting	Recommended	\$12,000.00	
SUBTOTAL				\$ 34,500	
Total Cost Expectatio	${\it Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF\&E)}$				



FACILITY ASSESSMENTS

DEPUTIES PHOTO DIRECTORY



9

WORTH COUNTY / 205

FACILITY CONDITION ASSESSMENT NARRATIVE WORTH COUNTY - TREASURER MARCH 2021

ARCHITECTURAL ASSESSMENT

The Treasurer's building is located on Central Ave. The building is an infill building in the middle of the block. The building is comprised of load bearing exterior masonry walls with load bearing masonry and wood stud partition interior walls and wood floor and roof framing. The building was constructed in 1906 and a new vault was added at the back of the building in 1955. The county took over this former bank building in 1972.



The Treasurer's building appears structurally sound and there is little evidence of water infiltration. The building envelope appears to be in good condition. Updates are required for accessibility to publicly used spaces. The following is a report of the condition of the current building along with estimated costs for corrections needed.



SITE

The Treasurer's building is located on Central Ave. The building is an infill building in the middle of the block. The concrete sidewalk at the entrance sidewalk has settled and no longer provides an accessible entrance to the building.



EXTERIOR

The building is comprised of load bearing exterior masonry walls with load bearing masonry and stone/clay brick exterior finish with stone accents. The exterior stone and brick appear to be in good condition. The mortar on the front of the building, between the building and the adjacent structures. is cracked and in need of repair or replacement.



INTERIOR

The existing interior is in good condition. Many of the original bank interior embellishments have remained in place. Typical finishes within the building include carpet, vinyl composition tile, plaster, gypsum board, wood paneling, polished stone and lay-in acoustical tile ceilings. The acoustical tile is pillowing; it is recommended that it be replaced in prominent spaces. Not all of the public use spaces, like the vault containing the newspapers, are on the main level, making them difficult to access.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Public-service countertops are at 42" high to be ADA compliant at least a portion of the counter is to be at a maximum of 34". The path of travel to the testing stations is narrow, at the end of the path there is to be a space for



TREASURER ASSESSMENT

individuals to turn around that is at least 60" in diameter. The public use of the newspapers is in the lower-level vault, which does not have accessible access.

Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

The restroom which is for staff and public is located in the lower level which is not accessible. The space does not allow for the proper clearances at the sink, toilet and door. The accessories are not mounted in accessible locations.



HVAC SYSTEMS

In general, the HVAC system is newer and functioning. The radiant boiler is working well, even if it is difficult to maneuver around. The air conditioning system, which is newer, appears to be working well.

PLUMBING SYSTEMS

Many components of the plumbing systems need improvement. The sink, faucet and toilet are not accessible. The faucet knobs are to be replaced with a paddle or sensor. The current layout does not provide the clearances needed at the sink or toilet.

ELECTRICAL SYSTEMS

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights.





TREASURER IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
TREASURE					
Architectural					
Interior					
Basement	The vault contains newspapers for public use	See Accessibility section below	Required	-	10
	2x4 ceiling tiles are pillowing	Replace ceiling tile	Recommended	\$12,000.00	
SUBTOTAL				\$12,000	
Exterior					
	Mortar between building and adjacent structures is cracked	Replace sealant between buildings.	Required	\$500.00	2
	Concrete sidewalk settling at stoop into building	Chamfer sidewalk corner to provide ramped transition into the building.	Required	\$500.00	1
SUBTOTAL				\$1,,000	
Accessibility	I		I		
	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$1,500.00	
	Public-Service Countertops are 42" high	Replace or rework existing countertops to have an ADA-compliant segment	Required	\$2,000.00	12,13
	Testing stations have a narrow path of travel and no turning radius for accessibility	Rework testing stations to be accessible.	Required	\$8,000.00	13
	Public use of the newspapers in the lower level vault is not accessible.	Provide publicly- accessed items, that are currently stored in vaults, in an accessible space on the main level	Required	\$10,000.00	
	The toilet room is not accessible regarding clearances, doors, sinks, accessories and is located in the lower level.	Provide an accessible, public-use toilet on the main level.	Required	\$30,000.00	7
SUBTOTAL				\$51,500	

TREASURER IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Engineering System	ıs				
Plumbing					
	Plumbing fixtures are not accessible.	Staff accommodation for updated plumbing and accessible fixtures	Required	TBD	7
SUBTOTAL				\$ -	
HVAC					
HVAC	T		I		
	Boiler is difficult to maneuver around.	Boiler room enclosure should be enlarged or removed.	Recommended	\$3,000	6
SUBTOTAL				\$3,000	
Electrical					
	Light fixtures contain fluorescent bulbs	Replace lighting with LED units	Recommended.	\$18,000.00	8,9
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	5
SUBTOTAL				\$40,500	
Total Cost Expectation	n (includes construction fees,	1 year inflation, excludes de	sign fees, FF&E)	\$108,000	

TREASURER PHOTO DIRECTORY







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FACILITY ASSESSMENTS

















13

12

/STRUCTUAL ASSESSMENT

Structural Assessment of the Worth County Courthouse and Jail Facilities

1000 Central Ave.

Northwood, IA 50459



Prepared by:
FEH DESIGN
951 Main St.
Dubuque, IA 52001

Submitted: July 28, 2021 On Thursday, July 15 at approximately 1:30 pm, a visual assessment of the Worth County Courthouse and jail in Northwood, IA was conducted. Brian Lund from Buildings and Grounds was present throughout the observation, as well as Sherriff Dan Frank for the jail portion. Also, county auditor Jacki Backhaus was met with upon arrival. The weather was mostly sunny, breezy, temperature in the mid-80's. There had been rainfall the night before.

Description:

The main courthouse building consists of a 3-story, brick masonry structure with wood framing and some areas of concrete framing. The original courthouse was constructed circa 1893, with an addition on the east side built around 1938. An elevator was added when the jail addition was constructed in the late 1980's. The jail addition is a one-story, concrete masonry structure with steel joist roof structure and steel deck. There is a small utility tunnel connecting the jail and the courthouse boiler room.

Observations:

At the attic level of the courthouse, the wood roof framing was observed to be in fair condition. At the south side of the building, wood joists spanned from nailer-plates up to ridge beams, with tongue-ingroove deck. There were some areas of visible discoloration indicating water intrusion around the south gable and around the chimney on the eastern side, but the wood was dry to the touch, and it is unknown how long ago the leaks occurred. Another area of apparent water intrusion was to the north and northwest of the stairs. At this location, the roof joists were very dark, and the joist that appears to have been fastened to the brick wall of the stairs had pulled away from the wall. The roof framing immediately west of the stair tower appears to have experienced some movement where two members have been pried apart. The roof over the courtroom consisted of a large wood-chord truss with some steel vertical web members spanning east-to-west and roof joists framing up to the truss. Secondary framing in this area supports a large arch ceiling. This framing did not appear to show significant signs of movement or degradation, except for the area just north of the stair tower noted above. To the east, the 1938 addition was again wood roof joist framing, this time posting down to a bearing wall running east-west at the middle. No significant movement or degradation was observed in this area.

Some of the brick walls were observed to have a significant amount of efflorescence, especially at the south gable and around the chimney. Smaller patches were observed throughout the rest of the building, less so at the 1938 addition. Some brick deterioration was observed at the stair tower's east and north walls, at the south gable, and at the chimney.

The structure at the upper and main floors was not directly observable due to wall, ceiling, and floor finishes. At both levels, the walls north of the stair tower showed significant water damage. It was reported by the building users that this has been an ongoing issue. Slight cracking was observed in the concrete floor in the east bathrooms. Building users reported no significant issues involving operation of door or windows.



At the lower level, again, signs of water intrusion at the north and east walls of the stair tower were observed. In the vault area, it was observed that the structure of the floor above was board-formed concrete slab. The slab showed some minor hairline cracking, but overall appeared to be in very good condition. In the southwest office, some slight water damage was noted at the window and at the steam line near the floor. In the server room, the structure of the floor above was observed to be concrete arch-slabs which appeared to be in very good condition. In the boiler room, the wood framed structure above was visible, and appeared to be in fair condition. Adjacent to the boiler room, a below-grade cellar-type structure was observed to have clay masonry unit walls and steel columns supporting back-to-back steel channel beams, that in turn supported a reinforced concrete slab. The slab was observed to have significant cracking and spalling, with exposed reinforcement in several locations. The bases of the columns were observed to bear on a slab-on-grade. There was significant corrosion of the columns and base plates observed. There was standing water observed in the northwest corner of the room. At the northwest corner of the room, an opening had been made in the wall, and a utility tunnel extended to the northwest, presumably to the jail building. The tunnel was observed to have concrete masonry until walls with a form-deck lid. The tunnel appeared to have some water intrusion as well.

At the exterior of the courthouse, some minor brick spalling and chipping was observed around the entire original building, but more significantly around the stair tower. Even lighter spalling and chipping was observed around the 1938 addition. Some light vertical cracking was observed in the brick on the south and west faces of the building. There was some cracking observed at the foundation limestone at the southwest corner of the building.

At the jail, several areas of water intrusion have been reported by the buildings and grounds technician. An area at the north entrance was opened up, and significant water intrusion was observed. Leaking was also reported in the rooms along the south face of the building. Areas of water intrusion were evident by the darkening of the fire-resistant coating on the structure; some locations appeared to be wet. It was reported that the man door to the exterior near the carport would have difficulty opening at times. It was observed that the lintel above this opening had experienced some differential movement from the north jamb. In the carport, several areas of cracking in the wall were observed. Although the carport had an epoxy coating, some slight slab cracking was projecting through near the overhead door. No issues were observed or reported in the area of the control room, server room, or break area, but it was reported that during a renovation, that included some slab-on-grade replacement, the contractor noted that it looked as if there was water intrusion. The cells were not able to be observed, but it was reported that there was no cracking evident in the spaces, though there was some corrosion around the steel window frames. Significant cracking was observed at the entry to the public restrooms near the south entrance.

At the exterior of the jail, it was reported that water would pour out of the vented soffit at the covered entry for the man door adjacent to the carport. In the winter this creates an ice issue. At the east-facing exterior wall, near the south door, some loose caulk was observed. At the carport, it was reported that the driveway slab was originally flush with the carport slab, but it was observed that there is over 3" differential between slabs. Along the west wall of the carport, and around the building in general, it was observed that there had been cracking of the split-face CMU near the foundation, but that it had been tuckpointed. Corrosion was observed at all exposed steel areas including masonry lintels and window frames. At the re-entrant corners adjacent to the north entrance, there was significant mildew. At the

exterior lintel at the north entrance, the lintel was observed to have differential movement from the west jamb.

Along the east side of the buildings and going back over the jail building and into the courthouse building was a steel framed fire escape structure. The structure appeared to be in good condition.

Discussion:

The original courthouse building is in fair condition for its age, with the exception of the areas immediately surrounding the stair tower. Two structural issues at the roof framing have appeared to allow water into the building, and that has affected the wall and likely the floor framing at each level. Where the two framing members have separated immediately west of the stair tower, the valley joist has deflected downward and rotated slightly. This valley joist is connected to the framing that has pulled away from the north wall of the stair tower by another roof joist, one that has had some significant water damage and degradation. Whether the framing to the north pulled down on the roof framing to the west, or the framing to the west failed and then applied load to the framing to the north, or if the two failures occurred independently is not immediately apparent.

Areas of water infiltration around the chimney appear to be older. The efflorescence on the brick indicates that there has been some moisture migration through the brick, though it is unknown if this is an ongoing issue.

The cracking in the foundation limestone at the southwest corner is consistent with some level of foundation settlement in this area. Again, to what degree this settlement is ongoing is unknown.

The cellar room off the boiler room is in very poor condition. The room is not weather-tight, and nearly all structural elements are exhibiting some form of distress.

At the jail, despite the reports and observed evidence of water intrusion, no immediate structural cause of this was observed. However, much of the framing in this portion of the building was not able to be directly observed as it was obscured by the fireproofing. Significant structural issues might cause the fireproofing to crack or come loose; no such events were observed. Smaller movement, however, may have occurred and are obscured by the spray-on fire resistant coating. Two areas of observable structural distress, however, were at the northwest and southwest entrances, where the lintels experienced differential movement with their supports. This, along with the masonry cracking, and driveway settlement, could all be due to foundation settlement.

Recommendations:

At the courthouse, it is recommended that the framing to the west and to the north of the stair tower be removed and rebuilt. Consistent water intrusion has likely weakened the wood framing adjacent to this area and should be replaced to be able to offer adequate bracing to the walls. After removal of the finishes, the extent to which the water intrusion has damaged the framing can be more readily assessed. Additionally, at the location west of the stair tower, additional support should be given to the location



where the roof framing has pried apart. This may involve posting the roof framing to a beam below, or the addition of a beam or system of beams to support this susceptible area.

At the southwest corner of the building, the foundation cracking should be tuckpointed and monitored for additional movement periodically. If additional and continuous movement is observed, subgrade remediation may be necessary.

The cellar area to the west of the boiler room should be either heavily reinforced, removed and replaced, or removed altogether if the space is not required. Repair would include installation of subgrade drainage around the perimeter, repair of the steel column bases, and repair or replacement of the concrete lid.

Additionally, all brick masonry should be tuckpointed, inspected, and repaired as required by a qualified masonry restoration company.

At the jail, the largest issues appear to be weatherproofing and foundation settlement. Over time, weatherproofing issues can lead to structural degradation, as has apparently occurred in the courthouse. At the northwest entry, it is recommended that the crack at the canopy lintel be sealed with a flexible sealant rated for exterior applications. At the south entry adjacent to the carport, if the door sticking becomes problematic, it would be recommended to remove and re-set the door frame. Depending on how much the foundation settlement is still on-going, the door may eventually become an issue again. At this door, it is recommended that the crack at the lintel be tuckpointed, serving both to provide more restraint and apply less pressure to the door frame, and as an indicator if the building is still experiencing movement.

Budget:

Below is a table of opinion of expected costs for the recommendation options noted above.

Item description	Budget
Reconstruction/restoration of wood framing adjacent to the stair tower - The expense	\$64,000
of reconstruction in the vicinity of the stair tower could vary significantly depending on	
the amount of framing that will need to be restored or replaced.	
Tuckpointing southwest corner foundation	\$1,000
Renovation of existing storage cellar – Repair of column bases, drain tile, wall	\$40,000
reinforcement/repair, slab repair, not including weather-proofing or waterproofing	
Replacement of storage cellar	\$55,000
Demolition of storage cellar (extend utility tunnel)	\$10,000
Brick tuckpointing, inspection, repair	See Arch.
	Assessment
Sealant and tuckpointing at lintels	\$1,200
Door frame replacement	\$3,000

Limitations and Qualifications:

The services described herein were performed and the findings and recommendations prepared in accordance with generally accepted consulting practices. This warranty is in lieu of all other warranties, either expressed or implied. While we have made a reasonable effort to properly evaluate the capacity of the building structure within the contracted scope of services, it should be recognized that this investigation is limited in several important respects including, but not limited to, the following:

- The findings and conclusions were based primarily on visual observations and on comparative judgments with similar properties in our experience. The site observations included only areas that were readily accessible without opening or dismantling any secured components or areas unless otherwise stated in the proposal/agreement. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical or other systems with related calculations and review of design assumptions.
- The conclusions were partially based on information provided by others, including representatives of the property owner. For the purposes of this report, this information was assumed to be complete and correct, unless otherwise noted. FEH assumes no liability for incorrect information provided by others.
- The scope-of-services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. FEH is not responsible for conclusions, opinions, or recommendations made by others based on this information.

Prepared by:

FEH Design

Bryan Blair, PE

7/28/21

Date





Figure 1- Framing at stair tower roof



Figure 2- Stairs up to attic and stair tower wall degradation



Figure 3- Stair tower east and south walls at attic level

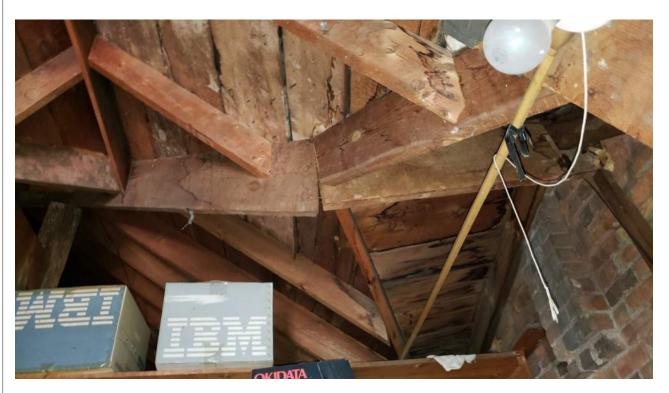


Figure 4- Roof framing west of stair tower showing water infiltration and connection failure



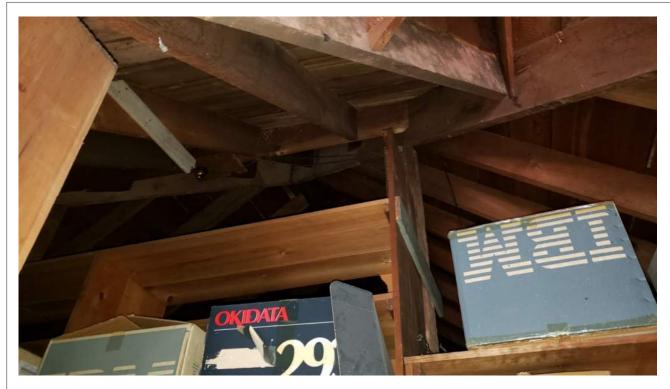


Figure 5- Roof framing at south facing roof



Figure 6- Roof framing at south wall connection



Figure 7 - Stair tower walls at attic showing brick degradation



Figure 8 - Roof framing at south gable — east side



Figure 9 - Wall at south gable showing some cracking and efflorescence



Figure 10 - Roof framing at south gable - west side



Figure 11 - Water infiltration at deflected framing member



Figure 72 - Roof framing at west wall showing efflorescence



Figure 9 - Roof framing at chimney showing water damage and brick efflorescence



Figure 15 - Water infiltration and efflorescence at chimney



Figure 14 - Roof framing west of stair tower



Figure 86 - Masonry degradation at chimney





Figure 17 - Roof framing at south gable, west side



Figure 18 - Chimney showing significant efflorescence



Figure 109 - Roof framing west of chimney



Figure 20 - Roof framing at south gable, east side



Figure 21 - Roof framing at south wall



Figure 22 - Roof framing and wall at south gable



Figure 23 - Roof framing and support post

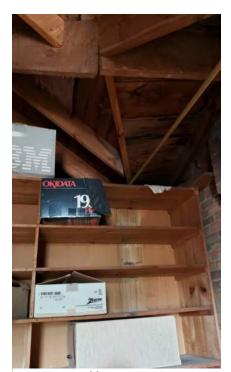


Figure 24 - Roof framing at connection failure





Figure 25 - Roof framing over courtroom arched ceiling where south gable joins



Figure 26- roof framing northwest of stair tower



Figure 27 - Roof framing north of chimney



Figure 28 - Roof framing - south gable framing into main ridge



Figure 29 - Roof truss bottom chord over courtroom with arch framing

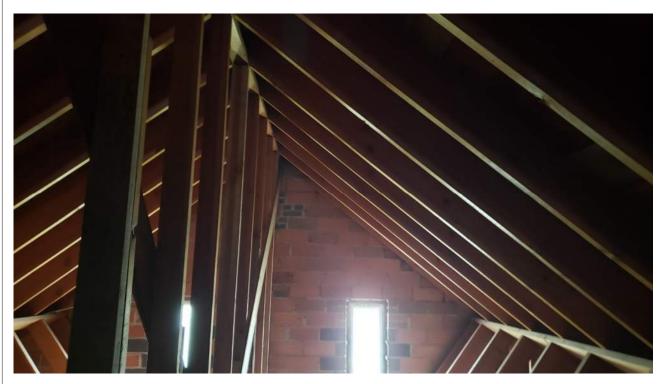


Figure 30 - Roof framing at 1938 addition





Figure 31 - Roof framing at south side of 1938 addition



Figure 32 - Roof framing at 1938/1893 connection



Figure 33 - Roof framing at southwest corner wall

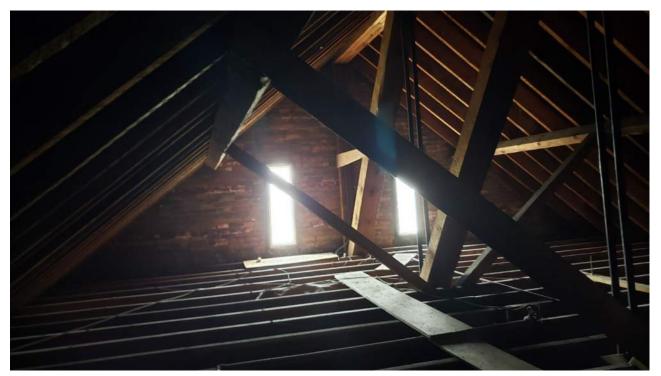


Figure 34 - Roof framing over courtroom



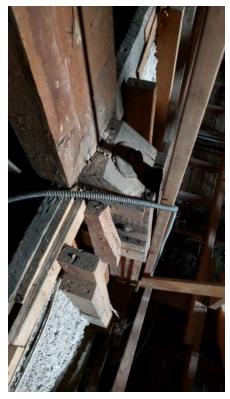


Figure 35 - Main roof truss bearing at 1893/1938 connection



Figure 37 - Roof framing north of stair tower pushed away from wall



Figure 36 - Roof framing from above courtroom facing east



Figure 38 - Slab crack at 1938 addition rest room



Figure 39 - Main roof truss bearing at west wall



Figure 40 - Main roof truss at west wall





Figure 41-Weathered roof framing adjacent to the northwest corner of stair tower



Figure 42 - Water damaged roof framing adjacent to northwest corner of stair tower



Figure 43 - Roof framing at west side of stair tower



Figure 44 - Crack at wall at second floor room, 1938 addition, south side, adjacent to stair tower



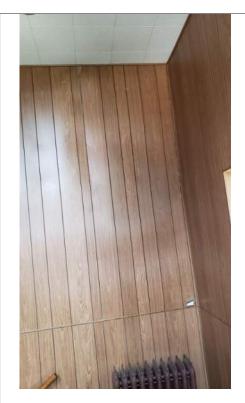


Figure 45 - Warping of finishes at stair tower



Figure 47 - Water infiltration at office ceiling adjacent to stair tower



Figure 46 - Warping of finishes in corridor adjacent to stair tower



Figure 48 - Warping of finishes adjacent to stair tower

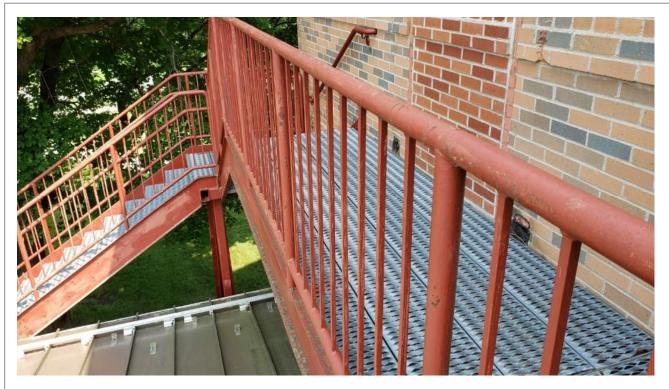


Figure 49 - Fire escape



Figure 50 - Board formed concrete slab at vault



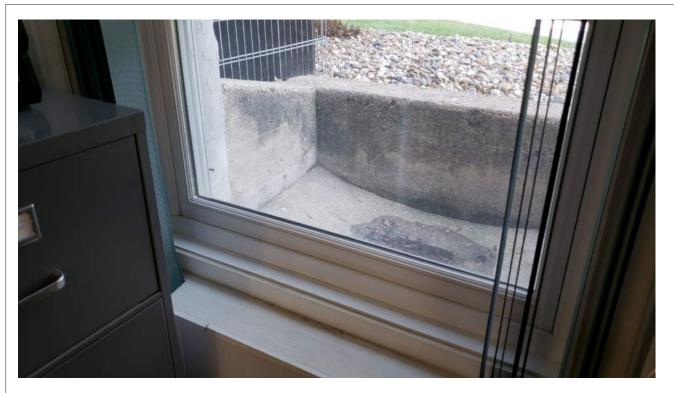


Figure 51 - East window well



Figure 52 - Corrosion at floor immediately below window well location

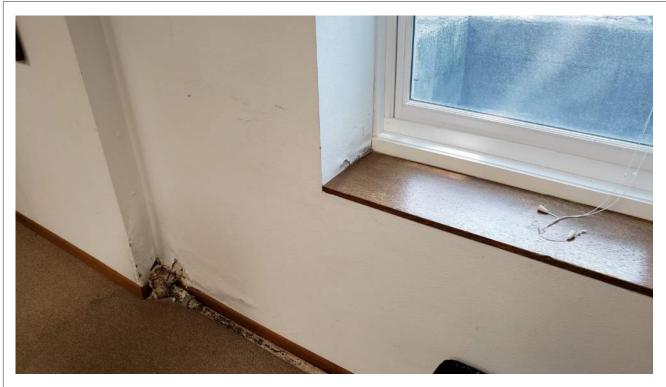


Figure 53 - Water damage at southwest office, lower floor



Figure 54 - Utility tunnel stemming from cellar storage area





Figure 55 - Corroded column base at cellar storage area



Figure 56 - Utility tunnel



Figure 57 - Spalled concrete with exposed and corroding reinforcement



Figure 58 - Concrete lid in server room



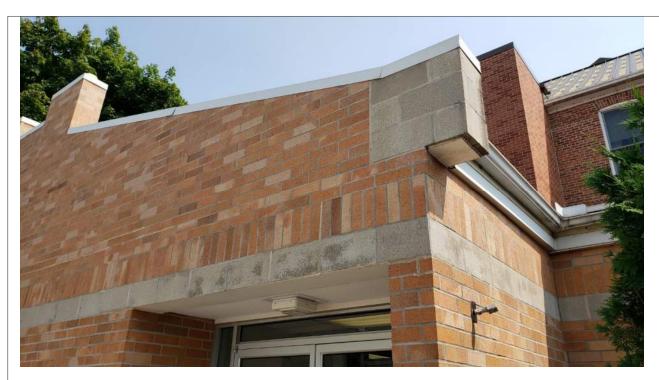


Figure 59 - Northeast entrance



Figure 60 - Loose caulk adjacent to the southeast entrance



Figure 61 - Water intrusion at northeast entrance



Figure 63 - Wall crack at rest room



Figure 62 - Water staining above offices on south side



Figure 64 - Floor crack at rest room



Figure 65 - Steam line at southeast corner of southeast office



Figure 66 - Discoloration of fireproofing at southeast corner



Figure 67 - Utility lines coming into the building at southeast corner



Figure 68 - Fire protection over roof joist framing





Figure 69 - Water intrusion near southwest corner



Figure 70 - Fire protection over steel joist framing

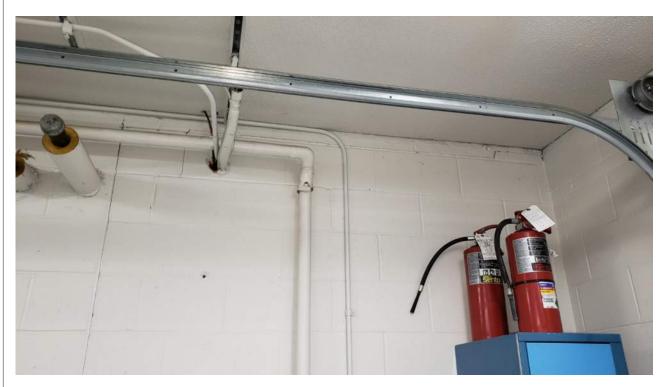


Figure 71 - Wall cracking in carport



Figure 72 - Floor crack at carport





Figure 73 – Prior cracking at exterior masonry

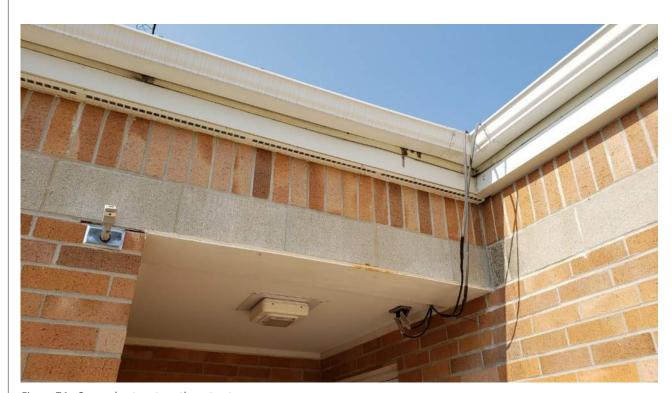


Figure 74 - Covered entry at southwest entry



Figure 75 - Driveway at carport



Figure 76 - Masonry base at exterior





Figure 77 - Cracking at southwest entry lintel



Figure 78 - Prior cracking at exterior masonry base



Figure 79 - Previously repaired masonry at exterior



Figure 81 - Wall crack at carport



Figure 80 - Exterior masonry



Figure 82 - Previously repaired masonry at exterior





Figure 83 - Corrosion at masonry support



Figure 84 - Previously repaired cracked exterior masonry



Figure 85 - Corrosion at steel lintel



Figure 86 - Corrosion at steel lintel, moisture accumulation in corner





Figure 87 - Corrosion at lintel



Figure 88 - 1938 addition corner plate

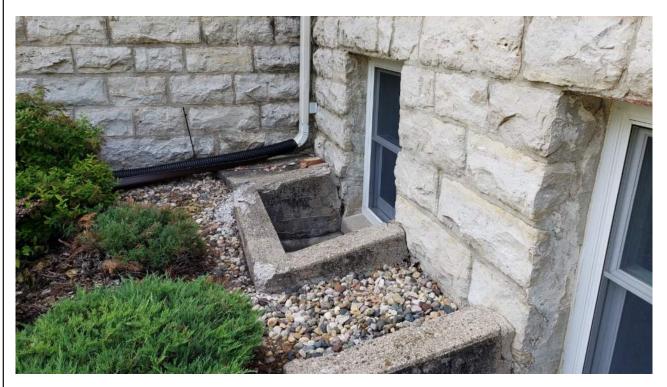


Figure 89 - Area well with some degradation



Figure 90 - Original courthouse entry arch





Figure 91 - Exterior face at south gable



Figure 92 - Crack at lintel bearing at northwest entrance



Figure 93 - Corrosion at lintel on north wall



Figure 94 - Lid of cellar storage at west wall of courthouse





Figure 95 - East wall of stair tower



Figure 96 - East wall of stair tower at 1938 addition interface



Figure 97 - West wall of courthouse



Figure 98 - Cracking at limestone foundation at southwest corner

09

/ APPENDIX





MEETING MINUTES

ISSI	JE DATE	2/23/21		
MEE	TING INFORMATION			
MEE	TING DATE	2/22/21	MEETING TIME	1:00pm
ME	ETING NAME	Worth County Facilities Planning Kickoff	MEETING LOCATION	Virtual Zoom Meeting
PRC	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MIN	UTES PREPARED BY	Kim Bellmann		
ATT	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
\boxtimes	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
\boxtimes	Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
	Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
\boxtimes	Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
\boxtimes	Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
\boxtimes	A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
\boxtimes	Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
\boxtimes	Jim Hanson	Conservation	641-324-1524	jim.hanson@worthcounty.org
\boxtimes	Jacki Backhaus	Auditor	641-324-2316	auditor@worthcounty.org
	Dan Fank	Sheriff	641-324-2481	dfank@worthcounty.org
\boxtimes	Teresa Olson	Recorder	641-324-2734	teresa.olson@worthcounty.org
	Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
\boxtimes	Mark Tomlinson	Emergency Mgt Services	641-324-1535	ema@worthcounty.org
	Scott Hand	Clerk of Court	641-529-0388	scott.hand@iowacourts.gov
\boxtimes	Jake Hanson	Treasurer	641-324-2942	jacob.hanson@worthcounty.org
Q	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
	Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
	Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
	Brian Lund	Buildings and Grounds		
DIS	TRIBUTION	Core Committee & Design t	eam	
PUF	RPOSE	Kick-off the project, begin G	Soals for Success, cor	nfirm scope, process steps and schedule
DIS	CUSSION			

- 1. Introductions
- 2. Review of scope and process
 - a. Refine scope and process
 - i. Condition assessment on 5 buildings including code, maintenance, and ADA items.

Page ${f 1}$ of ${f 3}$





- ii. Program of space needs.
- iii. Condition Assessments to include:
 - 1. Courthouse
 - 2. Engineering Annex
 - 3. Sheriff's Facilities including Deputy Building (leased)
 - 4. County Conservation Shop
 - 5. Secondary Roads Shop
 - 6. Treasurer's Space (building owned)
- Who are the contacts for each building / department?
 - i. Jacki is to send FEH contacts for each department/ building.
- 3. Define the Core Planning committee
 - a. Who will be on the decision-making committee?
 - . Core Committee will be 3 Supervisors and department heads.
 - 1. The meetings will be open/public for transparency.
- 4. Establish Goals for Success
 - a. Why are you doing this project?
 - b. How will you measure the success of the project three years after it is complete?
 - i. High level goals that the community supports.
 - c. See the attached draft Goals for Success created for the items discussed in the meeting.
 - i. Be in compliance with code of Iowa
 - ii. All services under one roof
 - iii. Adequate space
 - iv. Safety and security
 - v. Energy efficiency
 - vi. Keep courts separate from other services and the public
 - vii. Internal/staff efficiencies employee efficiency
 - viii. Technology rich and tech efficient
 - ix. Work efficiency through safer work environment
 - x. Keep water out of building
 - xi. Maintenance free exterior
 - xii. Design for COVID public access
 - xiii. Keep old books in controlled environment
 - xiv. Structurally sound and secure facility, designed with employee and public safety in mind
 - xv. No elevator
 - xvi. Accessibility (ADA)
 - xvii. Accommodate future growth.
 - I. Some programmatic items that came up when discussing goals include the following:
 - It was questioned whether Engineering should be located with Secondary Roads/shop building. A shared office could then be provided in the courthouse.
 - ii. Large modular room for BOS/ Public meetings/ EOC.
 - iii. If bringing offices in, need adequate space to expand.
 - iv. Need IT separate from GIS
 - e. There is a previous program, which Jacki will send to the design team. FEH will reach out to each department to verify the space needs and get more details.
- 5. Public Engagement
 - a. More people involved, the better chance of community support.
 - The Advisory Task Force should be 60-100 people, a cross section of community, attendees would commit to 5 meetings.



- c. Task Force Members
 - i. County Supervisors and department heads will make suggestions on people.
 - ii. Joel will put together a google list/document and the group will aim for 100 names.
 - iii. Set up a meeting location for hybrid meetings (meeting at the Timbers) (Kensett at community center).
- 6. Review Schedule and Timeline
 - a. Meetings with the Core Committee will be on Mondays at 10:30 am.
 - b. See attached timeline for meeting dates.
 - c. FEH will be on site in March to conduct the condition assessments and meet with staff on programming.
- 7. Deliverables
 - a. Bound Copy of assessment, public meeting documentation, program and workshop
 - i. All info from meetings, workshop, assessment, in bound report hard copy and digital.
 - b. The design workshop / spark session will be hosted on www.FEHDesignSparks.com.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH – Draft Goals for Success

FEH - Draft Timeline

Jacki - Send Department head contact info.

Joel – Set up google doc for Task Force member names Committee – Start recruiting Task Force members.

Attachments: Draft Goals for Success

Proposed Project Timeline



Page 3 of 3



MEETING MINUTES

ISSU	E DATE	3/3/21		
MEET	ING INFORMATION			
MEE1	TING DATE	3/1/21	MEETING TIME	10:30am
MEET	TING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJ	ECT NAME	Worth County Facilities Plan	nning	
EHF	PROJECT NUMBER	2020317		
MINL	ITES PREPARED BY	Kim Bellmann		
ATTE	NDEE NAME	ORGANIZATION	PHONE	EMAIL
×	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
X	Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
\boxtimes	Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
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X	A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
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	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
_	Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
	Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
	Brian Lund	Buildings and Grounds		
×	Kris Kenison			
DIST	RIBUTION	Core Committee & Design to	eam	
PURPOSE Review Goals for Suc		Review Goals for Success,	Review Process	
DISC	USSION			





- 1. Introductions were conducted over the Zoom meeting
- 2. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals aloud.
 - b. There were no changes at this time.
- 3. Public Engagement and ATF Strategy
 - a. Who will be on the Advisory Task Force? How is the list coming?
 - The Google Document has been created, there are approximately 80 names on it, but there is some duplication.
 - ii. It is important to endeavor to have all groups represented in the Task Force. A column will be added to the google doc to designate group/community.
 - It was suggested that the mayors be on the task force and if they cannot, then a council member from each locale.
 - 2. Institutions and businesses also need to be represented.
 - b. Who will recruit each member?
 - i. A column will be added to the google doc listing who will contact that member.
 - c. Provided recruitment letter, will provide meting agendas.
 - i. A draft recruitment letter was sent to Jacki.
 - ii. Agendas will be created by FEH and emailed to the department heads.

4. Review Schedule

- a. Review meeting dates with Core Committee and ATF
 - FEH will be onsite on March 15 FEH for the core committee meeting and to conduct condition assessments and staff discussions.
 - 1. FEH will confirm the previous space needs program meets the current needs.
 - 2. Some departments are lacking information in the previous space needs program.
 - 3. County department heads will need to sign up for a time slot to review the program of spaces with Kevin.
- b. Meeting space for ATF needs to be determined.
 - i. A central location in the County was preferred, potentially the Kensett Community Center.
 - ii. It was discussed that the meetings could be at different locations, but since the meeting topics vary, a consistent location was decided upon.
- c. The ATF meetings and Spark design workshop need to be promoted.
 - i. These meetings will be open to the public.
- d. As part of the Mitchell County process, tours were given to show deficiencies/challenges of the existing courthouse. This would be good to do here. Tours could be given after the ATF meetings. A video tour could also be created.
- Spark website
 - a. <u>www.FEHDesignSparks.com</u> is a website that will include content from the process. This will include drawings produced throughout the day at the Spark workshops, the Goals for Success, voting results, budgets, the space needs program, and preliminary info from assessment.
 - b. It was questioned whether there are existing drawings of the spaces.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Page 2 of 3



Assignments: FEH – Create and send agendas for ATF meeting

FEH – Prepare for assessment

Joel – Update google doc for Task Force member names, contact person name and group.

Committee – Start recruiting Task Force members.

Committee – Sign up for time slot with Kevin on March 15.

Attachments: Draft Goals for Success

Page 3 of 3 ARCHITECTURE / ENGINEERING / INTERIORS





MEETING MINUTES

ISSUE DATE	3/15/21		
MEETING INFORMATION			
MEETING DATE	3 /15/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Plan	ning	
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		
ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
⊠ Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
☑ Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
⊠ Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
☑ Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
☑ Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
☐ Jim Hanson	Conservation	641-324-1524	jim.hanson@worthcounty.org
☐ Jacki Backhaus	Auditor	641-324-2316	auditor@worthcounty.org
☑ Dan Fank	Sheriff	641-324-2481	dfank@worthcounty.org
☑ Teresa Olson	Recorder	641-324-2734	teresa.olson@worthcounty.org
☑ Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
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☐ Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
☐ Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
☐ Brian Lund	Buildings and Grounds		
☑ Patty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov
☑ Colleen			
DISTRIBUTION	Core Committee & Design te	am	
PURPOSE	Review Process		
DISCUSSION			





- 1. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. There were no changes at this time.
- 2. Public Engagement and ATF Strategy
 - a. Who will be on the Advisory Task Force? How is the list coming?
 - i. The group has been receiving yes and no from people on the list.
 - ii. The list needs some additional effort.
 - iii. The group will send out the invites and edited letter to potential ATF members.
- 3. Space needs evaluation
 - a. Due to the weather FEH did not travel today. Kevin and Christy will contact the department heads after the meeting to go over the previous space needs program.
 - b. FEH will follow up later with those individuals not available today.
- Review Schedule
 - a. Core Committee Meeting 29 March @ 10:30 am.
 - b. Advisory Task Force Meeting #1 7 April @ 6:00 pm.
 - i. The Kensett Community Center has been reserved for the ATF meetings.
 - c. Core Committee Meeting 12 April @ 10:30 am.
- 5. Other items
 - a. FEH will be on site Tuesday March 23, to do the condition assessment. It was noted that there is a special election that day. (This was later postponed to Friday due to quarantines.)
 - b. If there are any existing plans of the Court House or other County buildings, please send them to FEH.
 - c. It was suggested that a utility locate be conducted prior to the design workshop.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued

Assignments: FEH – Prepare for assessment.

FEH – Review program of spaces with department heads. Committee – Continue recruiting Task Force members.

Committee - Send existing plans to FEH.

Attachments: Draft Goals for Success





MEETING MINUTES

ISSU	E DATE	4/9/21		
MEE	TING INFORMATION			
MEE	TING DATE	3 /29/21	MEETING TIME	10:30am
MEE.	TING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PRO.	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MINU	JTES PREPARED BY	Kim Bellmann		
ATTE	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
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	Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
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\boxtimes	Teresa Olson	Recorder	641-324-2734	teresa.olson@worthcounty.org
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	Patty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov
DIST	RIBUTION	Core Committee & Design t	eam	
PUR	POSE	Review Process		
חומר	CUSSION			

- 1. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. There were no changes at this time.



Page **1** of **2**



- 2. Public Engagement and ATF Strategy
 - a. How many Task Force members?
 - i. The group has made contact with the individuals on the list and there are 35 confirmed.
 - ii. The meetings will be recorded for viewing by those who cannot make it to the meeting.
 - b. Contacted? Confirmed?
 - i. The agendas will be updated with the Zoom information and resent for distribution.
 - c. ATF Meeting #1 Preparation
 - i. Meeting Space Kensett
 - ii. Advertise & Promote WCTA Channel 2, Newspaper
 - 1. Samples of SPARK advertisements will be sent to the County.
 - iii. Public to Participate
 - iv. Social Distancing Set Up spread tables out for distancing
 - v. Virtual Meeting Set Up
 - This setup will be by Joel and Mark at the Kensett Community Center. The projector, sound system, and owl camera will be set up by the County.
- 3. Review Schedule
 - a. Advisory Task Force Meeting #1 on April 7 @ 6:00 pm.
 - b. Core Committee Meeting on April 12 @ 10:30 am.
 - c. Advisory Task Force Meeting #2 on April 21 @ 6:00 pm.
- 4. Review Space Needs Program
 - a. It is anticipated that Emergency Management, Veterans Affairs, and Public Health will remain at their current property. There was a preference to keep Public Health clientele separate from other County services. That ancillary building and programmatic elements will be kept separate.
 - b. It was questioned whether secondary roads should be added to the program.
 - i. This will need to be evaluated regarding whether the hub is at Northwood or Kensett.
 - ii. If this is a separate building, the engineering lab could be located there.
 - c. It makes sense for the engineer to be on the same site as the auditor to address drainage elements.

5. Review Condition Assessment

a. The current facilities were evaluated on March 26. There are many properties with evidence of water intrusion and a variety of accessibility concerns. A list will be compiled of the items needing attention and divided into Urgent, Required, and Recommended. A report will accompany the findings.

Other items

a. Many department heads will be at the ATF meetings. This will present a united front by the County for this process.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – Continue recruiting Task Force members.

Attachments: None

Page 2 of 2 ARCHITECTURE / ENGINEERING / INTERIORS



MEETING MINUTES

ISSI	JE DATE	4/19/21		
MEE	TING INFORMATION			
MEE	ETING DATE	4 /7/21	MEETING TIME	6 :00pm
MEE	ETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtua Zoom Meeting
PRO	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MIN	UTES PREPARED BY	Kim Bellmann		
ATT	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
\boxtimes	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
\boxtimes	Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
\boxtimes	Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
\boxtimes	Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
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\boxtimes	Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
\boxtimes	Jim Hanson	Conservation	641-324-1524	jim.hanson@worthcounty.org
\boxtimes	Jacki Backhaus	Auditor	641-324-2316	auditor@worthcounty.org
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×	Teresa Olson	Recorder	641-324-2734	teresa.olson@worthcounty.org
\boxtimes	Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
\boxtimes	Mark Tomlinson	Emergency Mgt Services	641-324-1535	ema@worthcounty.org
	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
	See Attached Sign-in	sheet plus twelve more people	participated online.	
DIS	TRIBUTION	Core Committee & Design	team	
PUF	RPOSE	Review Process		
DIS	CUSSION			

1. Introductions

a. Kevin from FEH Design introduced the design team.

2. Advisory Task Force's role

- a. The Advisory Task Force serves as a sounding board, providing guidance, advice, and feedback to the Supervisors. Task Force members will gain knowledge of the facilities and can articulate the views of the community. They understand the Goals for Success for the County, can evaluate possible implementation options, will consider the potential cost of proposed options, and make advisory recommendations to the Supervisors.
- b. Attend 5 meetings.



- 3. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. It was asked if there should be a goal related to historic preservation? About 50% of the group said yes.
 - c. It was asked if there should be a goal for a single level building? About 40% of the group said yes.
- 4. Review Project Scope Phase 1
 - a. Space needs assessment
 - b. Facility condition assessment
 - c. Public planning facilitation
 - d. Spark Design Workshops
- 5. Review Space Needs Assessment
 - a. Compare existing spaces to national and state standards, and review for functionality and adjacencies.
 - Veterans Affairs and County Health spaces are adequate in their current spaces and will not be included in the assessment.
 - c. The space needs program will be emailed out with the meeting minutes.
 - d. The green highlighted lines on the program identify spaces that currently do not meet the need. There is an investment required to meet the space needs.
- 6. Review facility condition assessment (Building Tour to Follow Meeting)
 - a. Courthouse
 - b. Engineering Annex
 - c. Sheriff's Facilities
 - d. County Conservation
 - e. Secondary Roads
 - f. Treasurer
 - g. There is water infiltration in the Courthouse, Jail and Sheriff's Deputy buildings.
 - h. FEH created preliminary budgets for addressing code, maintenance, and ADA requirements. These budgets don't address the space needs at this time. The budgets identifying Urgent, Required, and Recommended items were included in the presentation.
- 7. Public Engagement Ideas on how to maximize public input at Spark Design Workshop
 - a. Email, radio, advertisement. The group will consider ideas and invite friends.
- 8. Identify possible solution options to be studied
 - a. At the next meeting FEH DESIGN will be asking the ATF what they should study.
- 9. Public Spark Workshop May 11 and 13 starting at 9:00 AM in the Kensett building.
- 10. Questions
 - a. Can we stick to the open space around the Courthouse site for any expansions?
 - i. There is room around the Courthouse.
 - b. Is there adequate parking?
 - i. The group thinks there is currently enough parking, and that number should be maintained.
 - c. Is there a mold hazard for the people working in these buildings?
 - i. FEH is not aware of any testing. The point was raised that water infiltration and mold can be issues in all buildings, not just old ones and buildings require proper maintenance.
 - d. Who makes the decisions on the space needs?
 - i. The space needs have been determined by national standards and discussion with County department heads and staff.
 - e. Is the current Courthouse structurally sound?

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WORTH COUNTY / 271





- i. Yes. Mitchell County Courthouse was brought up, but that building was not structurally sound.
- f. How involved are the current employees in determining the space needs?
 - i. The department heads were involved with FEH DESIGN to review their space needs.
- g. The oldest addition to the building needs the most work, will this process need to be done in another 15-20 years?
 - Most of the work needed at the Jail is related to space needs resulting for regulation changes, not code, maintenance, and ADA.
- h. Why are the buildings in such poor condition?
 - i. Some maintenance has been deferred due to minimal budget available to address the issues. This is one of the reasons this process is taking place. The County needs to make these investments, they want to make sure these will not be wasteful if there is a vison to make changes to address the space needs; this question should be brought up at an upcoming Supervisors meeting.
- i. Where is the funding coming from, are there grants available? Will the framers have to pay most of these costs?
 - i. There are multiple funding sources and grants available.
- . What kind of mechanical systems are in the buildings?
 - The Courthouse has a steam boiler, the air conditioning is a mix of forced air and mini-split systems. The Treasurer utilizes a boiler. The specific systems will be identified in the upcoming reports for each building.
- k. Will the architect make more money if there are new buildings versus renovations?
 - As a percentage, fees are higher for architects and engineers for renovations than for new construction, more effort is required.
- 11. Review upcoming Schedule
 - a. Advisory Task Force Meeting #2 April 21, 6:00 pm Decision-Making Criteria
 - b. Onsite and Online Spark Workshop May 11, 9:00 am 6:00 pm
 - c. Advisory Task Force Meeting #3 May 11, 6:00 pm
 - d. Onsite and Online Spark Workshop May 13, 9:00 am 6:00 pm
 - e. Advisory Task Force Meeting #4 May 13, 6:00 pm
 - f. Advisory Task Force Meeting #5 May 26, 6:00 pm Recommendations to County
- 12. After the meeting, a tour of the Courthouse was given. Only two participated.
- 13. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH DESIGN – Create condition assessment book.

FEH DESIGN – Update the presentation for ATF #2 with more detail ATF – Invite others to next ATF meeting and Spark Workshops.

ATF – Think of ideas they would like to have studied.

County - address financing questions

Attachments: Draft Goals for Success

Space needs program

Presentation



Page 3 of 3



Advisory Task Force Public Meeting #1 Sign-in Sheet 2021-04-07

Name	Email
Mike Thompson	gm thompson telatonet
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Dana Touter	
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Mark Bergo	adette @ wetatel.ret
/	

SIOUX CITY / DES MOINES / DUBUQUE / DELAFIELD



Advisory Task Force Public Meeting #1 Sign-in Sheet 2021-04-07

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SIOUX CITY / DES MOINES / DUBUQUE / DELAFIELD





Advisory Task Force Public Meeting #1 Sign-in Sheet (Virtual) 2021-04-07

Name	Email
Sue Loken	
Lynn Tenold	
Fran	
Jane Podgorniak	
Fran O	
Dedra	
DD	
Kim Bellmann	
_	

SIOUX CITY / DES MOINES / DUBUQUE / DELAFIELD





MEETING MINUTES

ISSUE DATE	4/16/21		
MEETING INFORMATIO			
MEETING DATE	4/12/21	MEETING TIME	11:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Pl	anning	
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED B	Y Kim Bellmann	->_	
ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
⊠ Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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	FEH Design	563-583-4900	kimb@fehdesign.com
☑ Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
☑ Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
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☐ Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
☐ Brian Lund	Buildings and Grounds		
☑ Patty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov
DISTRIBUTION	Core Committee & Design	team	
PURPOSE	Review Process		
DISCUSSION			

- 1. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.

Page 1 of 3



- b. At the ATF meeting there was a request to add a goal related to Historic Preservation. There was majority support for this to be added. This goal could be difficult to meet when exploring the option of a new building on the courthouse site.
- c. At the ATF meeting there was a request to remove the single level building. It was felt that was in direct conflict with historic preservation. This did not have majority support.

2. Public Engagement, ATF

- a. How the first AFT meeting went, suggestions, changes, participation
 - i. The conversation may have gotten lost with the presented dollar amount to fix the Courthouse. The fixes don't address the space issues. This needs to be expressed at the next ATF meeting
 - ii. Should the Courthouse be preserved or move on? Lack of funds have led to deterioration over time
 - iii. The election equipment is no longer compliant, funds will be needed to replace equipment.
 - iv. The 'Space Needs' were lost during the meeting.
 - v. It was requested to translate the space needs into dollars.
 - vi. The Treasurer building could be sold in the future. It could be an economic development opportunity for downtown.
 - vii. How to fund this project? TIFF, Grants, Referendum, Debt Service
 - viii. There seems to be two options, vacate the property and build new or renovate and add on.
 - ix. The bones of the Courthouse are good, but there are not enough bones.
 - x. One option could be to build a new law enforcement center not attached to the Courthouse and renovate the current jail into needed office space.
 - xi. Does the County's debt need to be shared at the public meeting?
 - xii. The space needs have to be figured out before fixing the building.
 - xiii. There are historic preservation funding sources available, let the community members who are passionate about historic preservation find these sources. They could be used on any of the three existing historic buildings.
 - xiv. At the next ATF meeting should provide input on funding.
 - xv. Only 2 people attended the Courthouse tour after the ATF meeting. It is to be asked if anyone is interested in tours at the beginning of the meeting. It was suggested that tours could be given during the Spark workshop. During the day may work better than evening for some people.
 - xvi. There has been a request for the recorded presentation to be shared. This can be done.
 - xvii. At the next meeting, announce that if you have a question you need to use a microphone.

 More mics will be available and county staff will help.
 - xviii. Need to convey to the public that public buildings can't be built like a poll shed. This is state law, they have to comply with all codes.
 - xix. The Department heads are to discuss their needs, after funding discussion, during the next ATF meeting.

3. Review Schedule

- a. Advisory Task Force Meeting #2 on April 21 @ 6:00 pm.
- b. Core Committee Meeting on April 26 @ 10:30 am Virtual.
- c. Core Committee Meeting on May 10 @ 10:30 am Virtual.
- d. SPARK Session (Design Workshop) on May 11.
- e. Advisory Task Force Meeting #3 on May 11 @ 6:00 pm.

4. Other items

a. Ideas to Study



- i. Doing nothing
- ii. Urgent and Required items only
- iii. Some new and some renovation
- iv. All new construction
- v. Alternate locations?
- vi. Ask ATF what they want FEH DESIGN to study.
- vii. Space needs have to be emphasized as required.
- b. There was a discussion about Conservation and Secondary Roads sharing a building. They would have separate spaces in the same structure. There would be hoteling workstations in the Courthouse that conservation could use.
 - i. This led to a discussion about a centrally located Secondary Roads facility. The satellite shops are useful in the winter to move quickly get to all corners of the County served, but they are expensive to heat. How many shops are really needed? Kensett is the center of the County, is that the best spot to have the main shop?

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – prepare for next ATF, funding and department needs.

FEH DESIGN - update presentation

Attachments: None



Page 3 of 3



MEETING MINUTES

ISSU	JE DATE	4/29/21		
MEE	TING INFORMATION			
MEE	TING DATE	4 /21/21	MEETING TIME	6 :00pm
MEE	ETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtua Zoom Meeting
PRO	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MIN	UTES PREPARED BY	Kim Bellmann		
ATT	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
\boxtimes	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
×	See Attached Sign-in	sheet plus twelve more people	participated online.	
DIS	TRIBUTION	Core Committee & Design	team	
PUF	RPOSE	Review Process		
DIS	CUSSION			

1. Introductions

a. Kevin from FEH Design introduced the design team.

2. Advisory Task Force's role

- a. The Advisory Task Force serves as a sounding board, providing guidance, advice, and feedback to the Supervisors. Task Force members will gain knowledge of the facilities and can articulate the views of the community. They understand the Goals for Success for the County, will evaluate possible implementation options, will consider the potential cost of proposed options, and make advisory recommendations to the Supervisors.
- b. Attend 5 meetings, and participate in the SPARK workshops if available.



- 3. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. There were no questions, comments, or changes on the goals.
- 4. Review Project Scope Phase 1
 - a. County department head space needs
 - b. Space needs assessment
 - c. Facility condition assessment
 - d. Public planning facilitation
 - e. Spark Design Workshops
- 5. County department head space needs
 - Several County department heads were at the meeting and provided input on the condition of their space and the space needs.
 - b. Auditor
 - Election security is out of compliance with state requirements. This will be a problem at the next audit
 - ii. There is a lack of space for election equipment.
 - iii. A climate controlled/dry space is needed for archive storage.
 - c. Recorder
 - The south wall of the space has water coming in and the plaster & masonry wall is deteriorating behind the 1970s wood paneling.
 - ii. Heating and cooling, the boiler is past its useful life and can get very hot in the winter so windows get opened.
 - iii. More space is needed for the scanning system.
 - iv. On the exterior of the building the south sidewalk is a trip hazard.
 - d. Engineer
 - i. The building is outdated.
 - ii. The building is not ADA compliant, since stairs are needed to get to the office area.
 - Proximity and access to the Courthouse is important. Frequently have to work with other departments located in the Courthouse.
 - e. Secondary Roads
 - i. There is a lack of space for all the equipment.
 - Buildings are past their useful life expectancy. There is no insulation for the shop and breakroom.
 - f. Sheriff/Jail
 - i. The building has outlived its useful life.
 - ii. There are currently no special needs cells, and there needs to be.
 - iii. If one wall is moved everything needs to come up to code.
 - iv. There is a lack of meeting space.
 - v. All staff should be under one roof. Deputies are in a separate building now.
 - g. Conservation
 - i. The building is not ADA compliant. No public restroom.
 - ii. Shop area doesn't meet OSHA requirements for welding and wood shop.
 - h. IT/GIS
 - i. Server room is next to the boiler room; the server room uses lots of air conditioning during the winter
 - ii. The courthouse was rewired for data cabling in 2005 and needs to be done again.
 - iii. There is no separate office for GIS.



- 6. Review Space Needs Assessment
 - a. Compare existing spaces to national and state standards, and review for functionality and adjacencies.
 - b. Veterans Affairs and County Health spaces are adequate in their current spaces and will not be included in the assessment.
 - c. The space needs program will be emailed out with the meeting minutes.
 - d. The green highlighted lines on the program identify spaces that currently do not meet the need. There is significant investment required to meet the space needs. This is primarily at the jail and sheriff's spaces.
- 7. Review facility condition assessment (Building Tour to Follow Meeting)
 - a. Courthouse
 - b. Engineering Annex
 - c. Sheriff's Facilities
 - d. County Conservation
 - e. Secondary Roads
 - f. Treasurer
 - g. There is water infiltration in the Courthouse, Jail and Sheriff's Deputy buildings.
 - h. FEH DESIGN created preliminary budgets for addressing Urgent, Required, and Recommended code violations, maintenance items, and ADA violations as well as costs to meet Space Needs items through construction of additional space. The budgets were included in the presentation.
- 8. Public Spark Workshop May 11 and 13 starting at 9:00 AM until 6:00 PM in the Kensett community building.
- 9. Identify possible solution options to be studied
 - a. Do nothing
 - b. Do only urgent and required
 - c. All new facilities
 - d. Renovate some and some new
 - e. Renovate only without expanding to meet space needs
 - f. Other sites
 - g. County Conservation in Kensett at existing site
 - h. Measured approach at Secondary Roads
 - i. Renovate and new, keep historic
- 10. Identify Decision-Making Criteria
 - a. Save the Courthouse Building for historic preservation.
 - b. Effect on downtown if buildings are vacated.
 - c. Safety and accessibility.
 - d. Fundable and justifiable.
 - e. Short term funds what can be accomplished.
 - f. Long term funds what can be accomplished.
 - g. Energy efficiency and carbon footprint, reduce operating cost.
 - h. Convenience most departments on one site.
- 11. Questions
 - a. What are the 2 columns of numbers on the space needs chart?
 - i. The Existing column is the square footage of the existing spaces. The Proposed is the standard square footage of that type of space.
 - b. Are all the departments going to be in one location? There are already remote locations for secondary road equipment that could be expanded for other county services.



- i. Both options can be studied.
- Are we putting the cart before the horse? What money is available/ where is it coming from? Spend only what the County can afford.
 - i. No, this process is about determining the long-term plan. Investment needs to be made now. The Supervisors want to make sure it is spent wisely. Once the vision and priorities are defined, then the funding needs can be identified, then, the funding sources will be determined. Timeline will be determined based upon funding availability. The vision will be accomplished in phases, not all at once.
- d. Are other counties going to swallow us up? How viable is our county on standing on its own?
 - i. While there has been talk in Des Moines about County consolidation, there is no precedent for
- Why are the supervisors not at the meeting?
 - i. They are at the meeting; they are listening to the public. One was attending virtually, and one was in the room.
- People may be more open to projects when they know where the funding is coming from.
 - i. This process will identify the Vision. The projects to achieve the vision will be prioritized and budgets developed. Sequencing will be determined but timing will be dependent upon funding availability. It is not expected that this will all happen at once.
- Bridges in county need work, why is money not going toward them?
 - i. That funding comes from other sources and that infrastructure also needs to be addressed.
- 12. Review upcoming Schedule
 - a. Core Committee May 10, 10:30 AM
 - b. Onsite and Online Spark Workshop May 11, 9:00 am 6:00 pm
 - Advisory Task Force Meeting #3 May 11, 6:00 pm
 - Onsite and Online Spark Workshop May 13, 9:00 am 6:00 pm

 - Advisory Task Force Meeting #4 May 13, 6:00 pm Advisory Task Force Meeting #5 May 26, 6:00 pm Recommendations to County Leadership determined.
 - All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

FEH DESIGN – Complete condition assessment report. Assignments:

FEH DESIGN - Prepare for SPARK workshop.

ATF – Invite others to next ATF meeting and Spark Workshops.

ATF - Think of ideas they would like to have studied.

County - develop a summary of funding sources available to address infrastructure needs

Goals for Success Attachments:

Space needs program

Presentation



Page 4 of 4



Advisory Task Force Public Meeting #2 Sign-in Sheet 2021-04-21

Name	Email
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Dong Morthe	MAY OR @ Northwood IA, org
Tow Frederick-Dakin	totate water net
TOM DAYIN	10 00
Perter Ausenhus	breuge oworthbrewing.
Carry 1/2 the	
Daniel Relder	
Kru Kendon	Kris@ nwd anchor.com
Dan Gordin	de gorden d wetatelinet
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SIDUX CITY / DES MOINES / DUBUQUE / DELAFIELD



Advisory Task Force Public Meeting #2 Sign-in Sheet 2021-04-21

Name	Email
EKHORO BRUMM	
Deanna Brunsvily	
Anash Atom	
no (Freeze	-
Milesa Gom?	
M. Wills	Mark Thoma @wcTAtelacom
Mark Thoma Free Hogen	Mary moma & WCIA181, COP 1
MikeThompson	_
Erik Butter.	State butski OD chitrail
ARRIAN Delas	and the same of th
Dean Mullin	
Karry Meyer	dkmeyer@wctatel.net
Than week	
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MEETING MINUTES

ISSU	IE DATE	4/30/21			
MEETING INFORMATION					
MEE	TING DATE	4/26/21	MEETING TIME	10:30am	
MEE	TING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting	
PRO.	JECT NAME	Worth County Facilities Planning			
FEH PROJECT NUMBER		2020317			
MINUTES PREPARED BY		Kim Bellmann			
ATTENDEE NAME		ORGANIZATION	PHONE	EMAIL	
\boxtimes	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com	
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	Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org	
	Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org	
	Brian Lund	Buildings and Grounds			
	Patty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov	
\boxtimes	Colleen				
DIST	STRIBUTION Core Committee & Design team				
PURPOSE Review Process					
DISCUSSION					
Review Draft Goals for Success					
Page	Page 1 of 3 ARCHITECTURE / ENGINEERING / INTERIORS				



- a. Kevin read through the draft goals, there were no comments or changes at this time.
- 2. Public Engagement, Advisory Task Force
 - a. Discuss reactions to ATF meeting #2
 - i. Financing seems to be a big issue, also the county shed (Secondary Roads).
 - ii. The price tag is needed before financing is determined.
 - iii. There are no funds set aside in the current budget for these projects.
 - iv. The plan that will be developed is a long-term plan and that needs to be stressed to the public.It was mentioned that the Courthouse should be in phase 1; we will have to see what the public thinks should be in phase 1.
 - v. List of potential funding sources? Most likely the funding will be TIF (windmills will pay for the Courthouse). Most of the public doesn't know what TIF is, can it be simplified and explained at the public meeting?
 - vi. The public wants to know why are the buildings in the condition they are in, because major maintenance has been deferred.
 - vii. A plan is needed for what this will cost.
 - b. Marketing to a larger group to get more participation.
 - i. Advertising, paper, radio
 - Social Media will probably be the best. FEH will draft Facebook posts and then the County will need to share. The local newspaper will run the press release.
 - ii. Provide food or snacks May 11, 13 and/or May 26? This will need to be reviewed regarding what can legally be provided.
 - iii. Press release has been sent for review.
 - iv. There were some with issues with the location for the last meeting. The heat/heater noise shouldn't be an issue at the next meetings. Just need to have the heat turned on in advance.
 - v. Zoom polling will need to be created. Last meeting virtual attendees couldn't vote.

3. Funding sources summary

- a. Create a list of funding sources that might be available depending upon what the prioritized projects are.
 - i. County General fund balance
 - ii. County Maintenance Budget
 - iii. State of Iowa regional Court office
 - iv. Casino Grant
 - v. Property sale
 - vi. Historic Preservation grants
 - vii. Safety technology grants
 - viii. Law enforcement grants equipment
 - ix. Every \$20,000 here or there will add up.

4. Review Schedule

- a. Core Committee Meeting on May 10 @ 10:30 am Virtual.
- b. SPARK Session (Design Workshop) on May 11.
- c. Advisory Task Force Meeting #3 on May 11 @ 6:00 pm.

5. Other items

Page 2 of 3

- a. Ideas to Study
 - i. Doing nothing, this is already happening and can't continue.





- ii. Where do courthouse departments go during construction? Possible temporary locations will depend on the budget and access by the public. The technology infrastructure will be difficult and expensive to move multiple times.
- iii. Create different scenarios with cost.
- b. Should we bring in the inspectors to emphasize the needs?
- c. It is hard to get a good tuckpointing contractor who isn't booked way out.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – prepare for SPARK Workshop, advertise, review press release, share on social media.

 $\label{eq:FEHDESIGN-prepare} \textbf{FEHDESIGN-prepare for SPARK Workshop}, \textbf{create Facebook posts}.$

Attachments: Non

Page 3 of 3





MEETING MINUTES

ISSUE D	ATE	5/19/21 - revised		
MEETING	SINFORMATION			
MEETING	G DATE	5/10/21	MEETING TIME	10:30am
MEETING	G NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT	TNAME	Worth County Facilities Plan	nning	
FEH PRO	JECT NUMBER	2020317		
MINUTES	S PREPARED BY	Kim Bellmann		
ATTEND	EE NAME	ORGANIZATION	PHONE	EMAIL
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⊠ Ch	risty Monk	FEH Design	563-583-4900	christym@fehdesign.com
⊠ Kir	m Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
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□ Bri	ian Lund	Buildings and Grounds		
🛛 Pa	itty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov
□ Co	olleen			
⊠ Kri	is Kenison	News Paper		
⊠ Jud	dy Stevens			
DISTRIB	UTION	Core Committee & Design to	eam	
PURPOS	SE	Review Process		
DISCUS	SION			
Page 1 of	. 2		ARCHITEC	TURE / ENGINEERING / INTERI
age I UI	-		ANCIIIIEC	. ONL / LHOIMLLINING / INTERT



- 1. Public Engagement, Advisory Task Force (ATF) and SPARK sessions
 - a. Preparation for SPARK
 - i. FEH DESIGN & County to send email to ATF include Zoom info.
 - ii. All day zoom meeting for SPARK so the public can join virtually.
 - iii. It will be important to create more awareness that the process is taking place. FEH DESIGN will create a Facebook post and send it out. Please share it on Facebook.
 - iv. Need microphones and screen for evening meeting.
 - v. The Spark website is up and has the site aerials. The concept diagram images will be added today.
 - vi. The drawings created during the workshop will be taped up on the back wall, tables will be needed for comment sheets and for FEH architects to draw on.
 - vii. FEH DESIGN team members will arrive about 8:45 am to set up.
 - viii. Cost estimate template will be used Thursday to create budgets for some of the top concepts.
 - b. Tours of the Courthouse?
 - i. The Courthouse is open all day, not at night, staff can give tours to anyone who asks for a tour.
 - c. Will anybody from the County be there all day?
 - i. It can be done in shifts, important for someone to be there at all times.
 - ii. Supervisors should at least stop by. They should sign in so that participants can see that they were there.

2. Review Schedule

- a. SPARK Session (Design Workshop) on May 11 9:00 6:00 PM.
- b. Advisory Task Force Meeting #3 on May 11 @ 6:00 pm.
- c. SPARK Session (Design Workshop) on May 13 9:00 6:00 PM.
- d. Advisory Task Force Meeting #4 on May 13 @ 6:00 pm.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – prepare for SPARK Workshop, advertise, review press release, share on social media.

FEH DESIGN – prepare for SPARK Workshop, create Facebook posts.

Attachments: None



MEETING MINUTES

ISSUE DATE		5/25/21			
MEE	TING INFORMATION				
MEE	TING DATE	5/11/21	MEETING TIME	6 :00pm	
MEETING NAME		Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting	
PRO.	JECT NAME	Worth County Facilities Plan	ning		
FEH	PROJECT NUMBER	2020317			
MINI	JTES PREPARED BY	Kim Bellmann			
ATTI	ENDEE NAME	ORGANIZATION	PHONE	EMAIL	
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	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org	
☑ See Attached Sign-in sheet plus twelve more people participated online.					
DISTRIBUTION		Core Committee & Design te	am		
PURPOSE		Review Process			
DISCUSSION					

- 1. Introductions
 - a. Kevin from FEH Design introduced the design team.
- 2. Goals for Success the goals were read aloud.
- 3. Review the concepts created during SPARK workshop.
 - a. Options can be viewed at fehdesignsparks.com
 - b. Comments can be entered at the bottom of the website.
- 4. Questions and Comments.
 - a. At the Recycling Center site, the County doesn't own east of the fence line.

Page **1** of **2**

ARCHITECTURE / ENGINEERING / INTERIORS





- b. The Treasurer's office should be on the main floor since it is frequently visited.
- c. Will the character of the interior match the exterior when remodeled?
 - i. It can have whatever character the County would like to see.
- d. Where is the money going to come from?
 - i. There is TIF money available.
- e. We are asking the public: what is your priority? This is a long-term plan.
- f. Where is the priority for safety and health?
 - The condition assessment identified these items, and each concept addresses safety and health.
- g. Changes in the code are mandating the changes required.
- h. Option L shows that a new building could be built before the old courthouse is demolished.
- i. Option H doesn't have good connection from Jail to Courts. The Jail should not look at courtyard.
- j. Option K.1' would the Treasurer have a separate entrance?
 - i. No, there is a common lobby.
- k. It was suggested to add relocation costs during construction into the budget.
- Most County offices need to stay in the county seat. Some of the concepts look at how can we do this in a sequential manner. Hopefully departments don't need to move more than once.
- 5. Voting with dots
 - a. Vote for your 1st, 2nd and 3rd favorite options.
 - b. Votes will tell us what to study on Thursday.
- 6. Review upcoming Schedule
 - Advisory Task Force Meeting #5 May 26, 6:00 pm Determine Recommendations to County Leadership.
 - b. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH DESIGN – Complete condition assessment report.

FEH DESIGN - Prepare for SPARK workshop.

Attachments: Goals for Success



MEETING MINUTES

ISSU	JE DATE	5/18/21		
MEE	TING INFORMATION			
MEE	TING DATE	5 /13/21	MEETING TIME	6 :00pm
MEETING NAME		Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting
PRO	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MIN	UTES PREPARED BY	Kim Bellmann		
ATT	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
\boxtimes	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
\boxtimes	Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
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\boxtimes	Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
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\boxtimes	Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
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	Mark Tomlinson	Emergency Mgt Services	641-324-1535	ema@worthcounty.org
	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
☐ See Attached Sign-in sheet plus twelve more people participated online.				
DIS	TRIBUTION	Core Committee & Design t	eam	
PUF	RPOSE	Review Process		
DISCUSSION				

- 1. Introductions
 - a. Kevin from FEH Design introduced the design team.
- 2. Goals for Success the goals were read aloud.
- ${\it 3.} \quad {\it Review the concepts created on Tuesday and Thursday during SPARK workshop.}$
 - a. Options can be viewed at fehdesignsparks.com
 - b. Comments can be entered at the bottom of the website.
- 4. Questions and Comments.



Page 1 of 3



- a. The Kensett Community Center site is not currently owned by the County, it is owned by the village of Kensett.
- b. Will any remodeling of the Courthouse address accessibility?
 - i. Yes, accessibility is a required item. And courthouse updates would include this.
- c. Some of the plans don't match the criteria.
 - i. The plans will be scored against the criteria to see if they are a good fit.
- d. Can the Courthouse be separated from conservation and secondary roads?
 - Yes, they are not currently part of the Courthouse and can function independently as they currently do.
- e. Who needs to be at the Courthouse?
 - i. The admin departments, the engineer, the courts and maybe the sheriff and jail.
- f. Can the building be moved to different sites?
 - Yes, most of the administrative departments must stay in the county seat, Northwood, but other sites could be identified for other departments.
- g. The project will be a phased approach.
- h. How does the Treasurer feel about the project?
 - i. He was not at the meeting to respond.
- i. Could secondary roads be at Kensett Community Center site?
 - i. That option will be evaluated before the next meeting.
- j. If the jail is at Kensett, inmate transfers would be required.
- k. What is the best location for the jail and sheriff?
 - i. Dan stated either could work, the jail just needs to meet code and have all staff under one roof.
- I. Can the conservation shop and roads shop be shared?
 - i. Some equipment could be shared.
- m. Disaster recovery the computer backup is in Des Moines. If the sheriff is in Kensett, the backup could be there. The backup must be so many miles outside of Northwood. This could save money every year.
- Some of the designs have small and winding corridors. There should be a welcoming design with clear direction.
- o. To achieve the 'Plan for Growth', it might not be possible with a one-story building.
- p. More parking should be provided; the current number of parking spaces should be expanded.
- q. The new should reflect the old.
- Some departments have more interaction with the public than others and should be the most easily accessed.
- s. Insurance, sewage, and fire protection availability should be considered when selecting a site.
 - i. The design can look at sprinklers and non-combustible materials.
- t. How likely is it that we get an ambulance service?
 - i. Most likely it will be on the election ballot this fall.
- u. What would be the benefit to connect to the existing community center?
 - i. Shared meeting room space.
- v. The veterans' monument and cannon in the southwest corner need to be addressed.
- w. Cost opinions were developed for 8 of the concepts on the back wall.
- 5. Review upcoming Schedule
 - Advisory Task Force Meeting #5 May 26, 6:00 pm Recommendations to County Leadership determined.
 - b. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Page 2 of 3 ARCHITECTURE / ENGINEERING / INTERIOR:



Assignments: FEH DESIGN – Complete condition assessment report.

FEH DESIGN - Prepare for SPARK workshop.

Attachments: Goals for Success

FEH DESIGN

Page ${\bf 3}$ of ${\bf 3}$



MEETING MINUTES

ISSUE DATE	6/1/21	~	
MEETING INFORMAT	ION		
MEETING DATE	5/24/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities P	lanning	
FEH PROJECT NUME	ER 2020317		
MINUTES PREPARE	OBY Kim Bellmann		
ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
	FEH Design	563-583-4900	kevine@fehdesign.com
☑ Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
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☑ Michael Gehl	FEH Design	563-583-4900	michaelg@fehdesign.com
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	Supervisor	641-430-1410	aj.stone@worthcounty.org
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☑ Jacki Backhau	s Auditor	641-324-2316	auditor@worthcounty.org
☑ Dan Fank	Sheriff	641-324-2481	dfank@worthcounty.org
	Recorder	641-324-2734	teresa.olson@worthcounty.org
☑ Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
Mark Tomlinso	n Emergency Mgt Services	641-324-1535	ema@worthcounty.org
□ Scott Hand	Clerk of Court	641-529-0388	scott.hand@iowacourts.gov
	Treasurer	641-324-2942	jacob.hanson@worthcounty.org
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☐ Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
☐ Jessica Reyers	son Nurses	641-324-1741	jessica.reyerson@worthcounty.org
☐ Brian Lund	Buildings and Grounds		
☑ Patty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov
	News Paper		
⊠ Amyli			
DISTRIBUTION	Core Committee & Design	n team	
PURPOSE	Review Process		
DISCUSSION			
Page 1 of 2		ARCHITEC	TURE / ENGINEERING / INTER





- 1. Review summary outcome
 - a. Budget Opinions have been broken down by category.
 - i. Courthouse Admin and Courts
 - ii. Courthouse Admin, Courts, Sheriff and Jail
 - iii. Sheriff and Jail
 - iv. County Roads Facility
 - v. County Roads and Engineering
 - vi. County Roads and Conservation
 - vii. County Conservation.
 - b. Options O, P and Q were created after the SPARK session based upon meeting input.
 - c. When do we talk about interior spaces confirming square footage? More flexibility is needed now that we are seeing the space layouts.
 - i. FEH can meet individually with the departments then back to the group.
 - ii. It was suggested that each department be the same size.
 - iii. Auditor
 - 1. 2 enclosed offices at 120 sq ft.
 - 2. Voting location and election storage.
 - iv. Assessor space is adequate.
 - v. Treasurer
 - DOT needs a small conference room or office; the conference room needs to be available at all times.
 - 2. 4 workstations
 - 3. 3 testing computers
 - 4. Sitting area by newspapers, newspapers don't need to be secure.
 - vi. County Attorney leave as is.
 - vii. Condo Space 1 or 2 office spaces.
 - viii. Clerk
 - 1. More storage, everything in one area.
 - 2. Digitizing future documents, not existing.
 - ix. Jail only need 1 exercise room.
 - d. Criteria Chart
 - i. The number of options needs to be narrowed down.
 - ii. Get recommendation from ATF on Wednesday.
 - iii. There will be more operational costs for having separate Jail, including transportation cost.
 - iv. Radio tower and generator needs to be located on site.
 - v. Timing how soon? $1 1\frac{1}{2}$ years for construction to start.
- 2. Review Schedule
 - a. Advisory Task Force Meeting #5 on May 26 @ 6:00 pm.
 - b. Core Committee June 7 10:30 AM via Zoom

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – Attend upcoming ATF Meeting

FEH DESIGN - Finish booklet

Attachments: Draft Budget Options

Page 2 of 2



MEETING MINUTES

ISSI	UE DATE	6/1/21		
MEE	TING INFORMATION			
MEE	ETING DATE	5 /26/21	MEETING TIME	6 :00pm
MEETING NAME		Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtua Zoom Meeting
PRC	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MIN	UTES PREPARED BY	Kim Bellmann		
АТТ	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
×	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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×	Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
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\boxtimes	Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
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\boxtimes	Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
	Mark Tomlinson	Emergency Mgt Services	641-324-1535	ema@worthcounty.org
	Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
	See Attached Sign-in	sheet plus 4 more people part	cipated online.	
DIS	TRIBUTION	Core Committee & Design	team	
PURPOSE		Review Process		
DIS	CUSSION			

- 1. Introductions
 - a. Kevin from FEH Design introduced the design team.
- 2. Goals for Success the goals were read aloud.
- 3. Members of the public provided comments:
 - a. The Kensett Community Center should not change and remain a city meeting and gathering space. The area south of the city shed could be available to build. The freedom rock and bus stop for kids should remain.

Page 1 of 3 ARCHITECTURE / ENGINEERING / INTERIORS



- b. Significant work has been done to preserve Main Street in Northwood, which brings business and tourism. The historic courthouse needs to remain it would be sacrilegious to remove it. I don't care if my taxes go up to save the building. I can't imagine Main Street without it.
- c. The plans drawn had no consideration for neighbors and property access. No survey was done to see where the actual property lines are, Beacon was used and that is not accurate. Secondary roads should go out by the recycling center. It was noted that Beacon is a representation of legal description, not the legal property lines.
- 4. The space needs program was updated based on input from County staff.
- 5. Concept drawings were reviewed.
 - a. Options can be viewed at fehdesignsparks.com
 - b. Comments can be entered at the bottom of the website.
 - c. The following comments and questions were brought up during the meeting.
 - The budget summaries are based on cost per square foot and known soft costs, it is not just the construction cost. An inflation factor of 3% was included in the cost based on the last 12 months
 - ii. A site survey of each property would be done before any project begins.
 - iii. A cost was not created for option B, it was not a popular option.
 - iv. What kind of building would the new secondary roads be? It was budgeted as precast concrete wall panels with a low slope metal roof.
 - v. The secondary roads buildings should move out of their current location in Northwood.
 - There is a preference to move Roads and extend street to grow Northwood's community.
 - vi. Years ago, it was looked at to move conservation to the recycling center site. There is concern that not all residents look to the future.
 - vii. What is the conservation building materials? Brick, metal studs, and asphalt roof.
 - viii. For the recycling center site, the property east of the fence would need to be purchased at current market value and the land slopes to the pond. The cost of extending the built area to the east may be offset by the cost of encroaching on wetlands and working with the State. It may not be feasible to build east of the fence line.
 - ix. Could the property owner to the south be contacted?
 - x. In option I the building is located on the city well. The design team was not aware of this when the drawings were created, and the building would be moved accordingly.
 - xi. In option L would the courthouse and jail have to vacate during construction? No.
 - xii. Concepts that require renting space, \$10/SF/year has been factored into the budget.
 - xiii. Don't like parking in front of the courthouse on the square.
 - xiv. Could the County consider adding angled parking on all sides of the square? Yes, that could be considered.
 - xv. It was questioned whether an option for the sheriff at the recycling center could be considered. This would be similar to the cost to build the sheriff in Kensett with additional utility costs.
 - xvi. If the jail were located in Kensett, it would be centrally located, but the sewer system may be inadequate. An ambulance service may be considered in conjunction with the jail and sheriff in Kensett.
 - d. Based on the criteria determined at ATF #2 a criteria chart was created. After all the options were created, the design team filled the criteria chart, scoring each option.

Page 2 of 3



- 6. The meeting participants were asked to rank what departments were their priority, and to choose what design option was their favorite.
 - a. Results of the input will be on the website and added to the booklet that FEH is creating.
 - b. The information will go to the supervisors as a recommendation.
 - c. A community survey will be sent out, please encourage others to respond.
- 7. Questions and Comments.
 - a. At one of the last meetings, it was stated that there could potentially be \$10 million through TIF funding without tax increases.
 - b. The supervisors want to make sure they are making an investment that the county residents support.
 - Location of sheriff department should not affect response time like the location of a fire department would.
 - d. If there is a structure build at Kensett is there access to emergency services?
 - e. Moving inmates wouldn't have to happen all the time since virtual courts can be used.
 - f. It is nice to drive up to the front door of the Treasurer's office and not have to walk through a big building. Easy access to admin offices.
 - g. Is the courthouse worth saving? The building is structurally sound, remodeled 50 years ago, most of the building would need to be gutted to renovate and accommodate technology.
 - h. Are there higher labor costs than material costs in renovation?
- 8. Review upcoming Schedule
 - a. Community survey forthcoming.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH DESIGN – Complete condition assessment report.

FEH DESIGN - create community survey.

Attachments: Goals for Success, Budget Chart, Criteria Chart





MEETING MINUTES

ISSU	JE DATE	6/18/21		
MEE	TING INFORMATION			
MEE	TING DATE	6/14/21	MEETING TIME	10:30am
MEE	TING NAME	Worth County Facilities Planning	MEETING LOCATION	Worth County Courthouse and Virtual Zoom Meeting
PRO.	JECT NAME	Worth County Facilities Pla	nning	
FEH	PROJECT NUMBER	2020317		
MINI	UTES PREPARED BY	Kim Bellmann		
ATTI	ENDEE NAME	ORGANIZATION	PHONE	EMAIL
\boxtimes	Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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	Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
	Brian Lund	Buildings and Grounds		
X	Patty Irons	Clerk of Court	641-324-2840	patty.irons@iowacourts.gov
×	Kris Kenison	Newspaper		
DIST	RIBUTION	Core Committee & Design t	eam	
PUR	POSE	Review Process		
DISC	CUSSION			

^{1.} The Goals for Success were reviewed.

Page 1 of 2 ARCHITECTURE / ENGINEERING / INTERIORS





- 2. Review Recommendations (attached)
 - a. Review FEH Recommendation
 - i. The FEH recommendation aligns with the Supervisors.
 - 1. Work on the Courthouse was a priority.
 - b. Review ATF Recommendation
 - i. Sheriff and Jail ranked the highest.
 - c. It was asked how do you mitigate water issues when connecting a new building to the existing courthouse?
 - Expansion joints/ flexible flashing, the new building would be allowed to move with flexible materials
 - d. Structural analysis needs to be done. The current water issues are not necessarily structural issues.
 - e. A geotechnical survey will also be needed. There is sandy soil with clay in the area.
- 3. Draft Book Review
 - a. The Core Committee notes are to be included in the book.
- 4. Review draft survey questions (attached)
 - a. The survey is to be ready for the Fair this weekend.
 - b. The survey is to be electronic and hardcopy. The hardcopies can be sent to FEH to be manually entered. Jacki will serve as the primary contact for sending hard copy surveys.
 - c. A question about having the county administrative departments under one roof is to be added.
 - d. The survey should be out for at least 30 days.
 - e. The County will print postcards that can be handed out at the fair with the web address for the survey and the FEH Design Sparks website so people can see the options.
 - f. The target number of survey responses is 250.
 - g. With any county structure, if there are more to maintain, this will need more staff. The projected employee growth for the departments is something that the department heads will be working on.
- 5. Other Items
 - a. FEH is to issue a geotechnical RFP.
- 6. Next Meeting Review survey results

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – Distribute survey

FEH DESIGN - Finish booklet

FEH DESIGN - Finish survey and send to County

FEH DESIGN – Issue geotechnical RFP

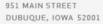
Attachments: Recommendations, draft survey questions

FEH DESIGN recommendation following the Advisory Task Force meeting, but prior to a community-wide survey.

- Complete a community-wide survey to inform the county taxpayers of the facility needs, funding availability, and public planning process to date. Also, to gather input regarding the priorities and level of support for investment.
- 2. It is our opinion that a new courts, jail, and administrative County Courthouse facility should be constructed on the same site as the existing courthouse. A masterplan for the structure should be developed with a sequenced, logical approach through Schematic Design. The expansion and renovation should be accomplished in a phased manner to align with funding support and availability. If possible, the sequences should only require the departments to move once, into their final space. The sequences should not require the rental of other space for a long period of time. The jail facility should be replaced with a new structure. The existing one-story additions should be removed once the new sheriff, jail, and clerk areas are completed. New floor levels should align with the existing courthouse floor levels. The grade elevations should be raised to allow for ADA access into the main floor level. The existing, original, multi-story structure should be fully renovated as a final phase. The departments not currently housed inside the courthouse should be the last departments to move into the courthouse, which would include, Treasurer, Attorney, & Engineer. Parking should only be provided at the perimeter of the block, not within the block. Green yard space, especially at the South, should be maximized.
- 3. The County Roads department has facilities in Joice, Fertile, Manly, Kensett, and Northwood. Except for the almost 20-year-old structures at Kensett, all these structures are over 70 years old. The Northwood structures are located within a residential area with one structure possibly located in a city street right-of-way. These structures should be replaced to improve the maintenance garage and to provide better protection of the equipment investment and extend the life of County vehicles, materials, and equipment. A long-range plan should be developed to replace facilities over several years so that the cost of repairs and replacement of newer facilities can be spread across decades. Possible next steps would be to replace The Northwood facility out of town and/or to combine and replace the Fertile and Joice facilities with a new complex.
- 4. The County Conservation facility should be replaced. It would be logical to locate the new facility on the campus of other County facilities. The Campus near Kensett, with the Conversation storage structure already on it, makes sense as a possible location.



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Recommendation from the Advisory Task Force

During the final meeting of the Advisory Task Force, participants were asked to rank the prioritization of the County facility needs. The six facilities studied were ranked from 1 – 6 with 1 as the highest priority. 27 attendees prioritized projects in the order they would like to see the needs addressed.

The Sheriff and Jail space ranked the highest, 1.81 (average score). Administration spaces (treasurer, assessor, auditor, IT, GIS, Recorder, & Supervisors) ranked second, 2.44. Judicial ranked third, 3.52. County Conservation ranked a solid fourth at 4.00. Engineering & Maintenance ranked fifth, 4.41. The Northwood County Roads facility ranked sixth, 4.70.

In addition to the prioritization, we asked for participants to provide their preferred design options.

The top design options identified were:

- K/K.1 7 as top choice. Expand on courthouse site with jail, judicial, admin, engineering.
- H 1 as top choice. Expand on courthouse site with new jail, judicial, admin, engineering.
- Q 1 as top choice. Expand on courthouse site with new jail, judicial, admin, engineering.
- 12 of the respondents made specific comments to keep the courthouse.
- I/I.1 7 as top choice to move sheriff & jail to the Kensett Community Center site.
- D/D.1 6 move County Conservation to the Recycling/Conservation campus NE of Kensett.
- E.2, E.3 4 as top choice. Replace Northwood County Roads at Kensett Recycle center site.
- P 3 as top choice. Replace Northwood County Roads at Kensett Community Center.

Other design options that received at least one vote were:

- J 1 as top choice. Build new courthouse on existing site, remove old courthouse.
- L/L.1 1 as top choice. Remove courthouse and build new jail, judicial, admin, engineering.
- M 1 as top choice. Build new County Roads facility at Northwood.



951 MAIN STREET DUBUQUE, IOWA 52001

Survey Questions

- Are you aware that Worth County has recently completed a study of many of its facilities
 to identify building code violations, maintenance needs, ADA non-compliance, and State
 of lowa Code violations? Correcting the issues identified requires an investment of over
 \$8,000,000 across several buildings.
- 2. There will be funding available through Tax Increment Financing projects to address many of the facility needs. The County Supervisors have asked County residents to provide public input on the long-term vision for County facilities with a goal of making wise investments. Are you aware that a public Advisory Task Force (ATF), made up of over fifty volunteers, has participated in public meetings and two full days of design workshops to provide guidance and prioritize facility needs?
- 3. Did you or a family member participate in any of the Public Advisory Task Force (ATF) meetings or workshops?
- 4. Do you or a family member work for Worth County?
- 5. Do you agree with the ATF prioritizations and recommendations that the Sheriff and Jail facility expansion to meet Iowa Code should be the top priority for County building projects?
- 6. Do you think the County Sheriff & Jail should remain connected to or close to the County Courthouse?
- 7. Do you agree with the majority of the ATF participants who support renovating and expanding the existing courthouse building instead of deconstructing it and building a new Courthouse?
- 8. Do you agree with constructing a new County Conservation building on a different site?
- 9. The County Roads Department has facilities in Northwood, Kensett, Manly, Joice, and Fertile. Except for the Kensett Facility, all other structures are over 70 years old and beyond their expected life. Do you support replacing the County Roads facility in Northwood with a new facility in a different location outside of town?
- 10. While there is funding that will be available for some of the facility investments required, additional funding may be needed. Would you support a voter referendum that would increase property taxes? If so, at what level might you support annually?



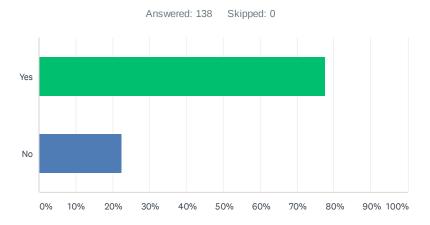
FEHDESIGN.COM





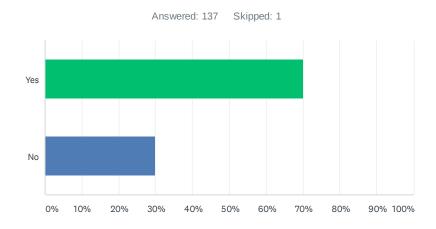
Q1 Are you aware that Worth County has recently completed a study of many of its facilities to identify building code violations, maintenance needs, ADA non-compliance, and State of Iowa Code violations?

Correcting the issues identified requires an investment of over \$8,000,000 across several buildings.



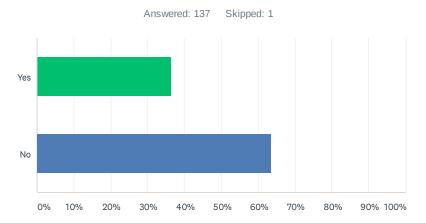
ANSWER CHOICES	RESPONSES	
Yes	77.54%	107
No	22.46%	31
TOTAL		138

Q2 There will be funding available through Tax Increment Financing projects to address many of the facility needs. The County Supervisors have asked County residents to provide public input on the long-term vision for County facilities with a goal of making wise investments. Are you aware that a public Advisory Task Force (ATF), made up of over fifty volunteers, has participated in public meetings and two full days of design workshops to provide guidance and prioritize facility needs? Ideas can be found at FEHDESIGNSPARKS.COM



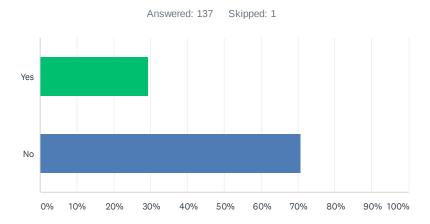
ANSWER CHOICES	RESPONSES	
Yes	70.07%	96
No	29.93%	41
TOTAL		137

Q3 Did you or a family member participate in any of the Public Advisory Task Force (ATF) meetings or workshops?



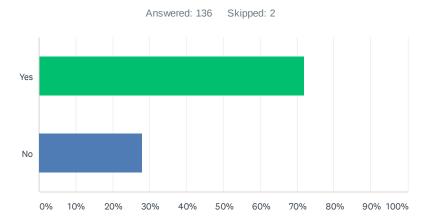
ANSWER CHOICES	RESPONSES	
Yes	36.50%	0
No	63.50%	7
TOTAL	13	7

Q4 Do you or a family member work for Worth County?



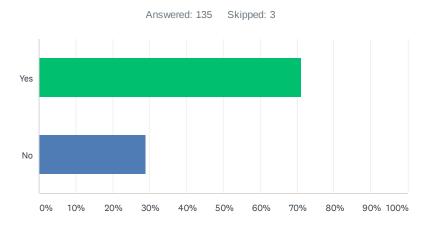
ANSWER CHOICES	RESPONSES	
Yes	29.20%	40
No	70.80%	97
TOTAL		137

Q5 Do you agree with the ATF prioritizations and recommendations that the Sheriff and Jail facility expansion to meet Iowa Code should be the top priority for County building projects?



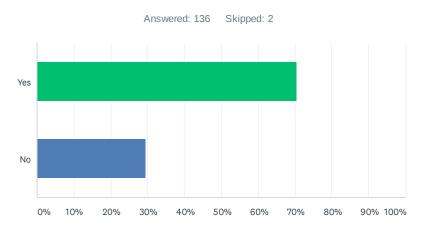
ANSWER CHOICES	RESPONSES	
Yes	72.06%	98
No	27.94%	38
TOTAL	1	136

Q6 Do you think the County Sheriff & Jail should remain connected to or close to the County Courthouse?



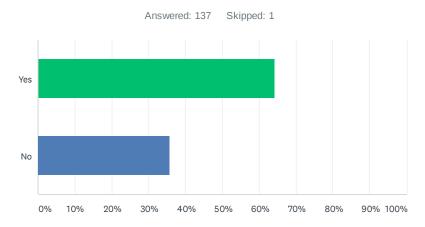
ANSWER CHOICES	RESPONSES	
Yes	71.11%	96
No	28.89%	39
TOTAL		135

Q7 Do you agree with the majority of the ATF participants who support renovating and expanding the existing courthouse building instead of deconstructing it and building a new Courthouse, assuming the construction cost is the same?



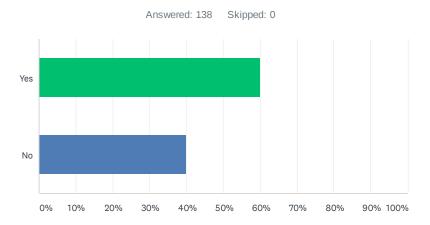
ANSWER CHOICES	RESPONSES	
Yes	70.59%	96
No	29.41%	40
TOTAL	13	36

Q8 Do you support centralizing the county departments into one building to save operating costs and improve convenience?



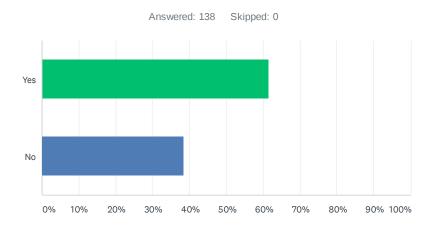
ANSWER CHOICES	RESPONSES	
Yes	64.23%	88
No	35.77%	49
TOTAL		137

Q9 Do you agree with constructing a new County Conservation building on a different site?



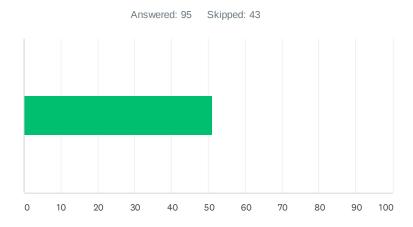
ANSWER CHOICES	RESPONSES	
Yes	60.14%	83
No	39.86%	55
TOTAL		138

Q10 The County Roads Department has facilities in Northwood, Kensett, Manly, Joice, and Fertile. Except for the Kensett Facility, all other structures are over 70 years old and beyond their expected life. Do you support replacing the County Roads facility in Northwood with a new facility in a different location outside of town?



ANSWER CHOICES	RESPONSES	
Yes	61.59%	85
No	38.41%	53
TOTAL		138

Q11 While there is funding that will be available for some of the facility investments required, additional funding may be needed. Would you support a voter referendum that would increase property taxes? If so, at what level might you support annually? Dollars are yearly per \$100,000 of assessed value. (If your answer is no leave the slider at 0.)



ANSWER CHOICES		AVERAGE NUMBER		TOTAL NUMBER		RESPONSES	
			51		4,850		95
Total Re	espondents: 95						
#						DATE	
1	8					7/28/2021 10:28 PM	
2	198					7/25/2021 6:35 AM	
3	16					7/24/2021 5:13 PM	
4	25					7/23/2021 3:15 PM	
5	15					7/23/2021 12:03 PM	
6	100					7/23/2021 10:49 AM	
7	53					7/23/2021 10:37 AM	
8	25					7/23/2021 10:17 AM	
9	200					7/23/2021 10:06 AM	
10	0					7/22/2021 3:49 PM	
11	1					7/22/2021 12:42 PM	
12	75					7/22/2021 11:34 AM	
13	0					7/22/2021 9:35 AM	
14	50					7/22/2021 7:21 AM	
15	100					7/21/2021 12:16 PM	
16	28					7/21/2021 10:18 AM	

11 / 14

17	20	7/21/2021 10:10 AM
18	160	7/21/2021 9:42 AM
19	101	7/9/2021 10:52 PM
20	0	7/9/2021 9:56 PM
21	0	7/9/2021 6:08 PM
22	25	7/9/2021 4:33 PM
23	0	7/9/2021 4:21 PM
24	50	7/9/2021 3:53 PM
25	0	7/7/2021 10:30 PM
26	100	6/29/2021 1:51 PM
27	132	6/28/2021 2:19 PM
28	105	6/28/2021 9:21 AM
29	175	6/28/2021 9:20 AM
30	50	6/28/2021 9:19 AM
31	50	6/28/2021 9:18 AM
32	70	6/28/2021 9:17 AM
33	20	6/28/2021 9:15 AM
34	30	6/28/2021 9:14 AM
35	100	6/28/2021 9:13 AM
36	100	6/28/2021 9:11 AM
37	100	6/28/2021 9:10 AM
38	30	6/28/2021 9:09 AM
39	50	6/28/2021 9:06 AM
40	100	6/28/2021 9:05 AM
41	100	6/28/2021 9:04 AM
42	100	6/28/2021 9:03 AM
43	200	6/28/2021 9:02 AM
44	70	6/26/2021 7:38 AM
45	99	6/25/2021 6:25 PM
46	0	6/25/2021 12:16 PM
47	3	6/24/2021 8:16 PM
48	30	6/24/2021 3:00 PM
49	0	6/23/2021 5:47 PM
50	14	6/23/2021 1:42 PM
51	1	6/23/2021 12:25 PM
52	0	6/23/2021 9:11 AM
53	1	6/22/2021 10:36 AM
54	15	6/21/2021 5:21 PM



55	0	6/20/2021 10:41 AM
56	0	6/20/2021 10:41 AW
57	3	6/20/2021 10:40 AW
	52	
58		6/19/2021 8:46 AM
59	4	6/18/2021 11:28 PM
60	104	6/18/2021 9:03 PM
61	54	6/18/2021 6:56 PM
62	0	6/18/2021 5:34 PM
63	25	6/18/2021 3:54 PM
64	1	6/18/2021 2:49 PM
65	0	6/18/2021 12:56 PM
66	0	6/18/2021 8:19 AM
67	100	6/18/2021 7:00 AM
68	25	6/17/2021 10:35 PM
69	0	6/17/2021 9:43 PM
70	0	6/17/2021 9:28 PM
71	50	6/17/2021 11:44 AM
72	30	6/17/2021 11:29 AM
73	200	6/17/2021 9:45 AM
74	200	6/17/2021 8:28 AM
75	100	6/16/2021 11:35 PM
76	0	6/16/2021 6:06 PM
77	11	6/16/2021 12:28 PM
78	0	6/16/2021 12:09 PM
79	50	6/16/2021 11:51 AM
80	67	6/16/2021 9:05 AM
81	100	6/16/2021 7:24 AM
82	106	6/16/2021 6:07 AM
83	5	6/15/2021 10:01 PM
84	50	6/15/2021 9:42 PM
85	100	6/15/2021 8:13 PM
36	0	6/15/2021 4:14 PM
87	30	6/15/2021 4:12 PM
88	40	6/15/2021 4:09 PM
89	8	6/15/2021 3:37 PM
90	0	6/15/2021 3:08 PM
91	50	6/15/2021 2:47 PM
92	25	6/15/2021 2:32 PM

13 / 14

93	50	6/15/2021 2:29 PM
94	100	6/15/2021 2:29 PM
95	15	6/15/2021 1:54 PM