

[illegible]

WORTH
COUNTY

Hand-drawn site plan of the existing courthouse complex. The plan shows a central 'EXISTING COURTHOUSE' building surrounded by a parking lot and green space. To the north and east are various office buildings labeled with functions: SHERIFF, JAIL, SUPERVISOR, ASSESSOR, TREASURER, RECORDER, CLERK, and LOBBY. The plan also shows a 'NEW' building to the west and a 'STREET' to the south.

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/ EXECUTIVE SUMMARY

FEH DESIGN was retained by the Worth County Board of Supervisors to conduct facilities planning for Worth County. The purpose of the study was to look at the present and future physical, financial, and organizational conditions of County facilities.

The needs of the County were determined by how it was used by citizens, employees, prisoners, and other visitors. Conducting a comprehensive study of the organizational structure of the County give clarity to the processes that would highlight any redundancies or oversights. The assessment determined the condition in which the County facilities currently function. Facilities were comprehensively studied through the lens of current and future needs. This was critical in determining the physical space needs and requirements which are necessary for the County departments to continue to function in the present and into the future. The safety and security of the public, staff, and prisoners are paramount, and that factor served as a guiding principle for all aspects of the planning process.

The facility planning tasks are as follows:

- Space needs assessment
- Facility condition assessment
- Public planning facilitation
- Spark Session (Design Workshop) to engage the public
- Develop capital budget opinions for the top-prioritized solution
- Community-wide survey

SPACE NEEDS ASSESSMENT

Space needs were evaluated for the following County Departments:

- Sheriff
- Jail
- Clerk of Court
- Courtrooms
- Assessor
- Attorney
- Auditor
- Board of Supervisors
- Recorder
- Treasurer
- IT/GIS
- Conservation
- Emergency Management Services
- Engineer
- Secondary Roads

The space needs were a result of a previous, outdated study and interviews with each department head to discuss present and future spaces.

FACILITY CONDITION ASSESSMENT

An evaluation of the following County buildings was conducted:

- Sheriff's Department and Jail
- Sheriff's Deputies
- County Courthouse
- County Engineering
- County Treasurer
- County Conservation
- Secondary Roads

The condition assessment reviewed Code, Maintenance, and ADA items and assigned costs for corrections categorized as urgent, required, and recommended.

PUBLIC PLANNING FACILITATION

The County Supervisors wanted to gather as much public input as possible and recruit a cross section of residents including staff, residents, officials, business representatives and community leaders to be a voice for the community. Invitations were sent out and individuals were asked to attend five Advisory Task Force meetings to help develop the Goals for Success, identify possible options to study, develop criteria to evaluate potential solutions, weight the criteria, participate in the SPARK workshop, and recommend preferred options to the County Supervisors.

Through multiple public meetings, county residents developed the Goals for Success, decision making criteria, and prioritization and weighing the criteria for evaluating design concepts at the on-site design workshop.

SPARK SESSION

A multi-day onsite design workshop was conducted to develop multiple concepts for the county buildings. Current County site were evaluated and the sites that scored high using the criteria chart were developed further. The workshop was conducted with public input from community. Numerous concepts were developed, studied, evaluated, and designed. Many sites had multiple iterations. At the end of the second day, the public was asked to select their favorite concepts. At the final Advisory Task Force meeting, the community was asked to prioritize the six county facilities (Administrative, County Conservation, County Roads, Engineering & Maintenance, Jail & Sheriff, Judicial). Each attendee was then asked which design concept was their preference, based on their facility priority.

BUDGETS

Opinions of cost were developed for several design options with a total project cost approach. The cost opinions include construction costs as well as 'soft costs' for owner-provided, non-building-construction related items.

COMMUNITY WIDE SURVEY

The Worth County Board of Supervisors issued a community-wide survey via paper and online versions. A total of 138 responses were received over the course of seven weeks. The responses provided guidance for the final recommendation.

/ RECOMMENDATION & NEXT STEPS

FEH DESIGN recommendation following the Advisory Task Force meetings and the community-wide survey.

- It is our opinion that a new courts, jail, and administrative County Courthouse facility should be constructed on the same site as the existing courthouse. A single, large project, if feasible, would save the County money.
- 75% of survey respondents supported renovating the courthouse versus new construction if the cost is equal. If funding is needed from a County vote, it will not easily pass if it is for a new building.
- Ongoing operating costs will be higher with a renovation. The most efficient design will be a new building constructed all at the same time.
- If the project is accomplished in a phased manner to align with funding support, it will be important to decide if the old courthouse remains. Existing courthouse floor levels will influence new floor levels; grade elevations should be raised to allow for ADA access into the existing main floor level. Construction phasing sequences should only require the departments to move once, into their final space. The sequences should not require the rental of other space for a long period of time.
- The County Roads department has facilities in Joice, Fertile, Manly, Kensett, and Northwood. Except for the almost 20-year-old structures at Kensett, all these structures are over 70 years old. The Northwood structures are located within a residential area with one structure possibly located in a city street right-of-way. These structures should be replaced to improve the maintenance garage and to provide better protection of the equipment investment and extend the life of County vehicles, materials, and equipment. A long-range plan should be developed to replace facilities over several years so that the cost of repairs and replacement of newer facilities can be spread across decades. The County should continue to look for opportunities to relocate and potentially consolidate County Roads.
- The County Conservation facility should be replaced. It would be logical to locate the new facility on the campus of other County facilities. The County should continue to look for opportunities to relocate and expand County Conservation.

/ THANK YOU PARTICIPANTS



We want to thank the Worth County Supervisors and the citizens of Worth County who came and participated in the public meetings and the Spark Session design workshop.

Everyone's input and guidance was invaluable in the design, review and concept selection process.

/ GOALS FOR SUCCESS

WORTH COUNTY FACILITIES PLANNING NORTHWOOD, IOWA

1. Be in compliance with codes of State of Iowa.
2. Consolidate services to one location with sufficient space for all departments.
 - a. Provide space/infrastructure that increases staff efficiencies.
 - b. Provide flexible meeting room and office space.
3. Improve safety and security for staff and public.
4. Increase efficiency of building systems.
5. Separation of Courts and Jail from public and other services.
6. Update technology and infrastructure for today's uses.
7. A structurally sound and watertight building.
8. Reduce building maintenance requirements.
9. Improve public access and convenience.
 - a. ADA accessibility.
 - b. Design for COVID.
 - c. Single level building.
 - d. One location
10. Provide a controlled environment for historic document archive.
11. Accommodate and plan for future growth and change.
12. Preserve the historic character of the Courthouse and Treasurer buildings.

/ SPACE NEEDS PROGRAM

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
SHERIFF			
Sheriff's Office	202	216	
Sheriff's Closet	105	78	
Deputy Sargent Office	147	120	
Sargent Office	121	120	
Deputies Work Area (4)	199	576	Open Office
Conference Room / Training Room	0	884	With dividing partition, shared by entire Worth County Govt staff.
Storage	104	94	
AV Equipment	0	38	
Evidence - Small	33	181	
Communication Supervisors Office	84	216	
Comm Supervisor Closet	0	56	
Jail Admin Office	128	216	
Jail Admin Closet	0	56	
Interrogation Vestibule	0	43	
Interrogation Room	0	138	
Reception / Clerk / Civil	274	335	
Comm. / 911 Equipment Room	0	220	
Copy / Work Room	0	174	
Breakroom / Kitchen	157	168	
Office Supplies Storage	104	66	
Breakroom	0	355	With lockers
Forensics	347	0	
SUBTOTAL =	2005	4,350	

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
JAIL			
Booking / Intake	168	400	
Holding Cell	77	72	
Holding Cell	0	72	
2 Person Accessible Cell	0	103	
2 Person Cell	122	93	6.67 x 14
Dayroom	186	256	With shower
2 Person Accessible Cell	0	103	
2 Person Cell	117	93	
Dayroom	0	256	With shower
2 Person Accessible Cell	130	103	
2 Person Cell	0	93	
Dayroom	0	256	With shower
Special Needs Cell	77	99	With Shower
Special Needs Dayroom	0	121	
Special Needs Cell	68	99	With shower
Special Needs Dayroom	215	121	
Jail Control / 911 Dispatch / Master Control	314	264	separate dispatch from Jail in ideal situation
Exercise - male	92	700	18 foot ceiling required
Exercise - female	0	0	18 foot ceiling required (can rotate groups thru)
Secure Vestibule	0	84	
Inmate Booking Records - Storage	0	200	
Inmate Property - Storage	0	90	
Laundry	0	192	
Food preparation	0	200	
Dry food storage	0	40	
Medication storage	0	4	
Video Visitation - Public	19	108	
Inmate Contact Visitation / Video Court	20	130	
Jail Storage	147	140	
Secure Elevator	0	64	
Vehicle Sally Port - Drive thru	483	2,600	(4) vehicles, (1) wash bay, UTV's, ATV's, storage, (5) garage doors
Large Evidence	0	650	
SUBTOTAL =	2235	7,806	
JAIL GENERAL AREAS			
Public Toilet		52	
Vestibule 1		56	
Vestibule 2		56	

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Waiting		336	
Mens Toilet		157	
Womens Toilet		157	
Mechanical		336	
Janitors Closet		240	
SUBTOTAL =		1,390	
TOTAL PROGRAM SF =		13,546	
NET TO GROSS RATION =30%		4,064	
TOTAL W/ BUILDING FACTOR =		17,610	
JUDICIAL			
Jury Courtroom	1058	1,860	65-90 people
Jury Deliberation	265	378	
Jury Room 2	261	0	direct path from exterior, not through jury area
Jury Toilet 1	0	41	
Jury Toilet 2	0	41	
Conference Room 1	0	110	
Conference Room 2	0	110	
Conference Room 3	0	110	
Conference Room 4	0	110	
Holding / Secure Lobby	0	384	
Judge Chambers	159	196	
Judge Chambers	0	196	
Court Reporter / Attendant	138	232	Open Office (2)
Office area restroom	0	64	
Judicial Library	246	246	
Magistrate Courtroom	555	1,064	
County Attorney Suite (2)	529	392	Reception and Files (10 3-drawer), Office (144 SF)
Clerks Office	630	600	Open Office (3), window with view of lobby
Storage / Vault	187	208	
Storage / Vault	0	208	
Storage	187	220	some in attic now
SUBTOTAL =	4215	6,770	
JUDICIAL GENERAL AREAS			
Public Toilet 1		160	
Public Toilet 2		160	
Staff Toilet		50	
Mechanical Room		100	Use rooftop units for HVAC

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Stair 1		200	
Stair 2		200	
Elevator		64	
Janitors Closet		64	
SUBTOTAL =		998	
TOTAL PROGRAM SF =		7,768	
BUILDING FACTOR = 30%		2,330	
TOTAL W/ BUILDING FACTOR =		10,098	
ADMINISTRATION			
Assessor Office	0	120	
Assessor Open Office (3)	472	420	Open Office, 1 desk by counter
Assessor Storage	399	420	
Plat Book Area	0	75	Shelves and table
SUBTOTAL =	871	1,035	
Auditor Office (2)	268	240	
Auditor Open Office (3)	452	420	Open Office and Work Room, Also handles elections
Auditor Voting location	0	160	multi use as conference room
Voting Machine storage		420	access controlled,
Auditor Storage	136	320	two vaults, one (60 SF) for frequent public access to transfer books
SUBTOTAL =	856	1,560	
GIS Office & work space	123	183	
IT Office & work space	0	320	(2) people & work room area
Plotter	0	142	
Server Closet	174	180	not adjacent to boiler room, individually air conditioned
SUBTOTAL =	297	825	
Recorder Office	0	120	
Recorder Open Office (3)	510	420	Open Office (3), Secure transaction counter,
Public Computers (2)	0	80	Scanning
Recorder Storage	190	240	vault
SUBTOTAL =	700	860	
Supervisors Meeting Room	290	600	30-40 people
Work/Office (3)	64	240	
SUBTOTAL =	354	840	
Treasurers Office	250	120	
Treasurers Open Office	625	625	Open Office (4)
Treasurers Storage/vault	283	504	access from office or open office
Newspapers vault	166	166	always been that way. Need sitting area to read, not a vault

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Small Conference Room	0	140	shared
Testing Station	355	355	Open Office (3 Computers), Camera, Vision Screen
SUBTOTAL =	1679	1,910	
ADMINISTRATION GENERAL AREAS			
Public Toilet 1		170	
Public Toilet 2		170	
Breakroom / Lounge		400	
Condo office space 1		120	
Condo office space 2		120	
Meeting Room Shared		200	shared
Vestibule 1		50	
Vestibule 2		50	
Stair 1		200	
Stair 2		200	
Elevator		64	
Elevator Equipment		48	
Janitors Closet		64	
Mechanical		64	
Mechanical		200	Use rooftop units for HVAC
SUBTOTAL =		2,120	
TOTAL PROGRAM SF =		9,150	
BUILDING FACTOR = 30%		2,745	
TOTAL W/ BUILDING FACTOR =		11,895	
ENGINEERING			
Garage engineering(334) and Maintenance(1003)	1337	1337	
Office (3)	1107	420	Open Office
Office	78	120	
Break Room		228	
Meeting Room		240	
Lab		180	
SUBTOTAL =		2,525	
BUILDING FACTOR = 30%		758	
TOTAL W/ BUILDING FACTOR =		3,283	
EMERGENCY MANAGEMENT			
Emergency Operation Center	908	908	Can serve as meeting room for large groups
Supplies	123	200	
Office	128	128	
Storage	99	99	
SUBTOTAL	1258	1,335	

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
PUBLIC HEALTH			
Reception - (1)	140	140	
Exam Room	219	219	
Conference Room	275	275	
HIPPA Room	73	73	
Storage	65	65	
Crisis Intervention	72	72	
Extra Nurse Office	113	113	
Break Room	149	149	
Copy	99	99	
Office - (1)	104	104	
Office - (1)	104	104	
Office - (2)	99	99	
Office - (2)	99	99	
Office - (2)	89	89	
Office - (2)	91	91	
SUBTOTAL	1791	1791	
VETERANS AFFAIRS			
Waiting	78	78	
Office	160	160	
Closet	8	8	
SUBTOTAL	246	246	
VETERANS AFFAIRS GENERAL AREAS			
Public Toilet 1		170	
Public Toilet 2		170	
Breakroom / Lounge		400	
Meeting Room		192	
Vestibule 1		50	
Vestibule 2		50	
Stair 1		200	
Stair 2		200	
Elevator		64	
Elevator Equipment		48	
Janitors Closet		64	
Mechanical		64	
Mechanical		200	Use rooftop units for HVAC
SUBTOTAL =		1,872	
TOTAL PROGRAM SF =		3,372	
BUILDING FACTOR = 30%		1,012	
TOTAL W/ BUILDING FACTOR =		4,384	
COUNTY CONSERVATION			

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Director's Office	0	130	
Deputy Director's Office	0	130	
Naturalist's Office	0	148	
Naturalist's Storage	0	152	
Technician's Office	0	180	two staff
Common work Area	0	292	printer, plotter, counter and cabinets
Reception	0	234	
Staff Break Area	0	228	
General Storage Garage	0	2,393	
Naturalist Storage Garage	0	408	
Maintenance Supervisor Office	0	130	
Maintenance Supervisor Storage	0	41	
Garage Entry Hallway	0	86	
Wood Shop	0	311	
Taxidermy Gallery	0	168	
SUBTOTAL =	0	5,031	
COUNTY CONSERVATION GENERAL AREAS			
Public Toilet Men's		175	
Public Toilet Women's		200	
Vestibule/airlock		100	
Lobby		250	
Custodial Room		80	
Staff Toilet		80	
Mechanical/Storage Mezzanine		1,013	
Electrical/IT closet		40	
SUBTOTAL =		1,938	
TOTAL PROGRAM SF =		6,969	
BUILDING FACTOR = 30%		2,091	
TOTAL W/ BUILDING FACTOR =		9,060	
SECONDARY ROADS SHOP			
Mechanic service truck with crane	0	420	14'x30'
Parts running vehicle, pick up truck	0	200	10'x20'
Parts room	0	600	
Office area	0	140	
Break Room	0	300	
Restrooms 2	0	260	with shower
Welding area	0	200	with Jib
custodial closet	0	20	
large hoist bay	0	1,080	24'x45'
standard hoist bay	0	540	18'x30'
Tools	0	32	4'x8'

ROOM NAME / STAFF	EXISTING	PROPOSED	NOTES
Drive lane	0	1,800	18'x100'
Loft and stairs	0	2,000	
SUBTOTAL =	0	7,592	
SECONDARY ROADS GARAGE			
Service Vehicles	0	480	10'x24' each
Large Trucks - (6)	0	4,800	16'x50'
Motor Graders	0	800	
Loaders, Skid steer	0	240	
Tractor backhoe	0	240	
Excavator	0	800	
Wood chipper	0	400	
Tractor	0	600	
Tractor mower	0	800	
trailer	0	240	
wash bay	0	1,300	26'x50'
bulk oil and chemical storage	0	200	
dispensing station	0	50	
sign shop storage		1,200	
Sign shop repair area		360	
Sign shop trailer		240	
center drive aisle		4,000	20x200
compressors		40	
Tire Storage		900	
Testing lab		180	
Loft storage and stair		2,000	
Vestibule/airlock		200	
Electrical/IT closet		40	
Utility and Mechanical room		300	
SUBTOTAL =	0	20,410	
BUNKERS			
Salt bunker	360	400	
Sand Bunker	360	400	
Mix Bunker	600	800	
SUBTOTAL =		1,200	
TOTAL PROGRAM SF =		29,202	
BUILDING FACTOR = 30%		8,761	
TOTAL W/ BUILDING FACTOR =		37,963	

/ THE FEH DESIGN SPARK SESSION



OUR DESIGNERS COME TO YOU

A unique service offered by FEH DESIGN is our well-refined Spark Session. While others in our region try to copy our success, FEH continues to set the standards for this intense and interactive design session. We are successful at engaging large numbers of participants, listening to their ideas, studying them and evaluating options in a way that builds ownership by all those involved. The result is client and community confidence built by working side-by-side with the FEH design team.

We tailor the timeline to leverage other community events, issues and gatherings to maximize participation. The FEH team will facilitate and or participate in a way that is most appropriate to the specific need or event. In today's digital driven world, we have been successful at transferring this very in person process online. Through virtual meetings, live website updates, and online surveys we have been able to adapt to the ever-changing world. We customize each process that best meets your wants and needs.



FAST-PACED

In a 1 or 2 day session we create concept drawings in a short span of time based on your ideas. These concepts are then presented creating awareness and enthusiasm.



ENGAGING

Input comes from your selected committee or from the collective thoughts of your entire community or business. Having a broad base of support, reflects the needs and desires of the community, school or business, and develops built-in ownership.



HIGHLY-FOCUSED

Our team of designers set up shop in your space with their design toolkits. There, we focus all our attention on listening and responding to your suggestions. We bring our tools, our creativity but no preconceived notions as we work with you.



DESIGN

Through the Spark Session, multiple design concepts are created. During the day we step back, reflect and then refine the designs. The best move forward and a concept moves to a more refined design.

PRE-SPARK



WE START AHEAD OF THE SPARK SESSION(S) BY ...

- Evaluating needs and priorities
- Defining the scope of the project
- Developing a building program that charts the specifics of the project
- Developing space requirements and other issues
- Conducting site visit(s)

STEP TWO

- Bubble Diagrams
- Block Planning
- Floor Plan/Site Plan Relationships
- Formal Review*



we move into your space!

01

STEP ONE

- Site Analyses
- Circulation Issues
- Square Footage Requirements
- Site Development Concepts
- Formal Review*



02



***Formal Review ...** Periodically, everyone steps back, takes a deep breath, and reviews all drawings and progress to ensure it's headed in the right direction.

A Spark Session is a **Fast-paced, Engaging, Highly-focused Design Session.**



“A Spark Session is a fancy way to say “drop-in during the day, tell us what building design features you like, tell us what to skip, drink our coffee, argue with the architects, vote for your favorite building design, ask why didn’t the Library Director get donuts.”

The session is pretty neat because the architects hang out all day, talk to people, and constantly draw and revise different building designs.”

- Gerard Saylor, Library Director
L.D. Fargo Public Library in Lake Mills, WI



- STEP FOUR**
- Floor Plans
 - Site Plans
 - Sections
 - Feature Sketches
 - Formal Review*

04

- STEP THREE**
- Conceptual Floor Plans
 - Site Plan Refinements
 - Site Amenities
 - Building Massing Studies
 - Exterior Elevation Sketches
 - Formal Review*

03



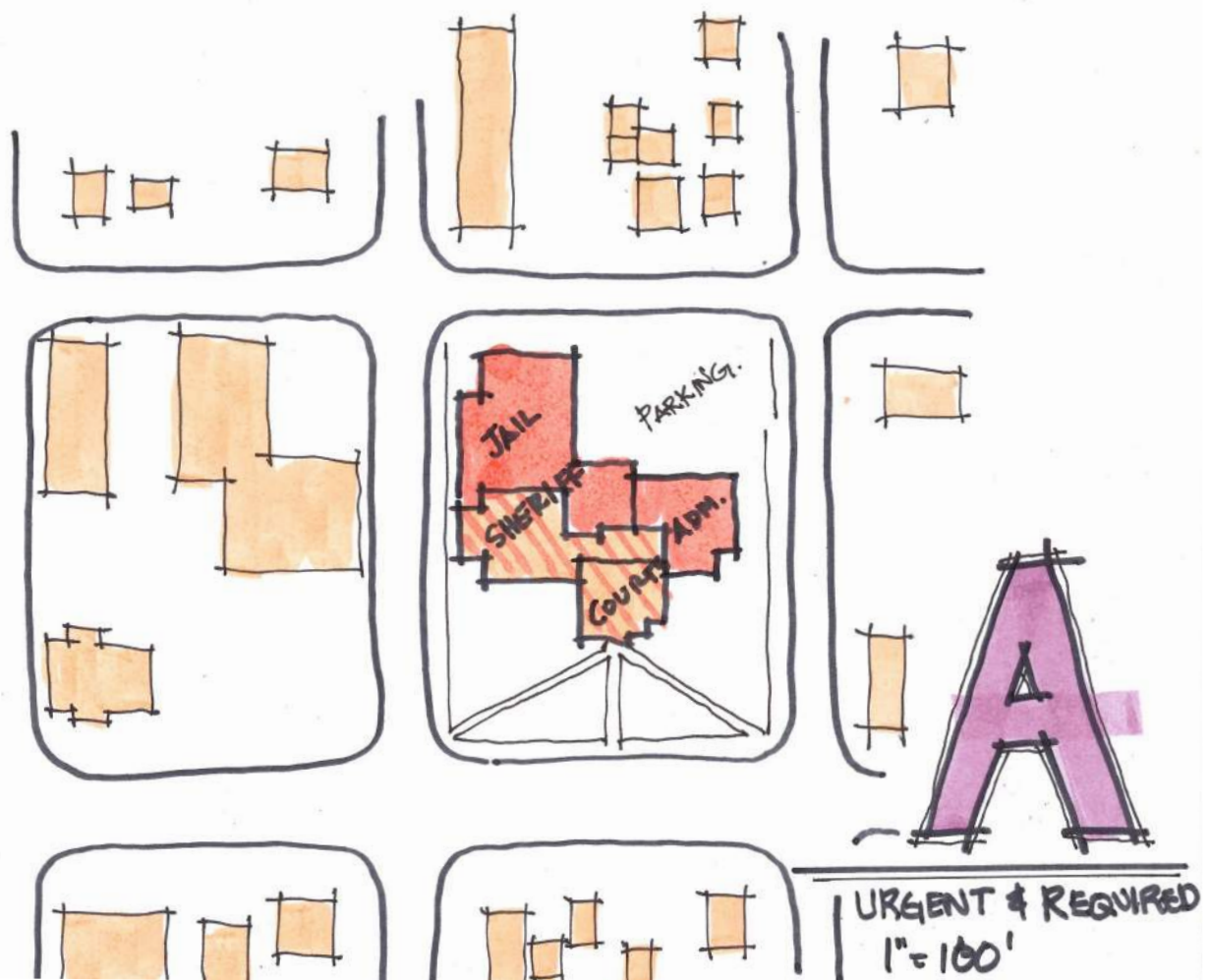
SPARK FINAL ARTWORK!



WHAT HAPPENS NEXT?

By the end of the one, two or three-day Session, the concept for your project will be clearly defined. With conceptual drawings in hand, we return to the office to develop and refine.

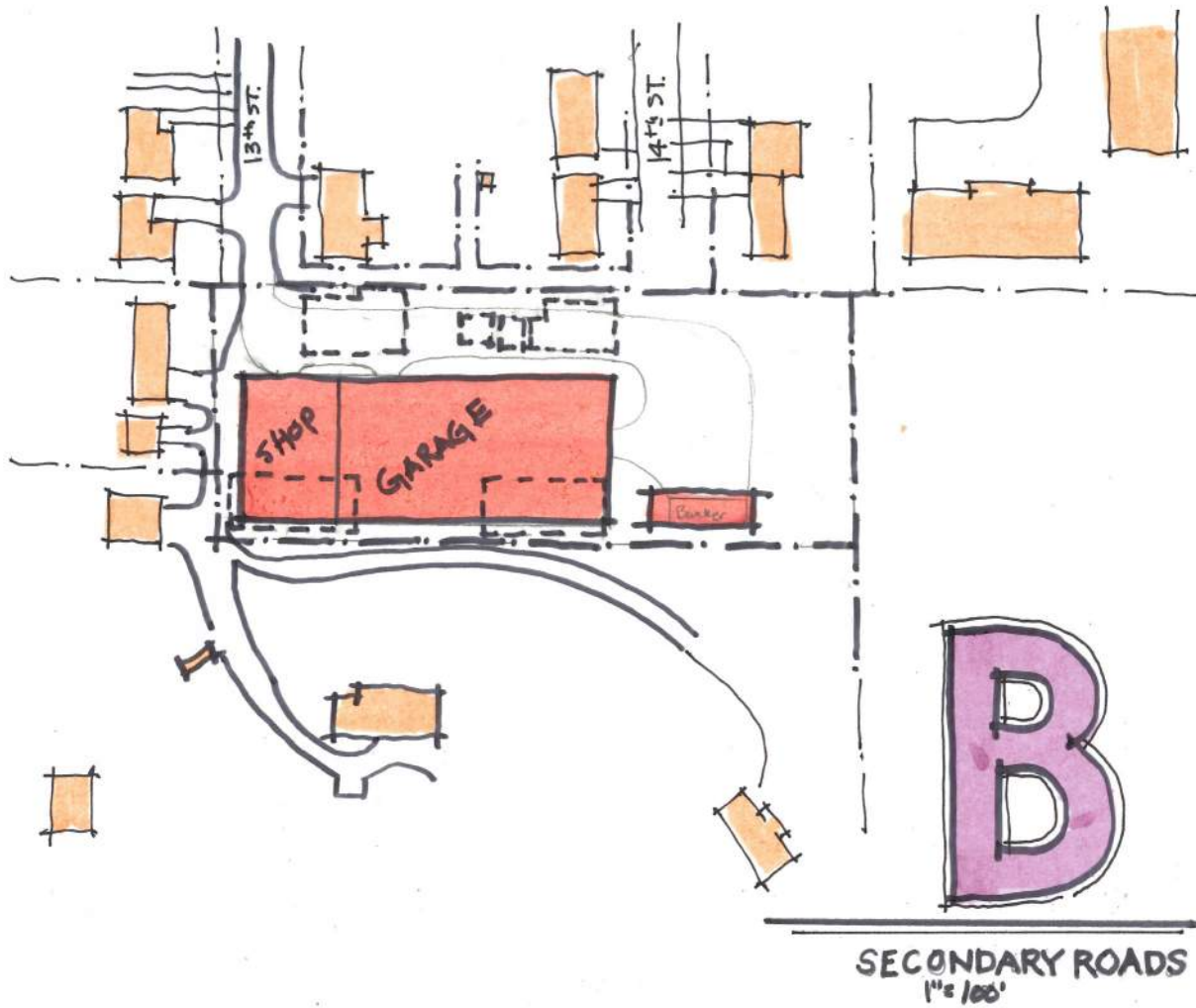


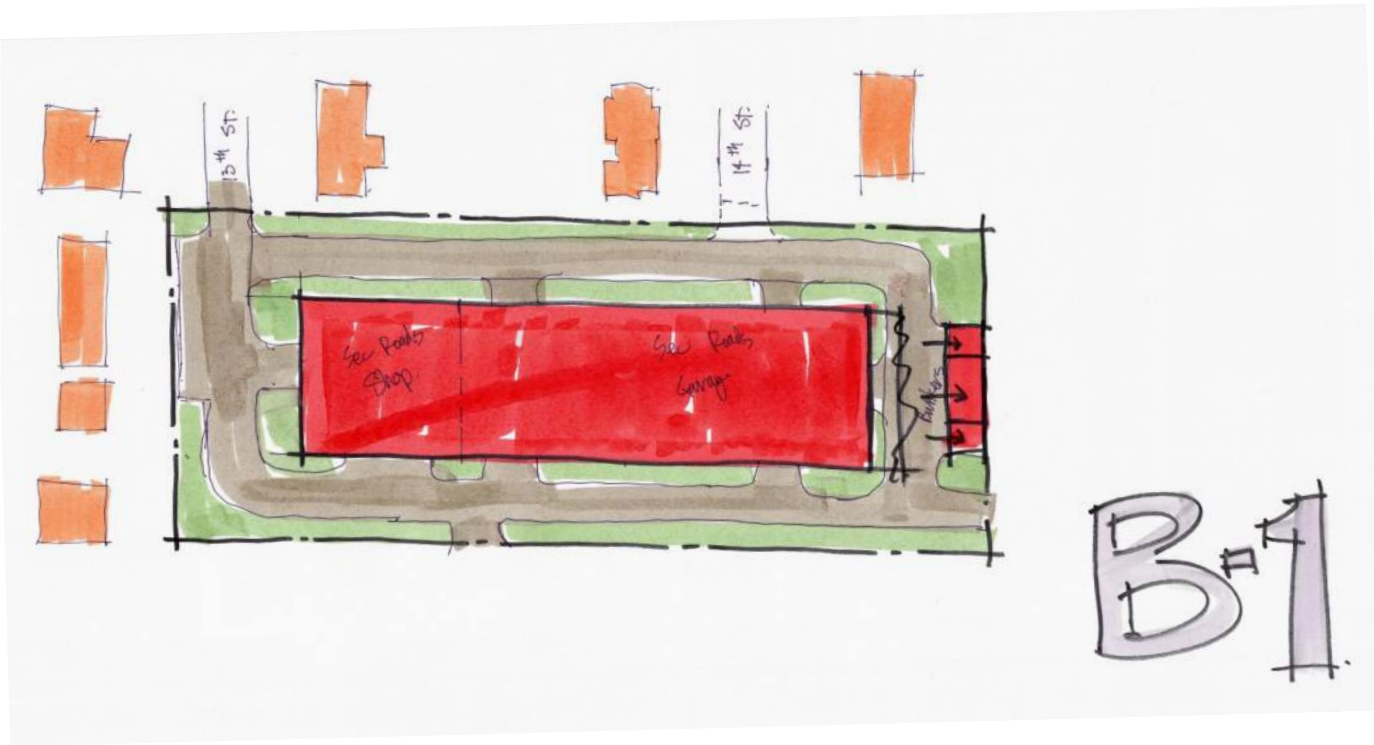


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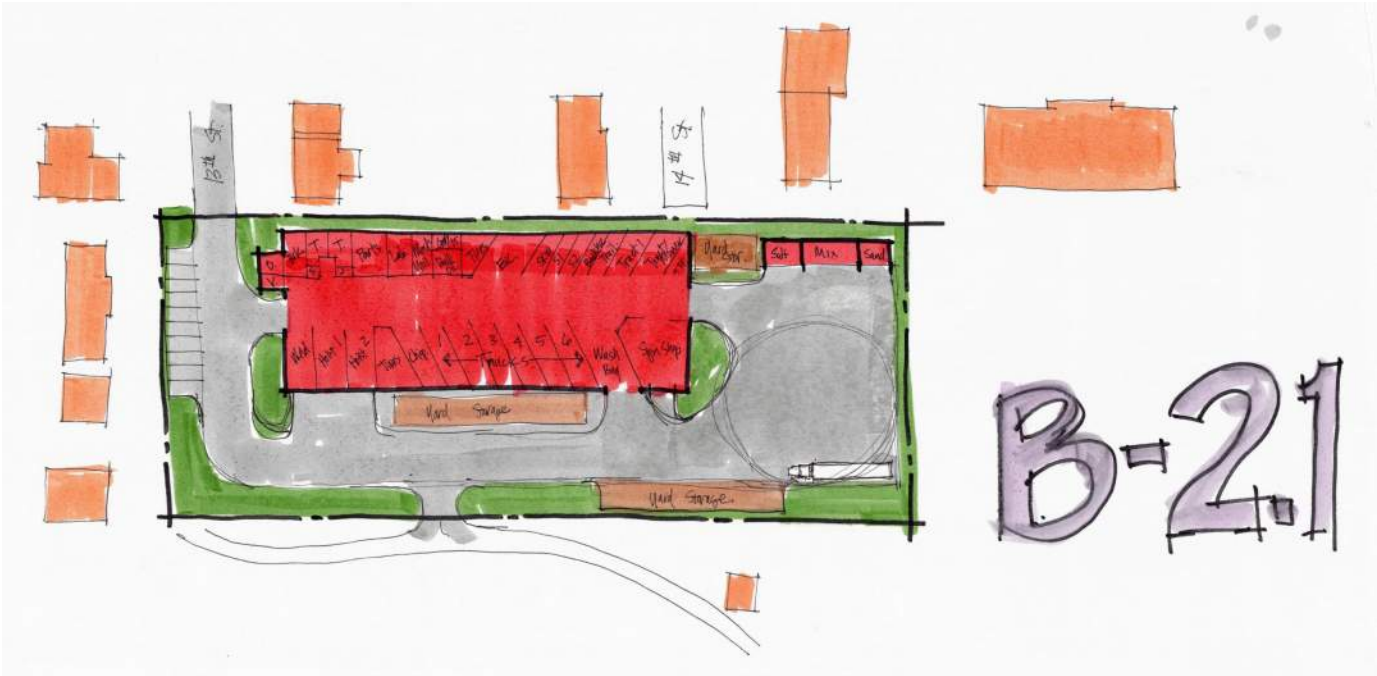
URGENT + REQUIRED
1" = 40'

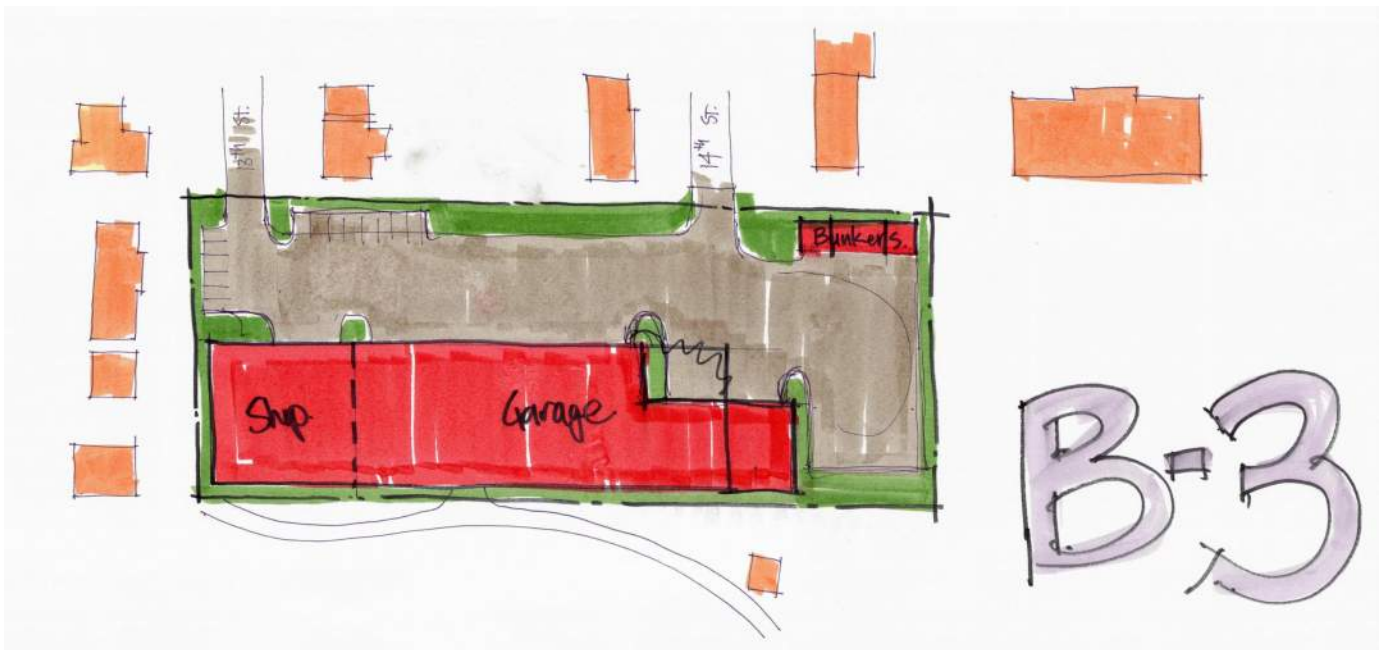


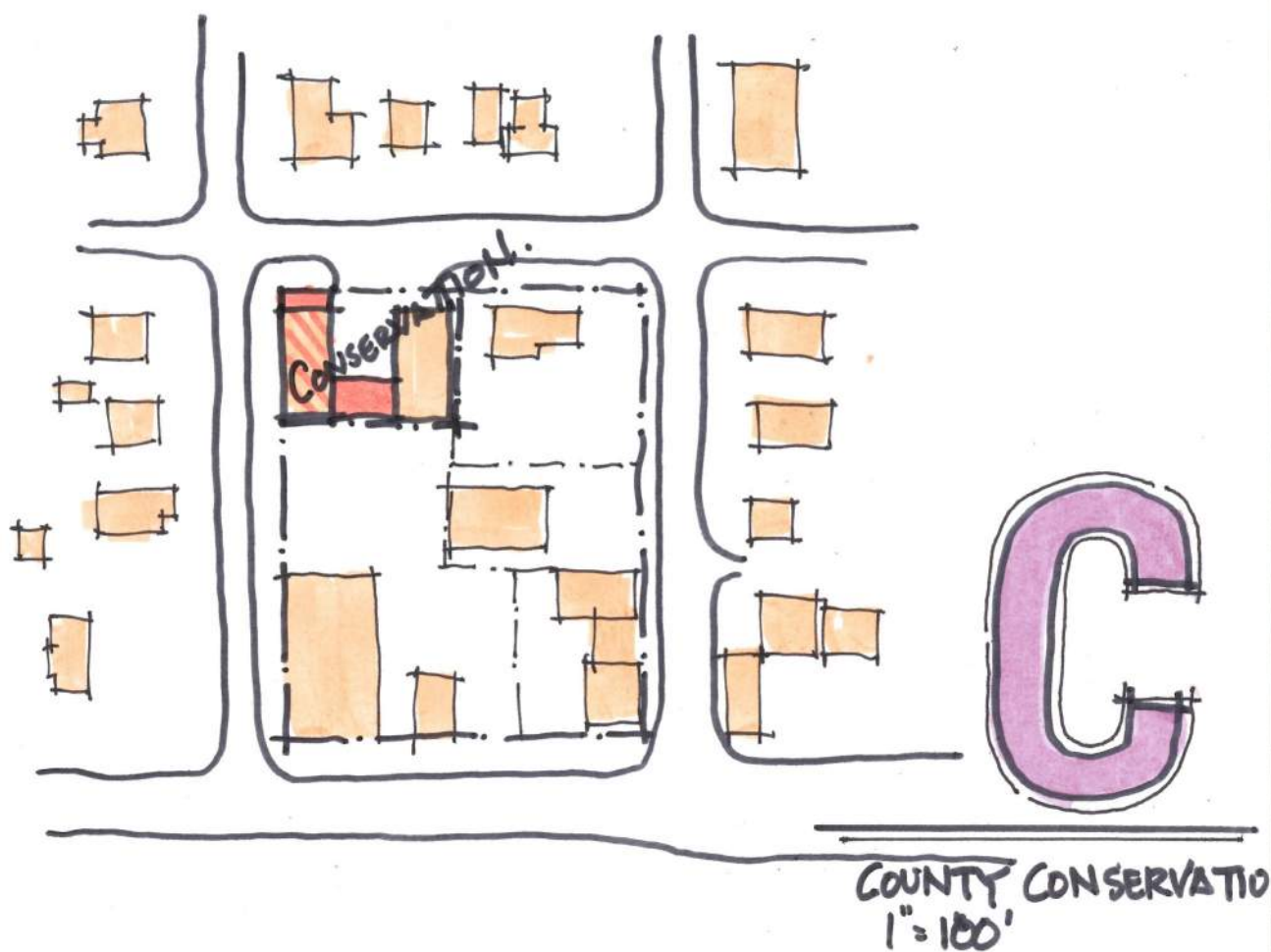


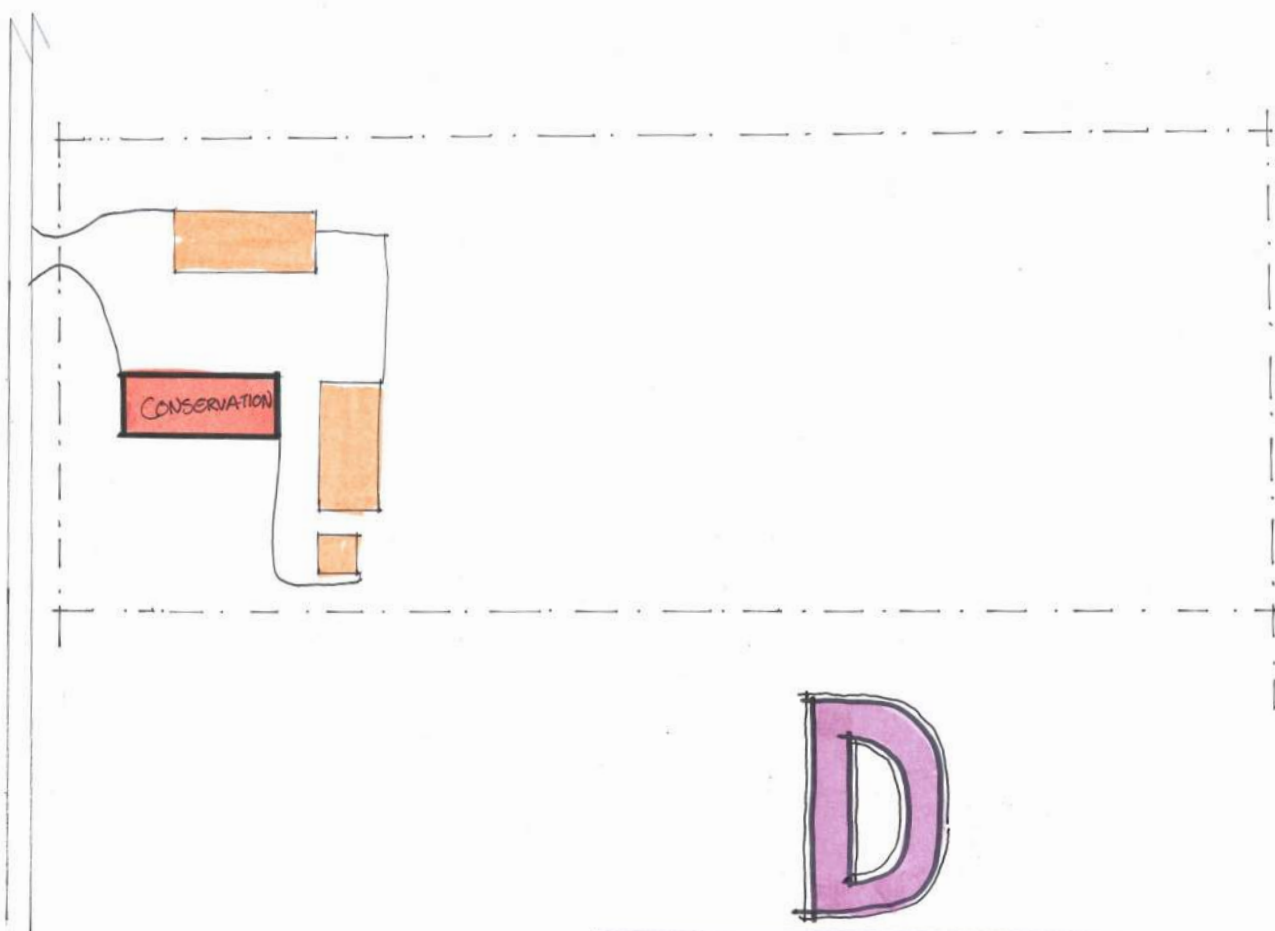






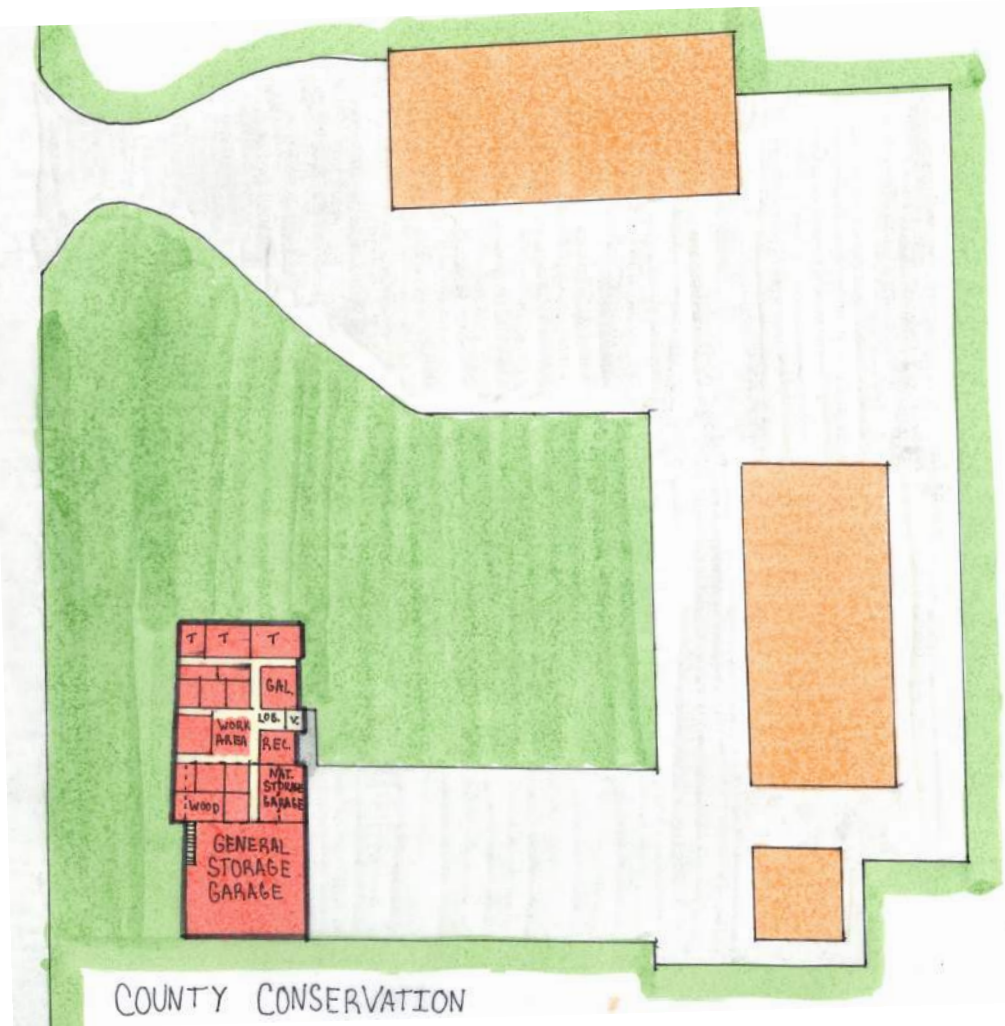




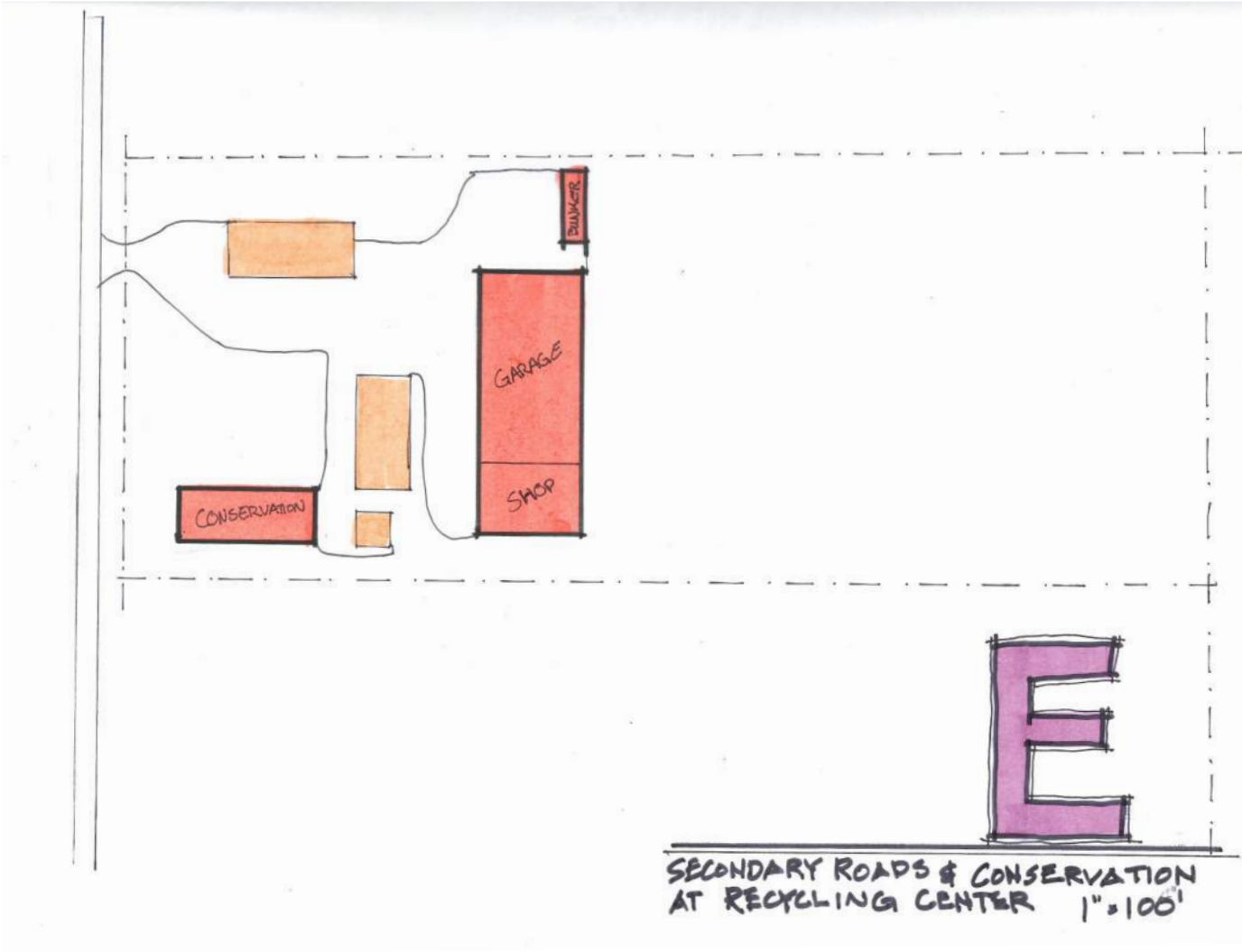


COUNTY CONSERVATION & RECYCLING CTR.

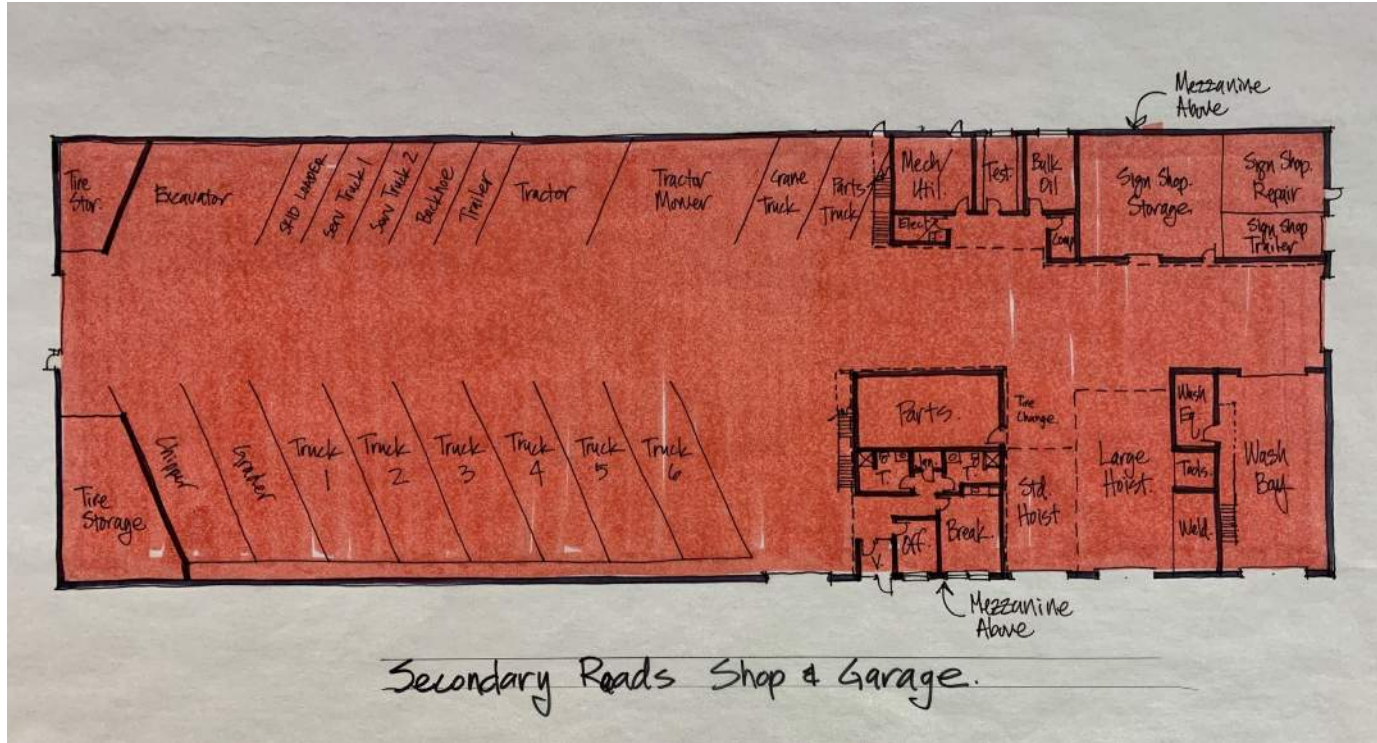


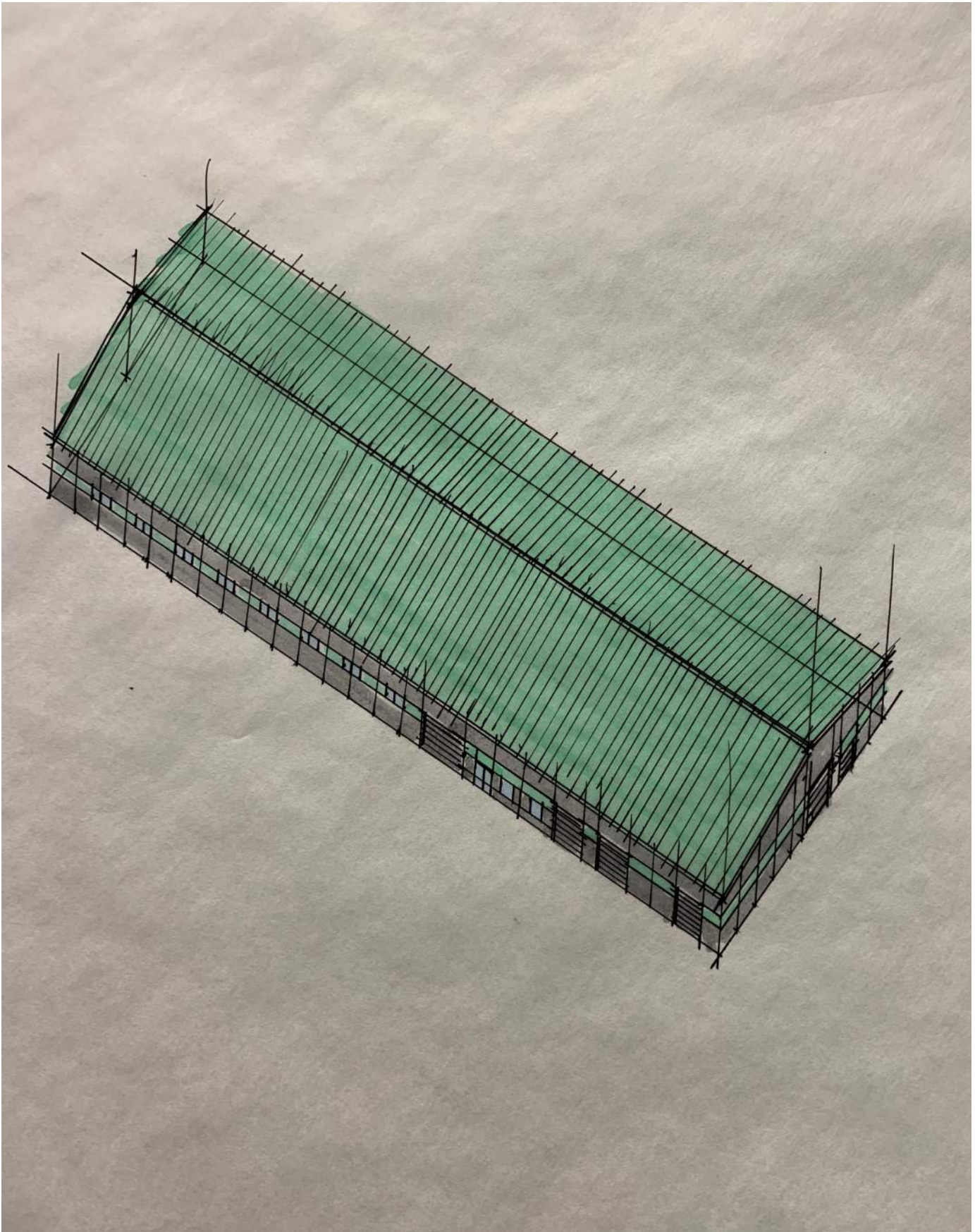


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1" = 40'

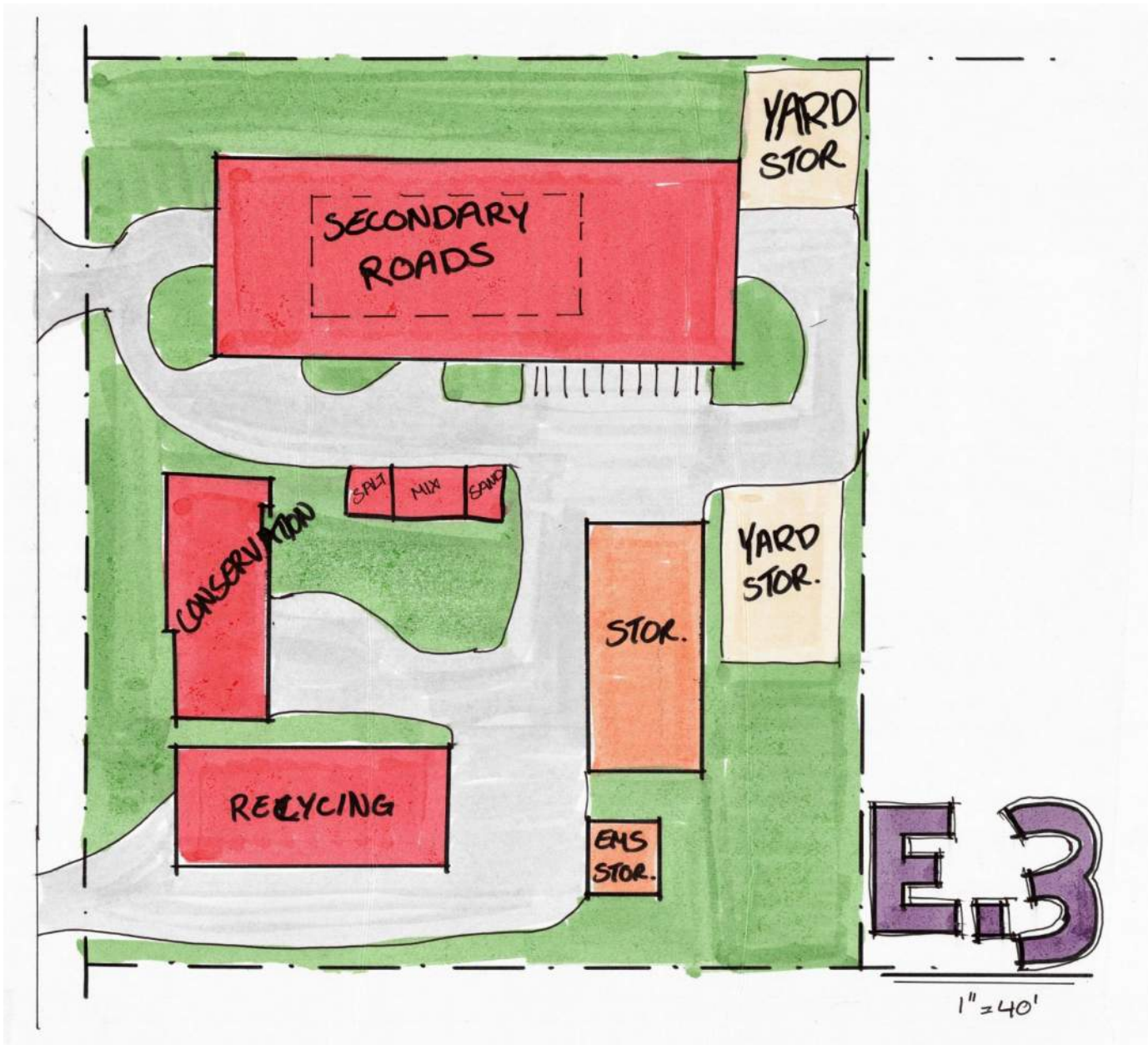


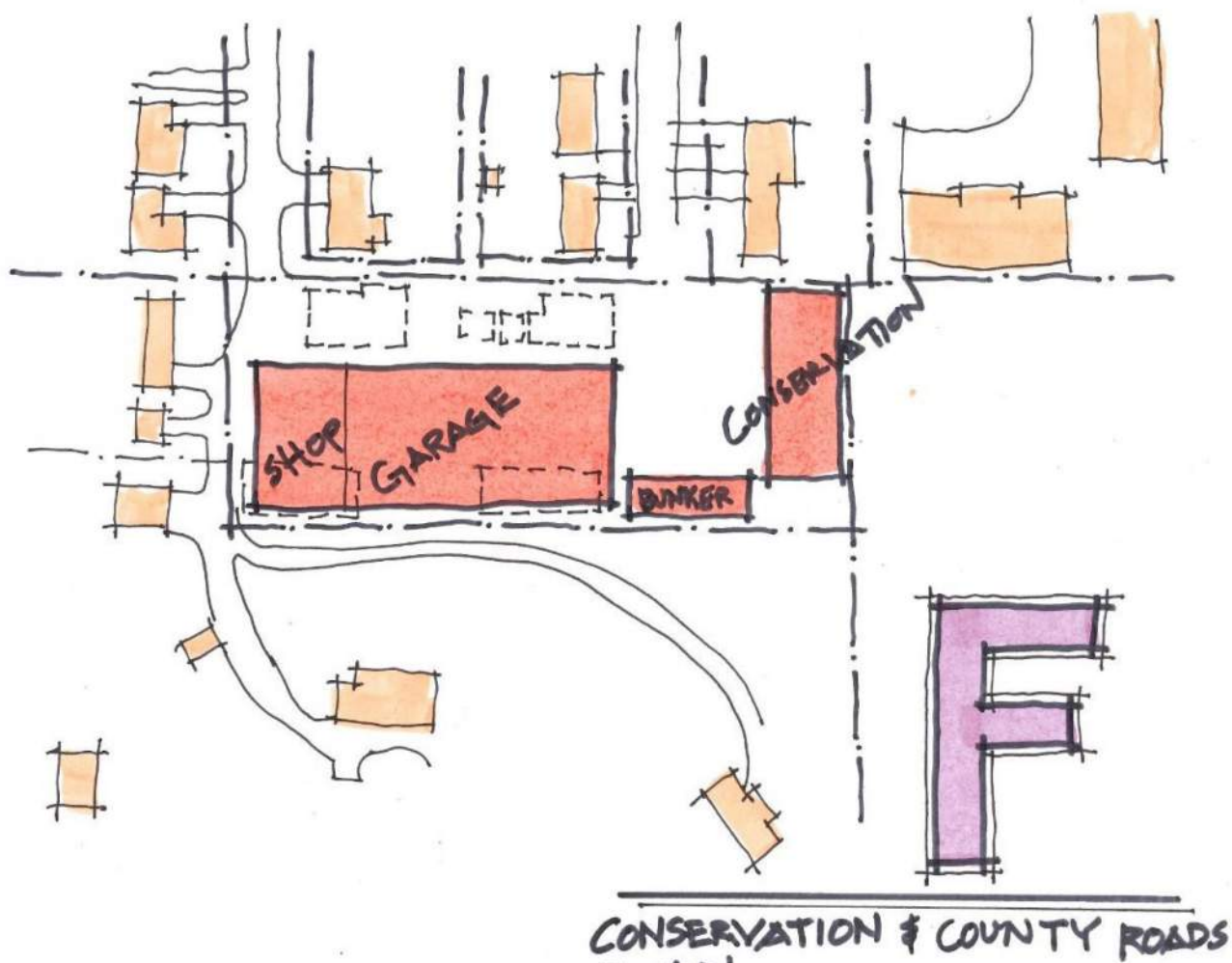




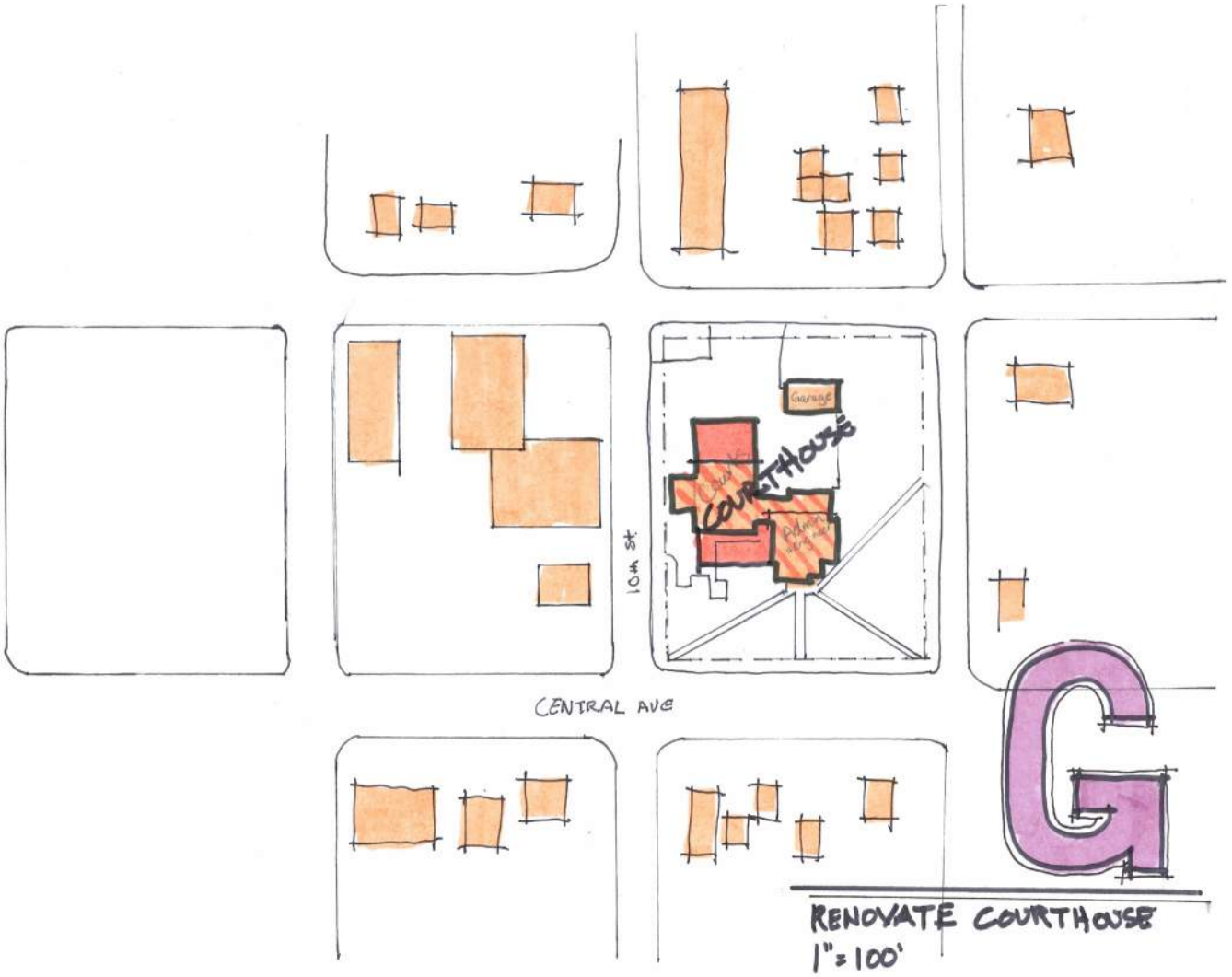




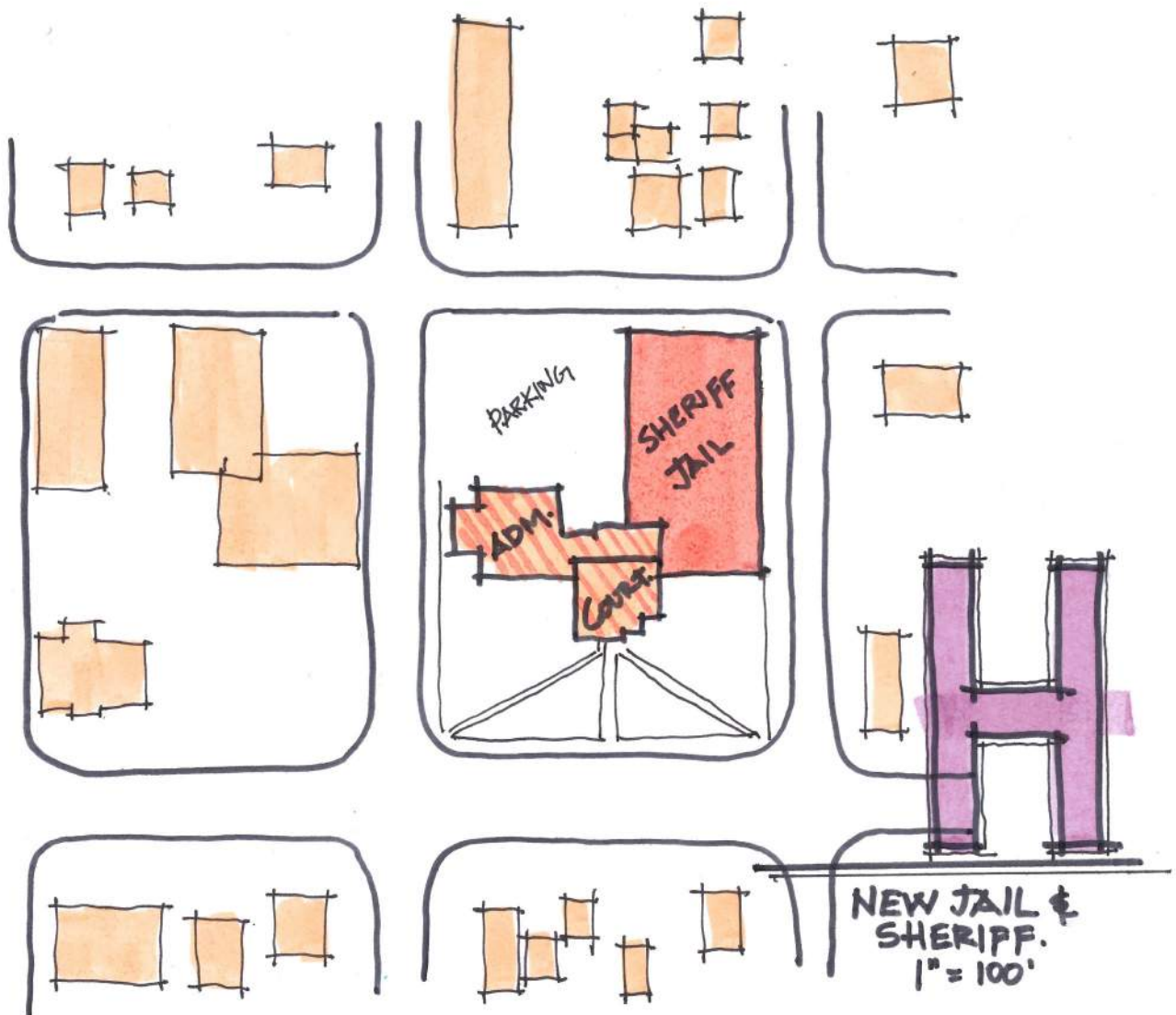




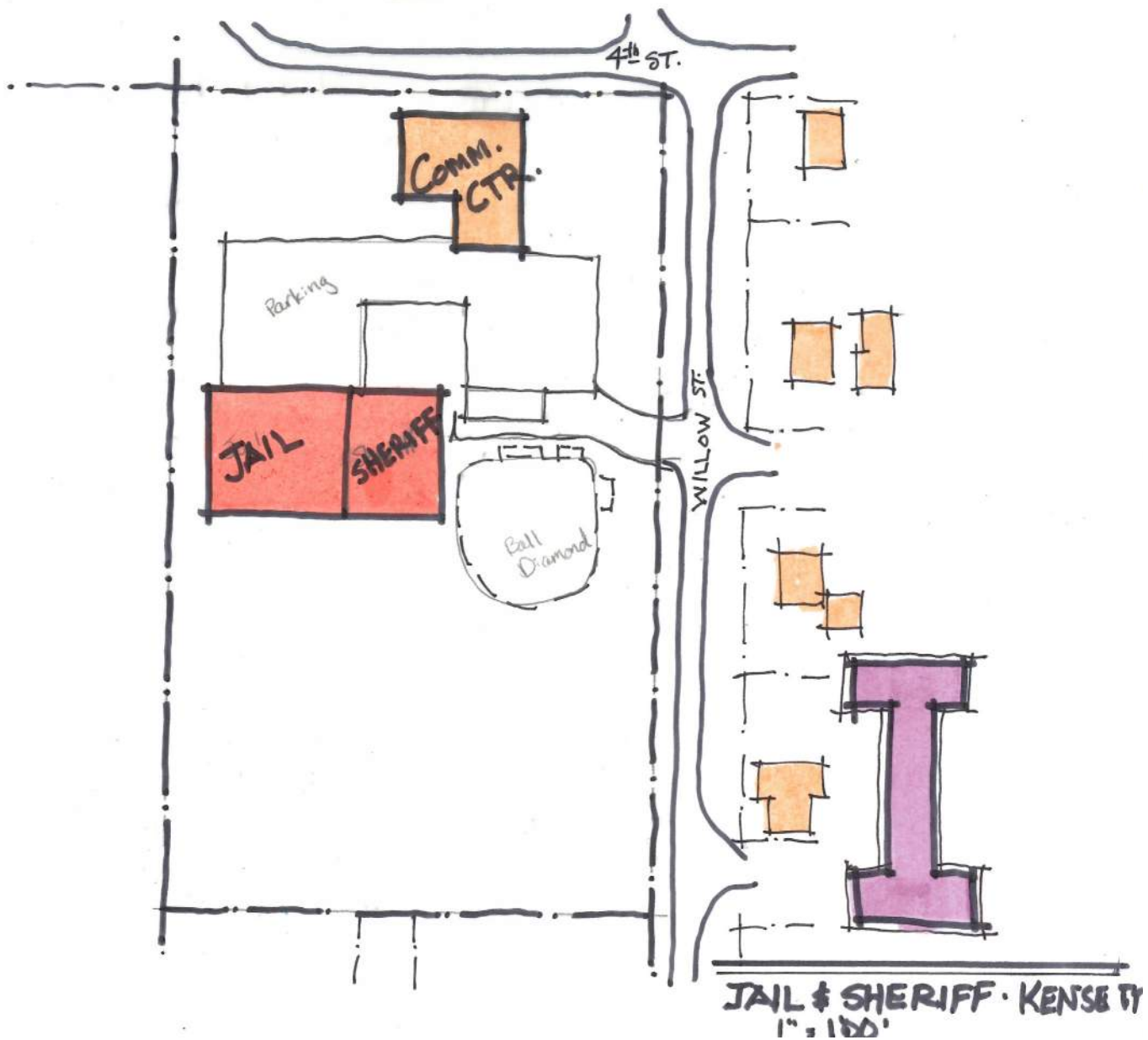




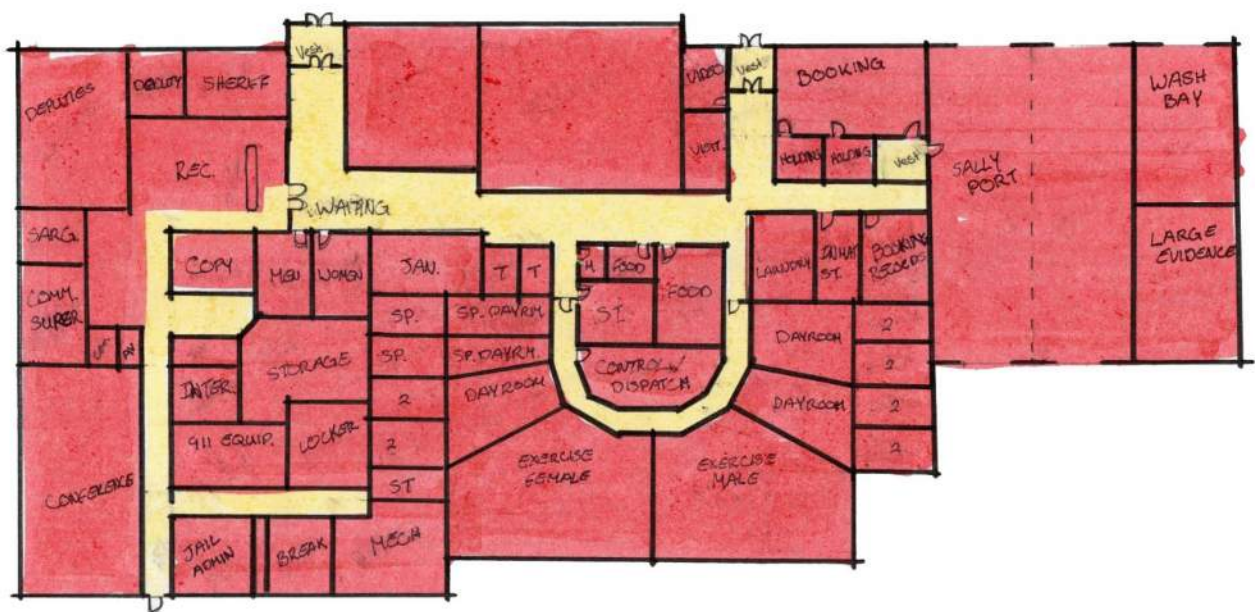






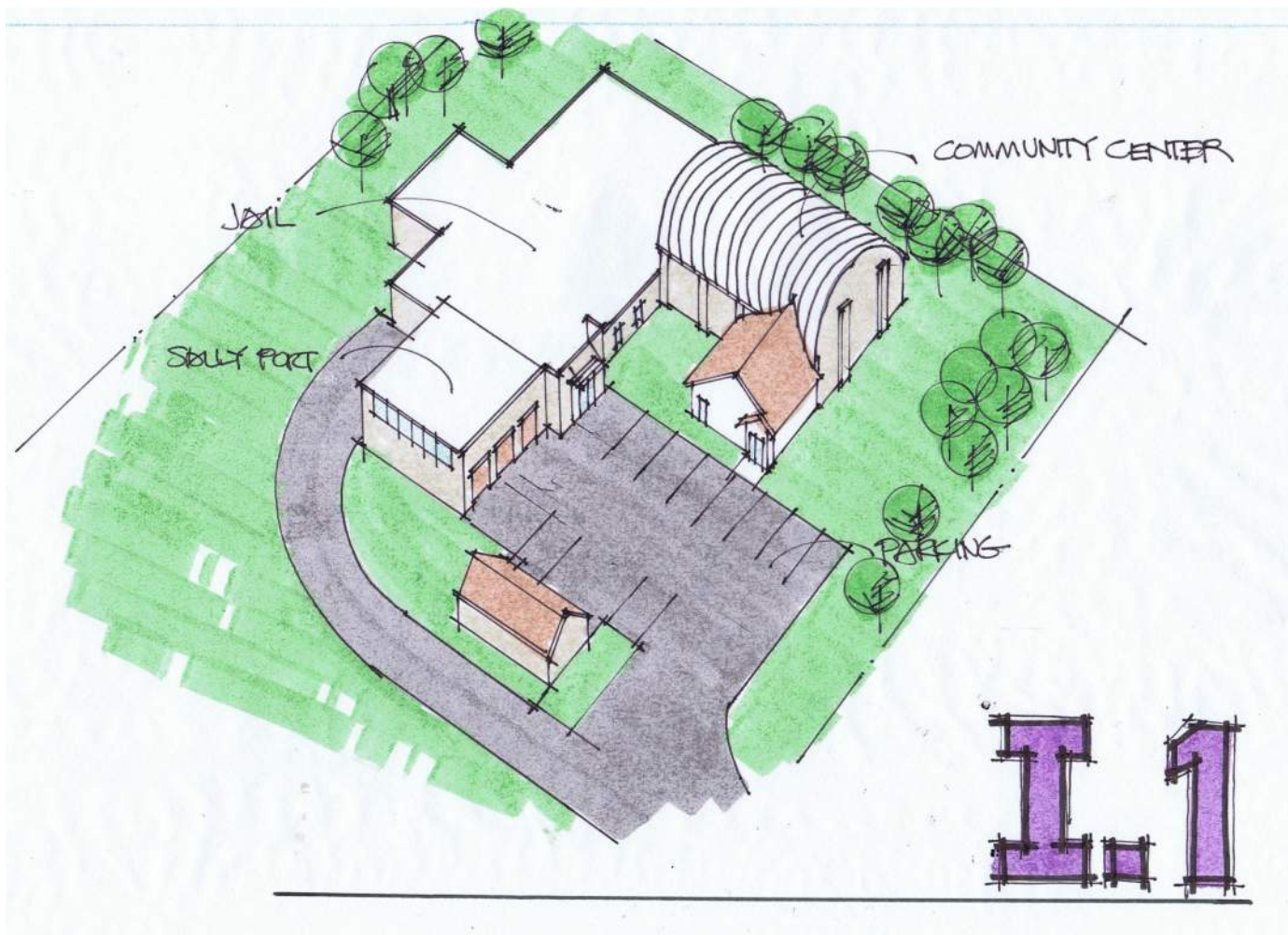


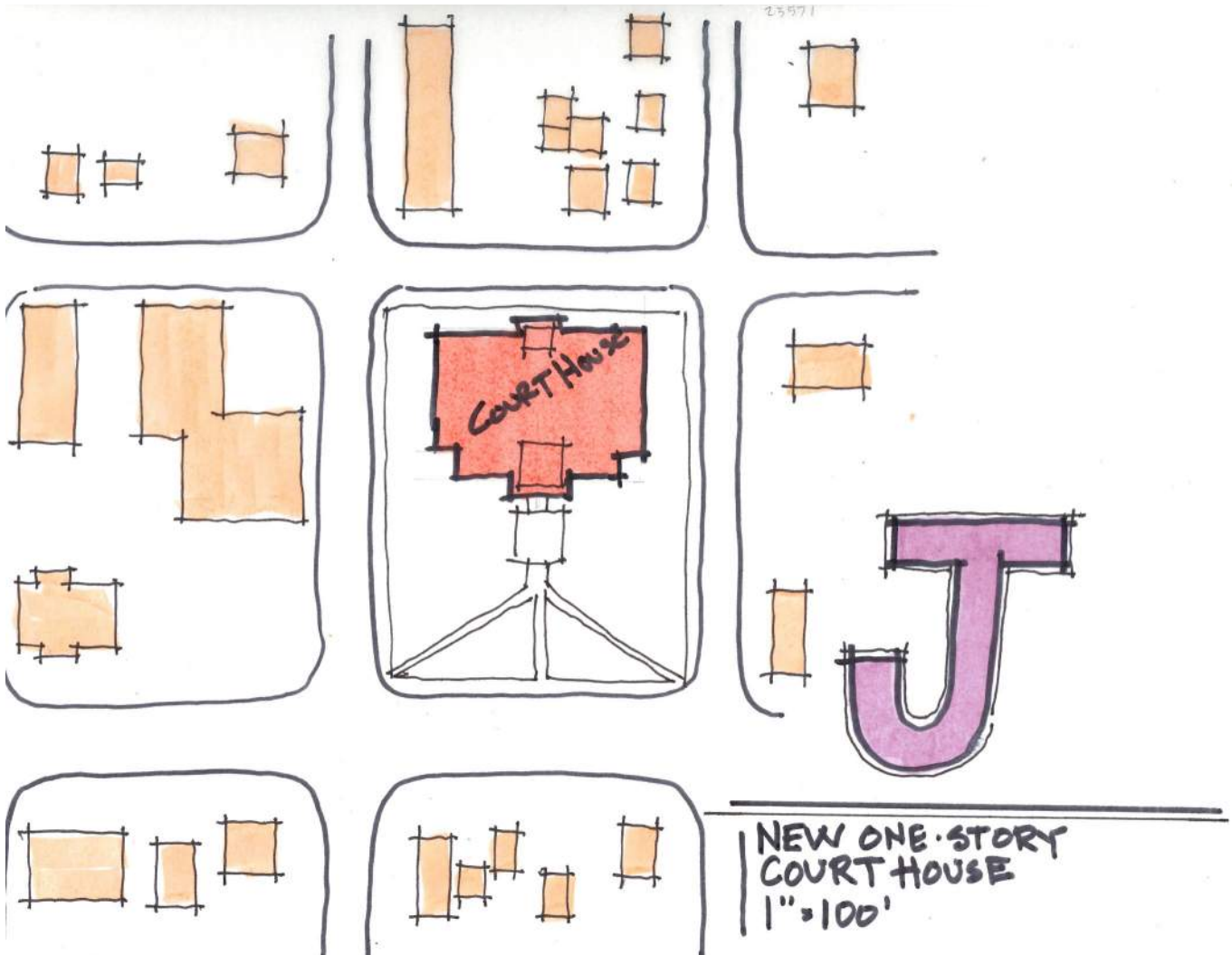


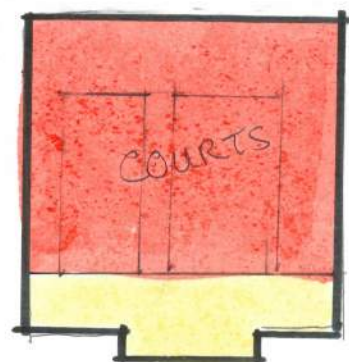
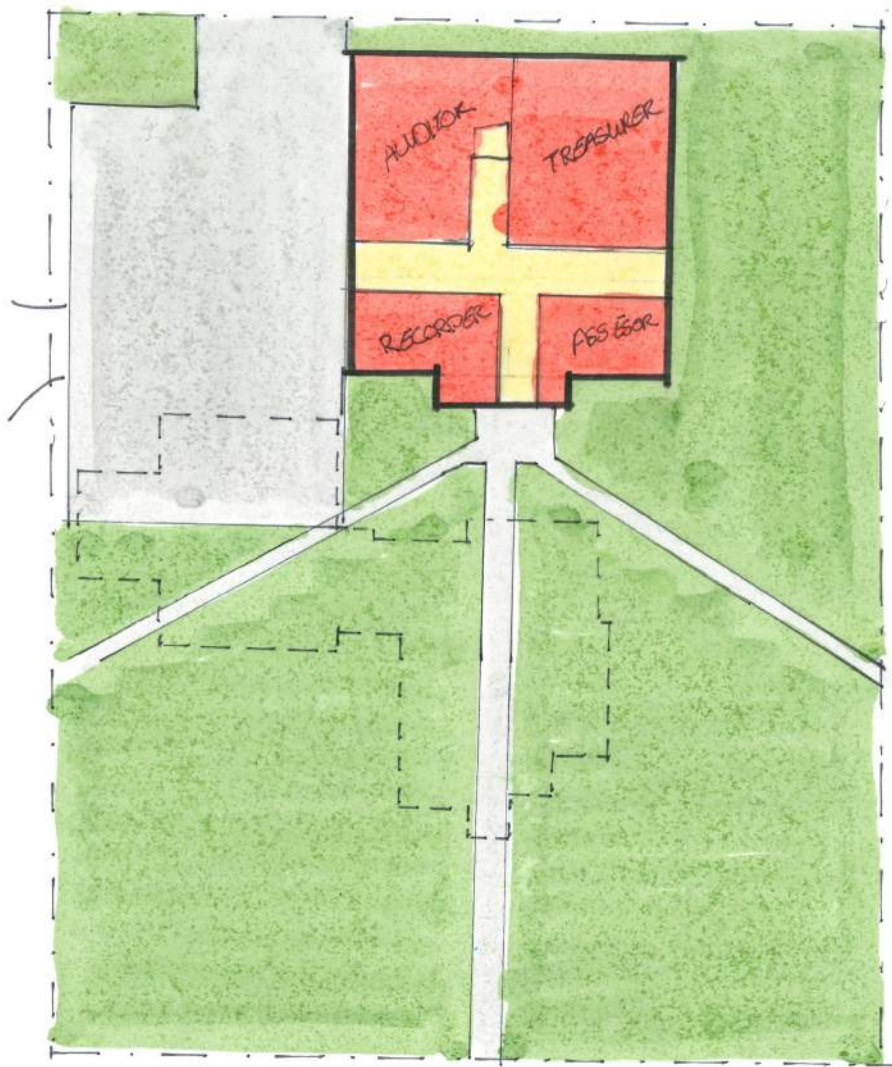


JAIL + SHERIFF 1/16" = 1'-0"

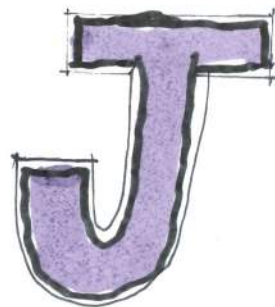




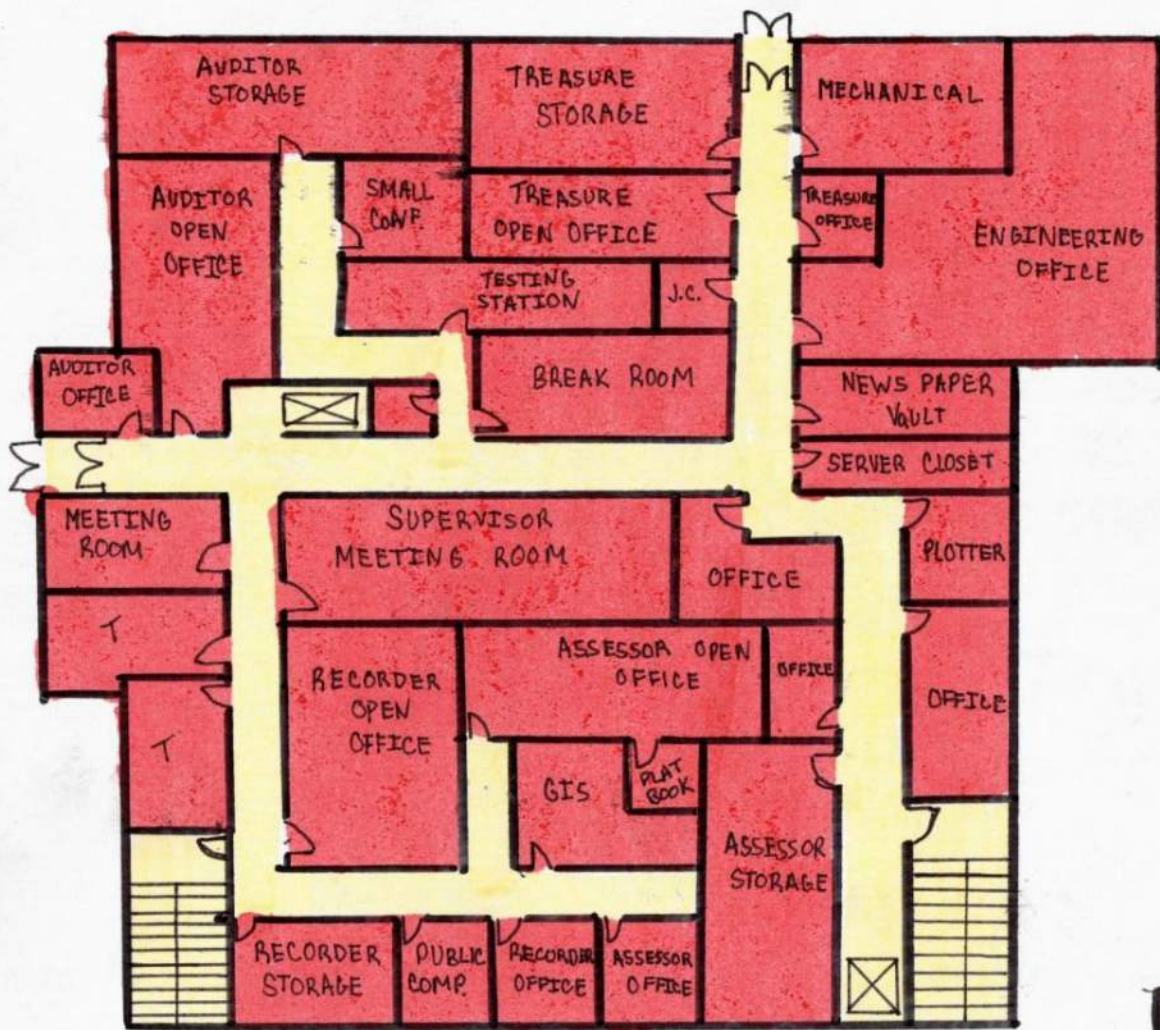




2nd Level

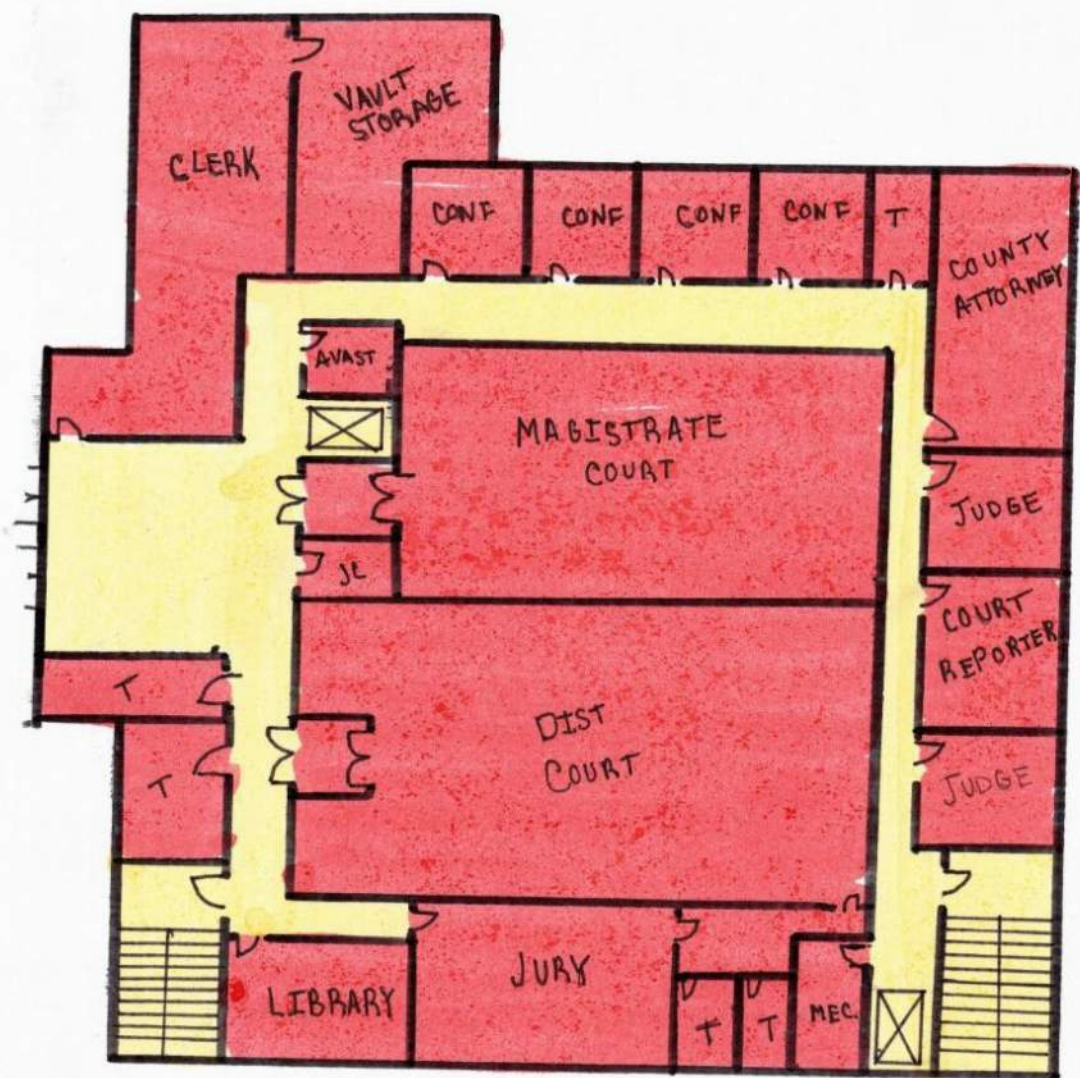


1st - 4th fl



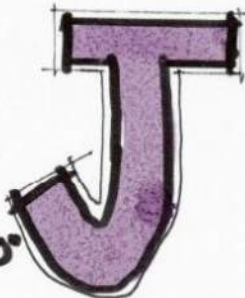
MAIN LEVEL

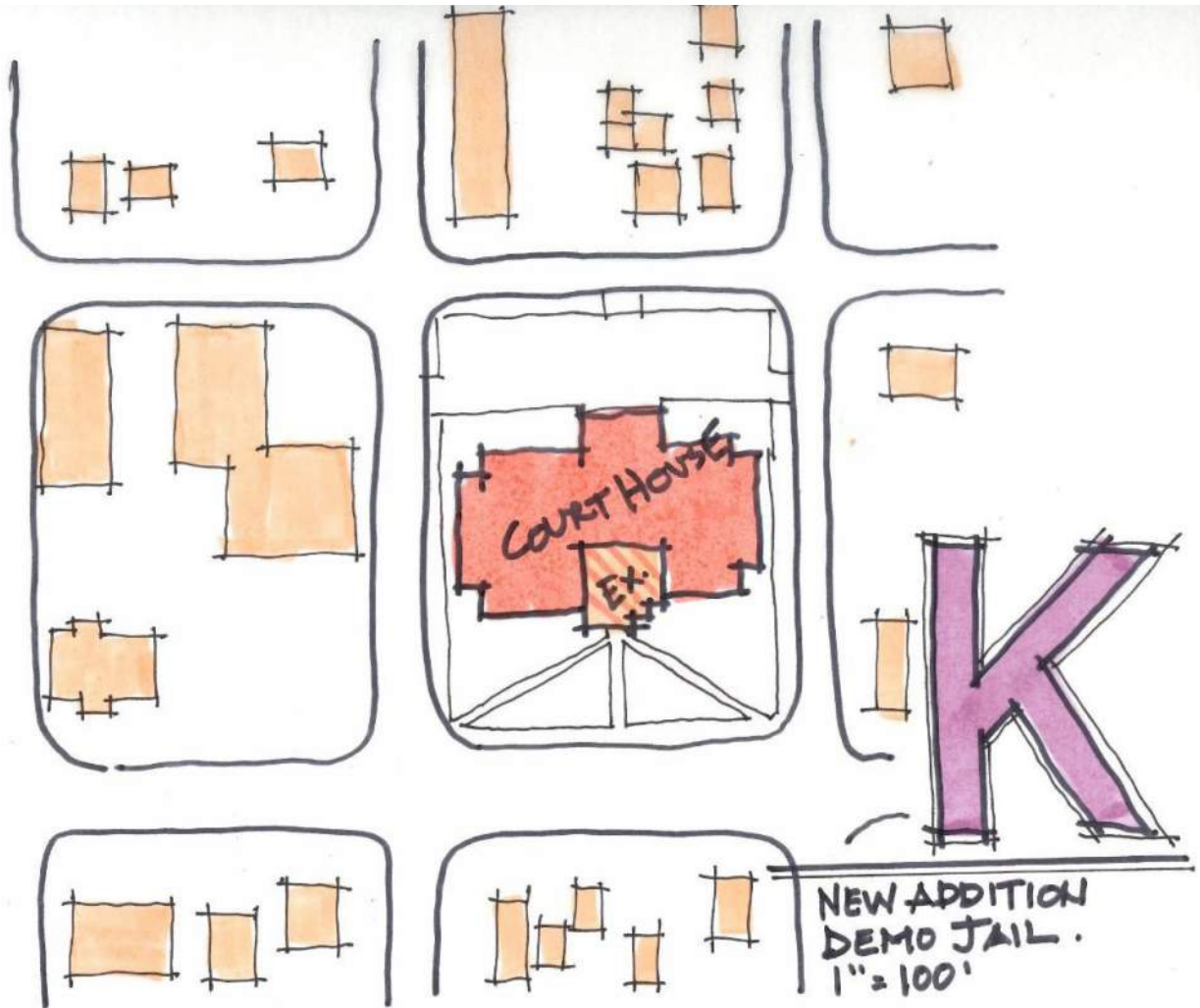
$\frac{1}{16}'' = 1'$

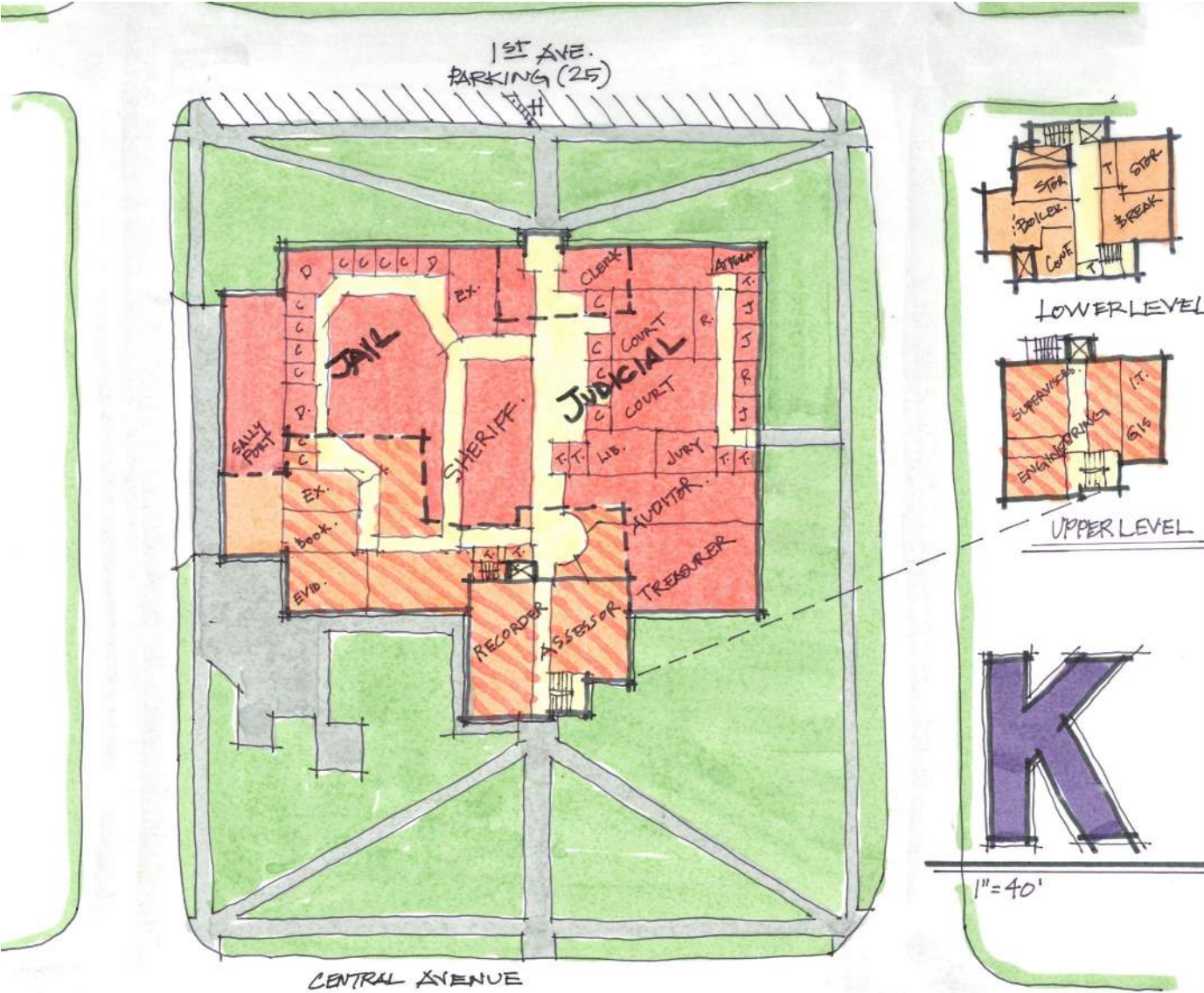


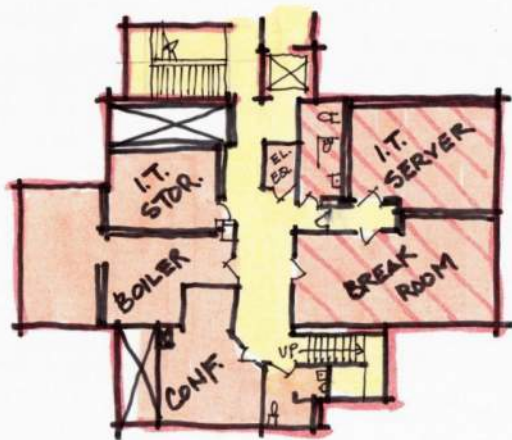
UPPER LEVEL

$\frac{1}{16}'' = 1'-0''$









BASEMENT LEVEL

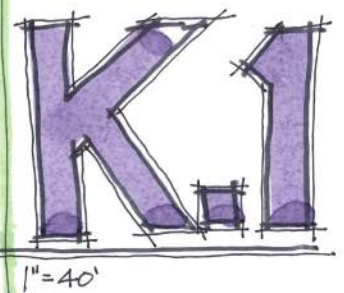
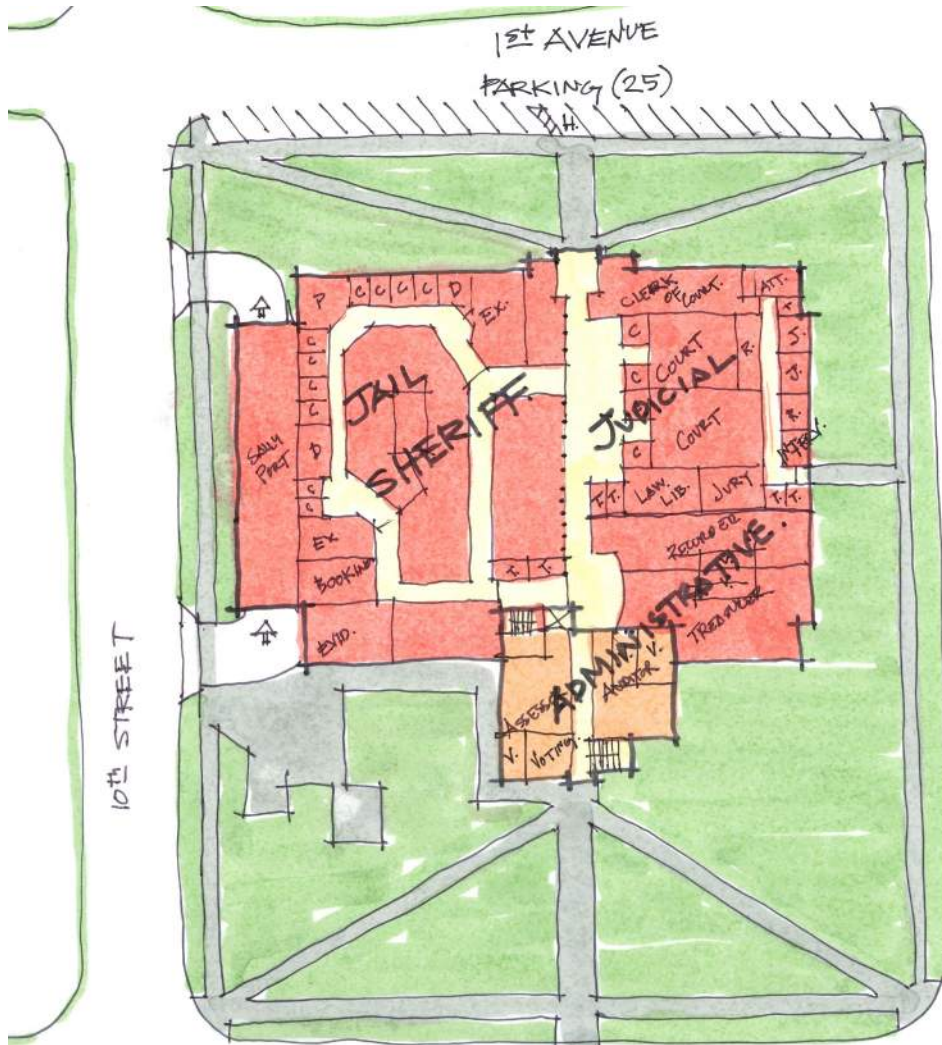
$\frac{1}{16}'' = 1'-0''$

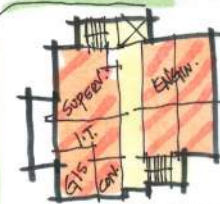


UPPER LEVEL PLAN

$\frac{1}{16}'' = 1'-0''$

COURT **K** HOUSE

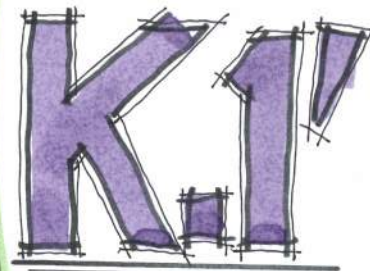




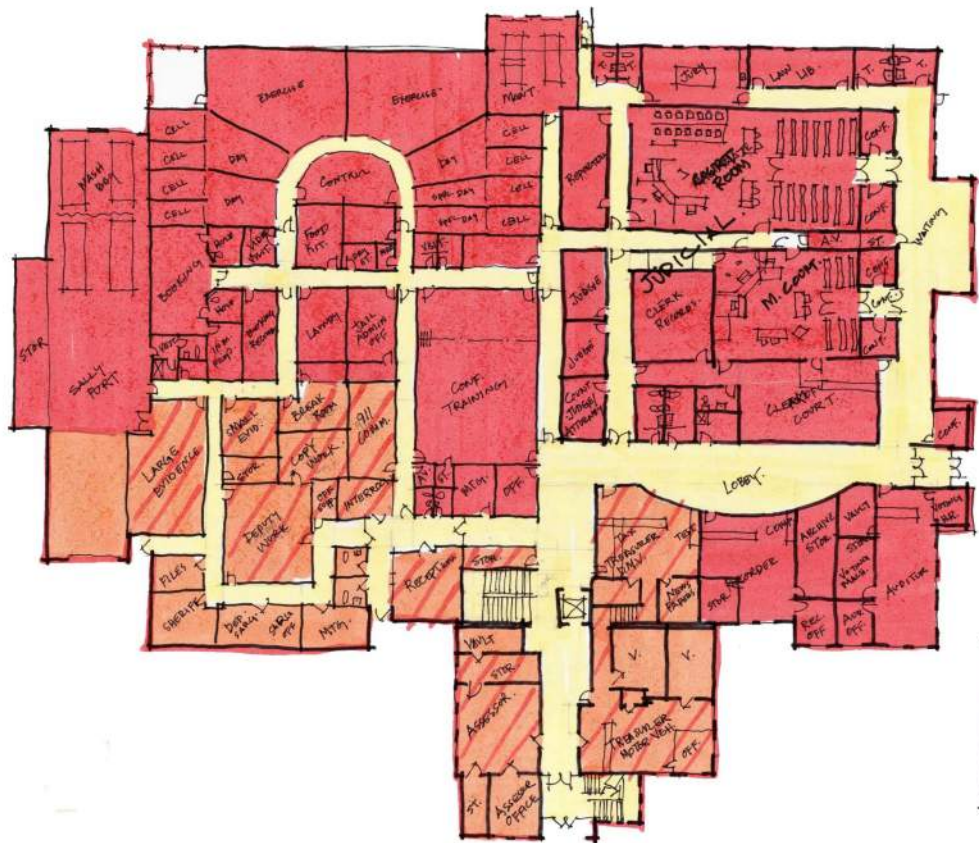
UPPER LEVEL



LOWER LEVEL

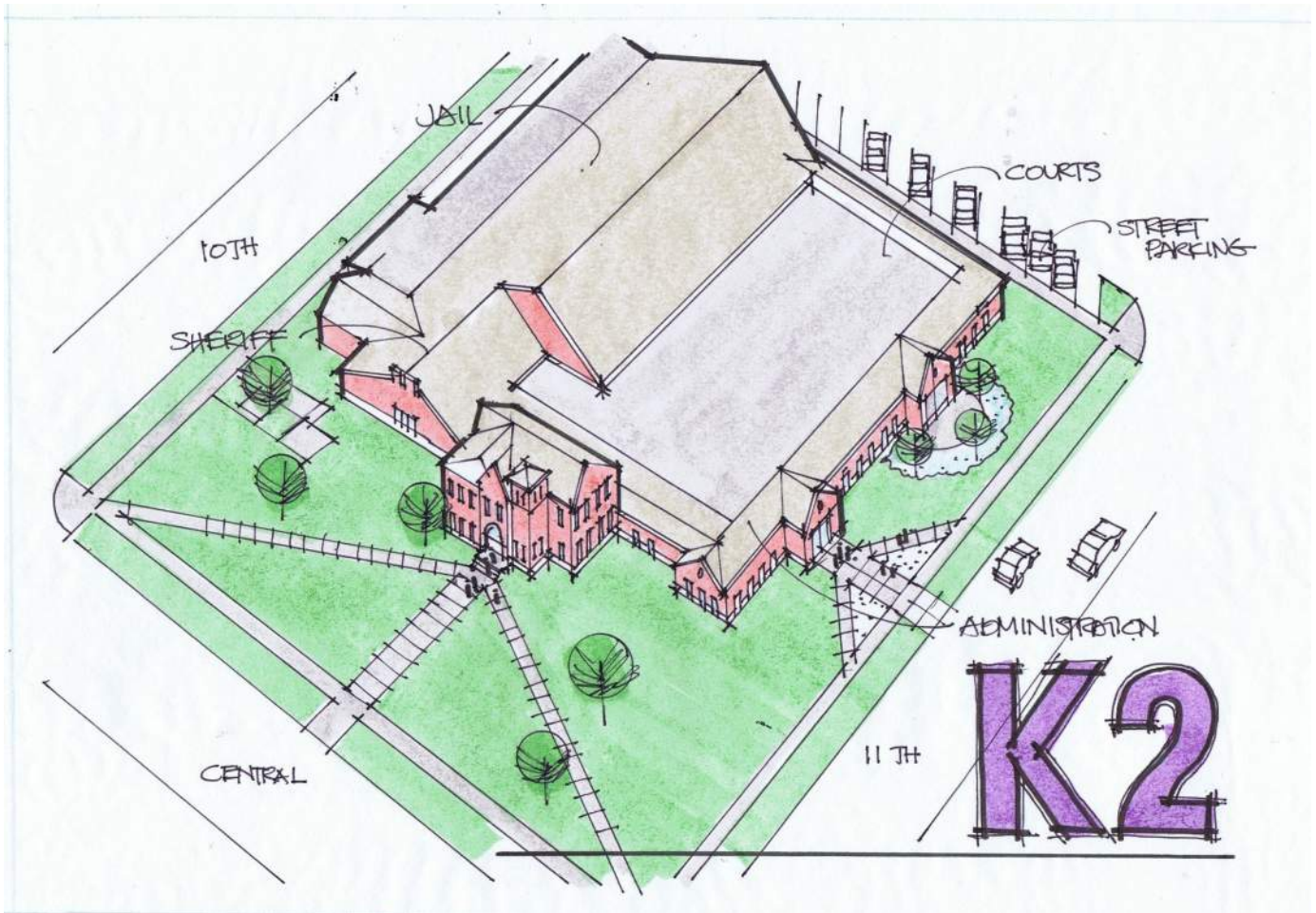


1"=40'



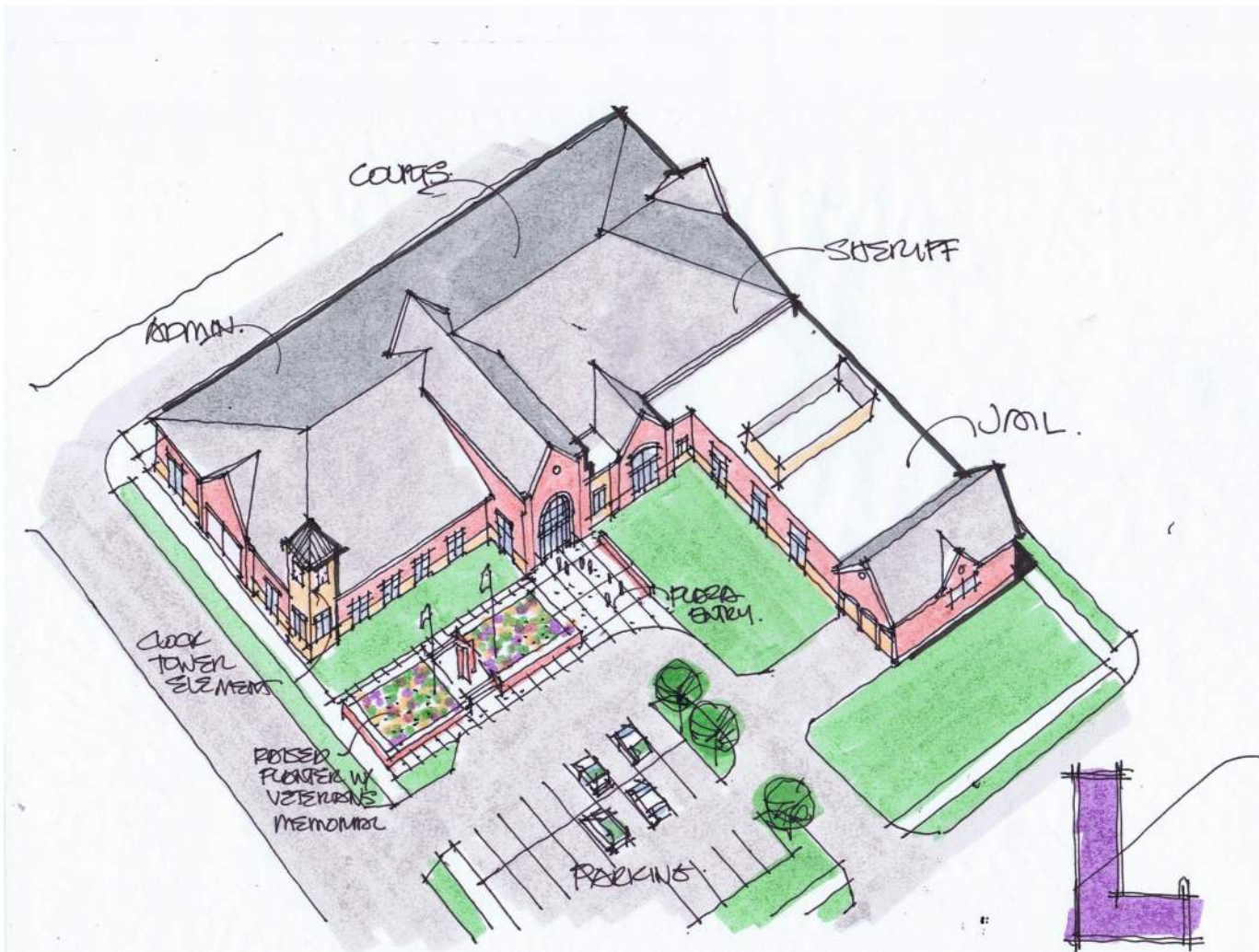
K2

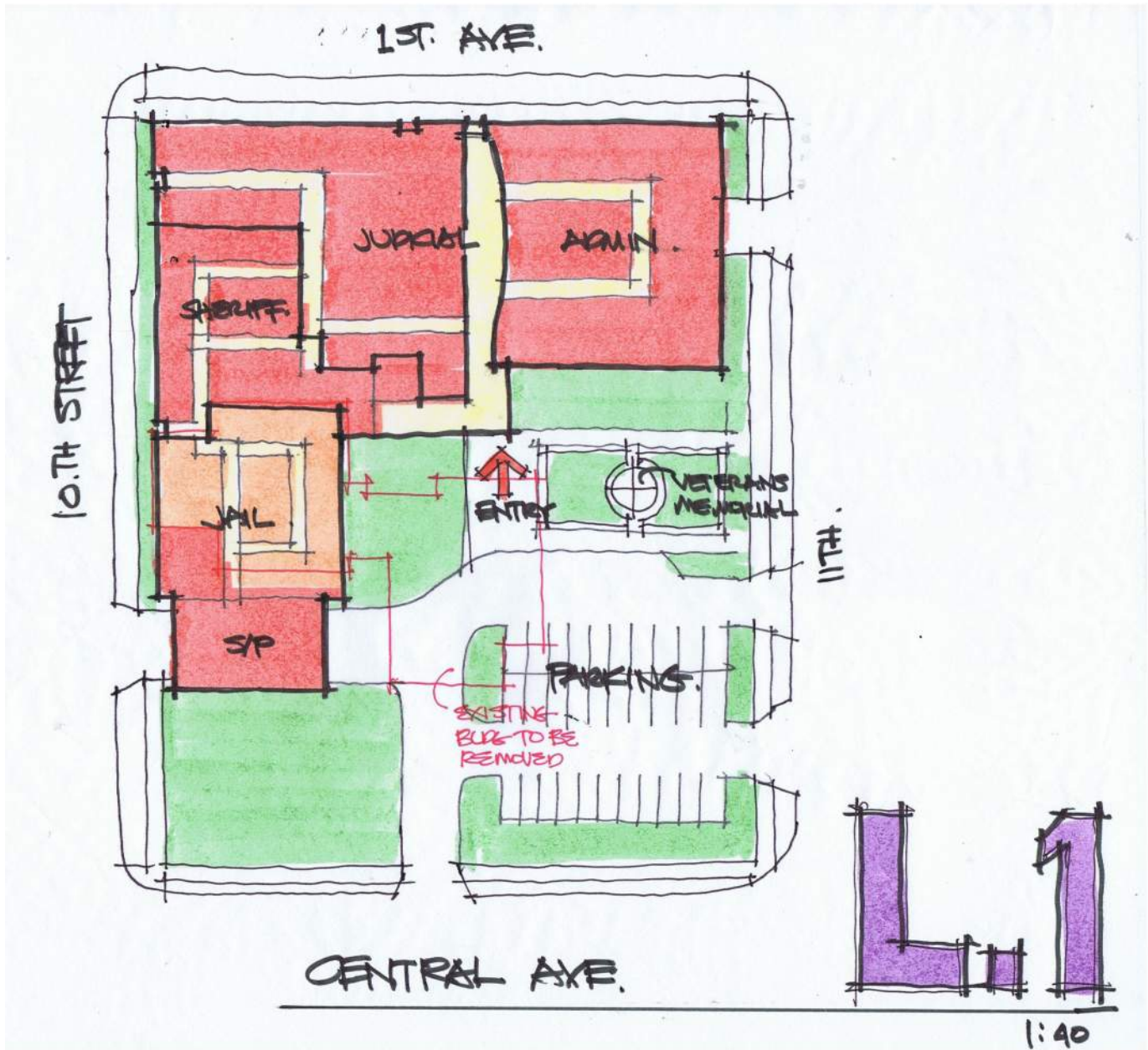
COURTHOUSE
1/16" = 1'0"



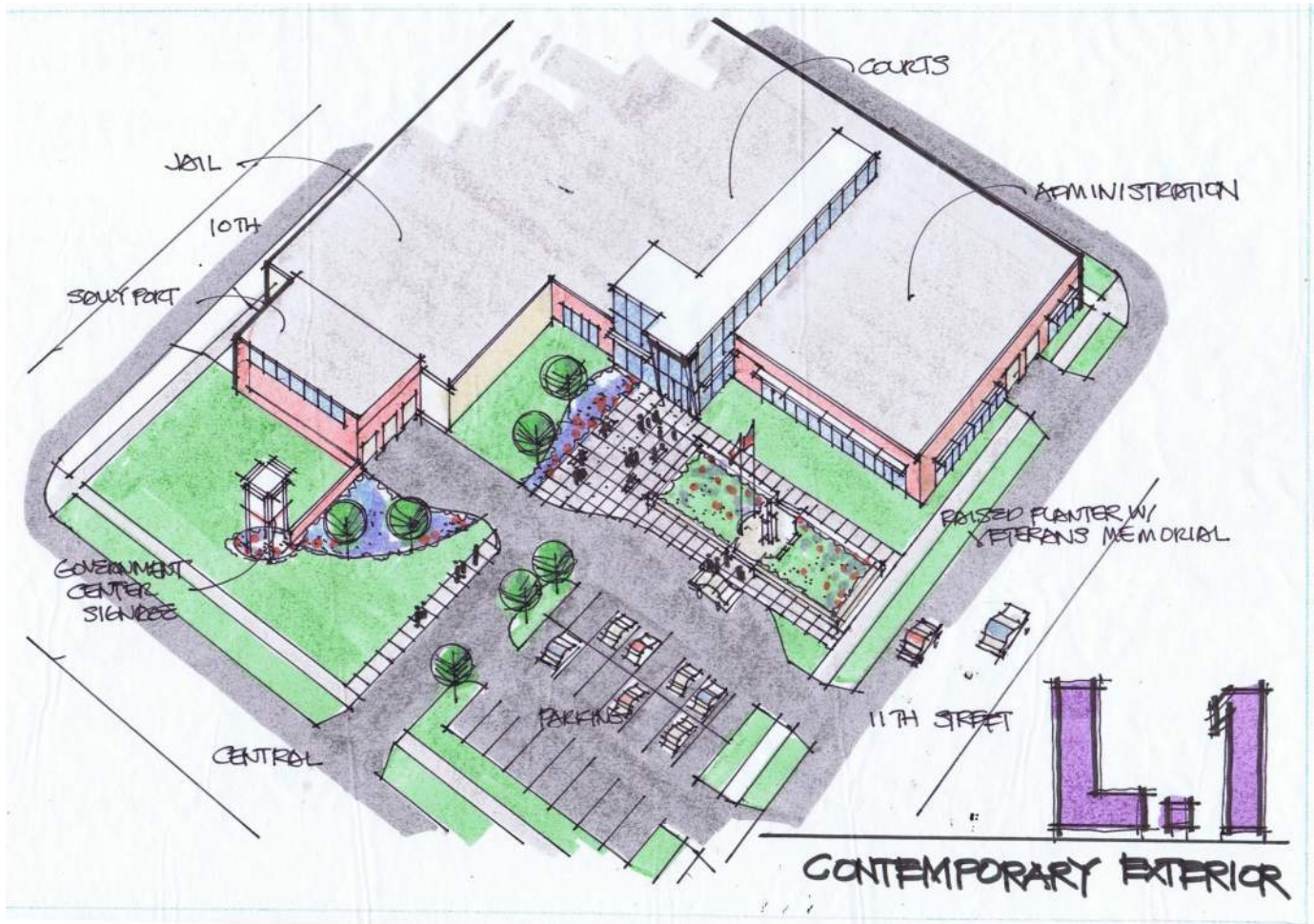




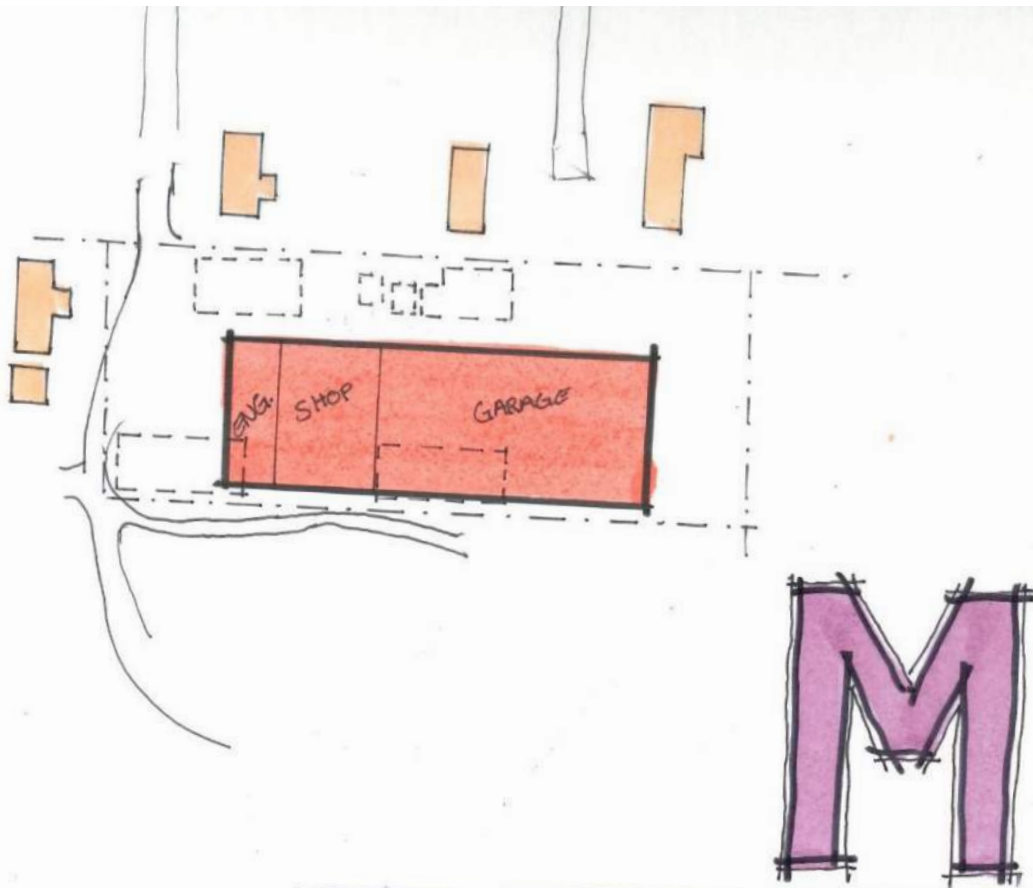




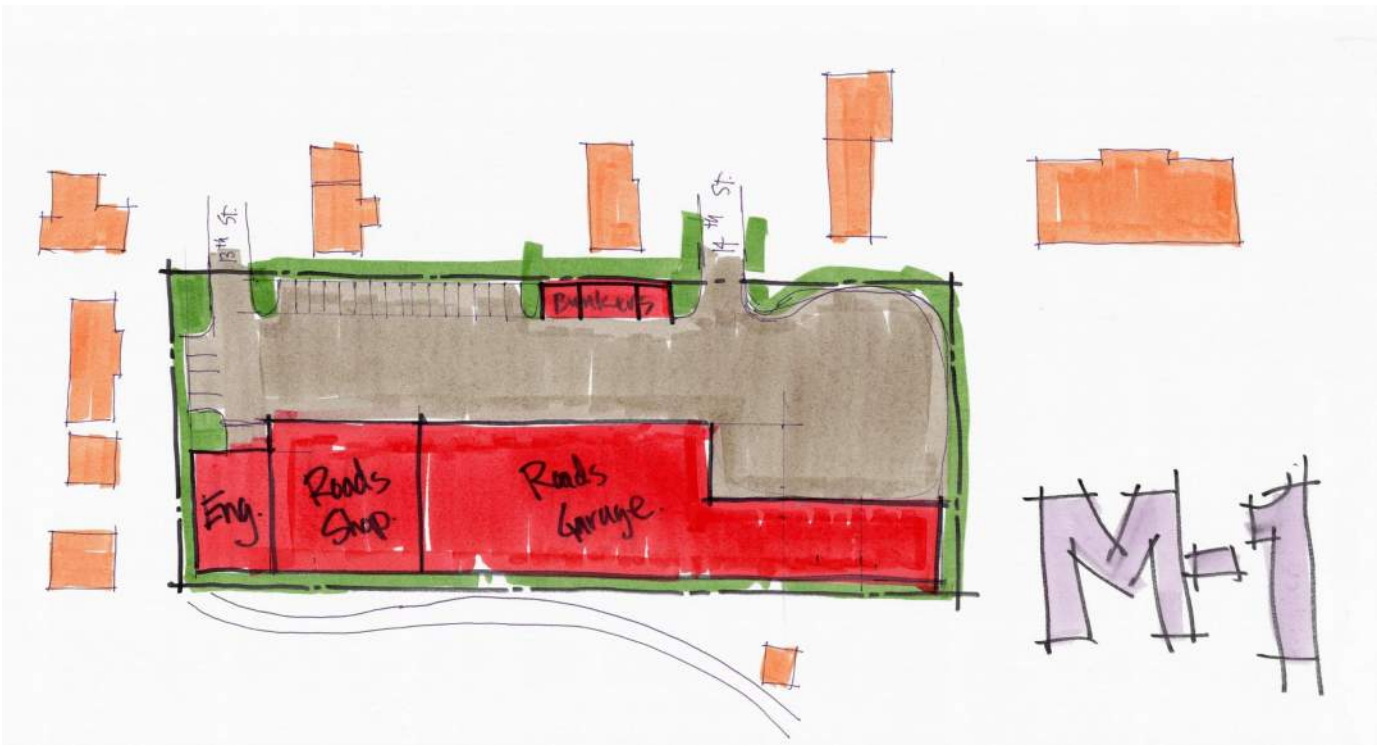


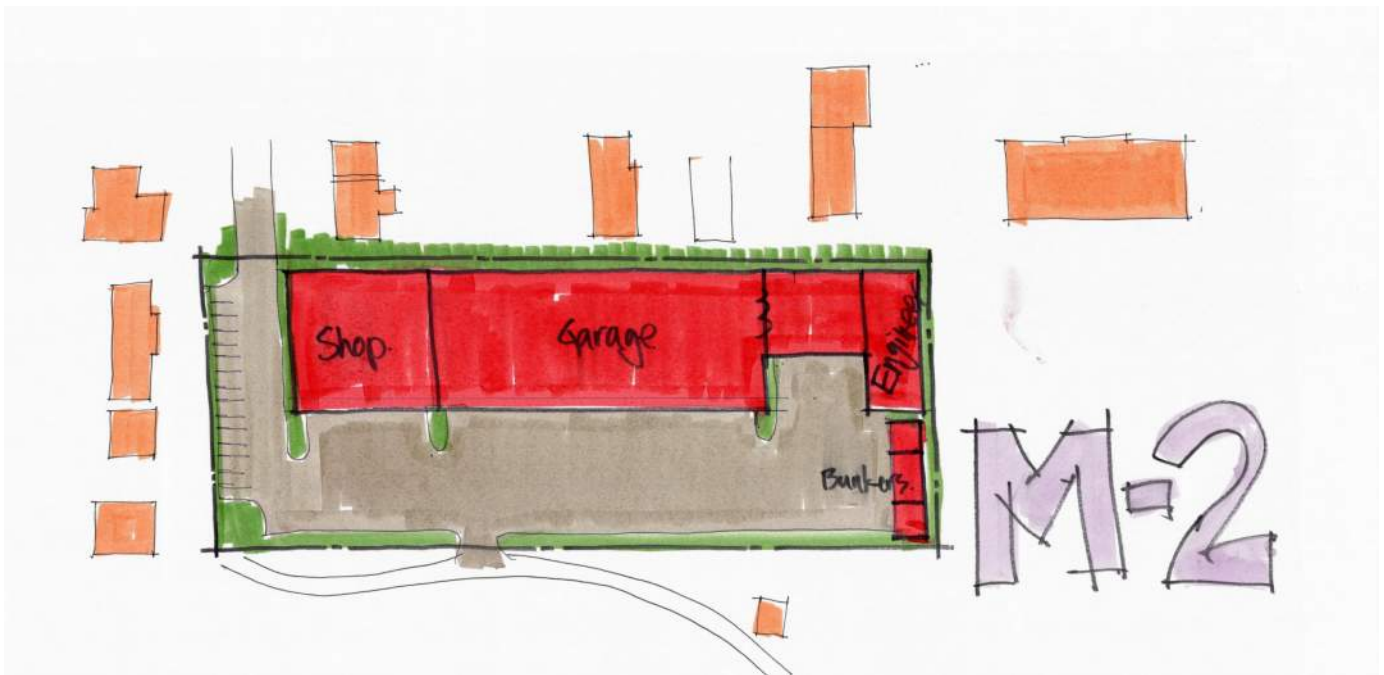


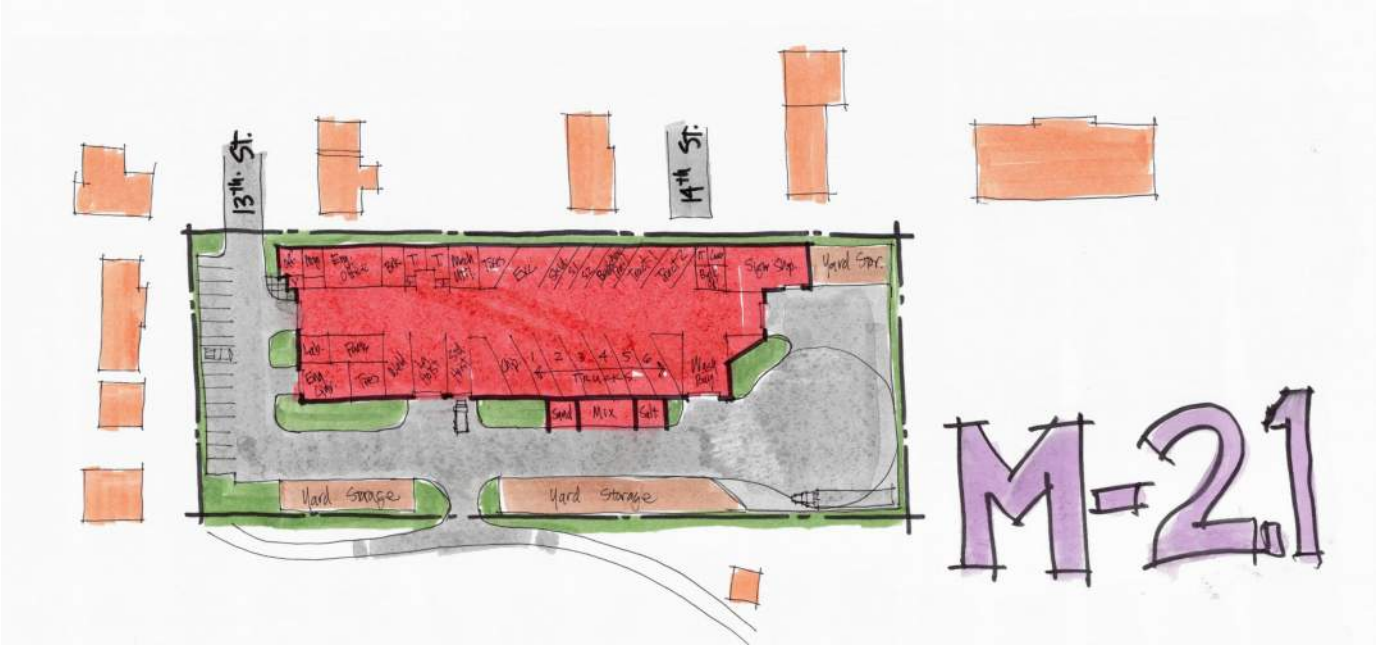


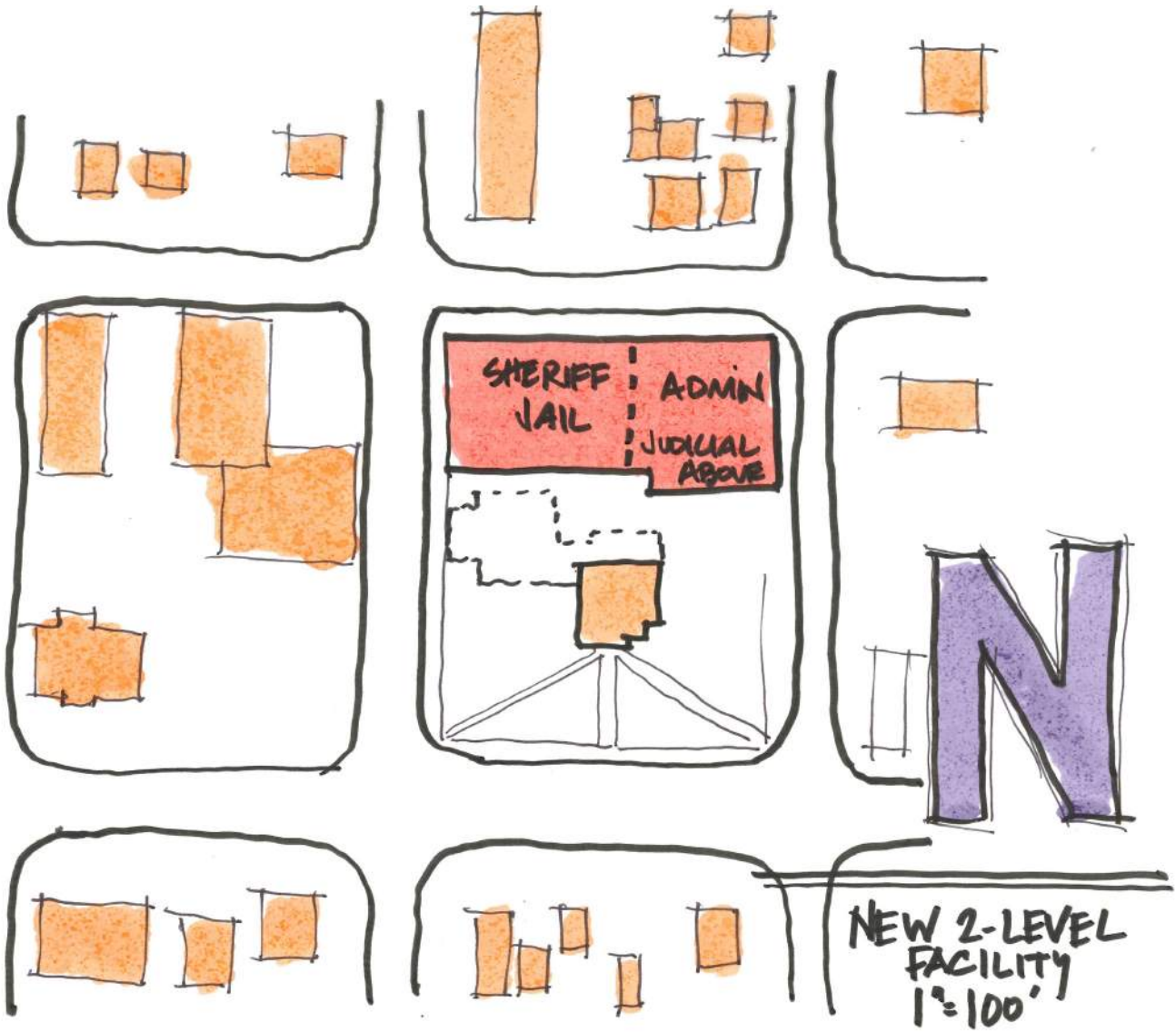


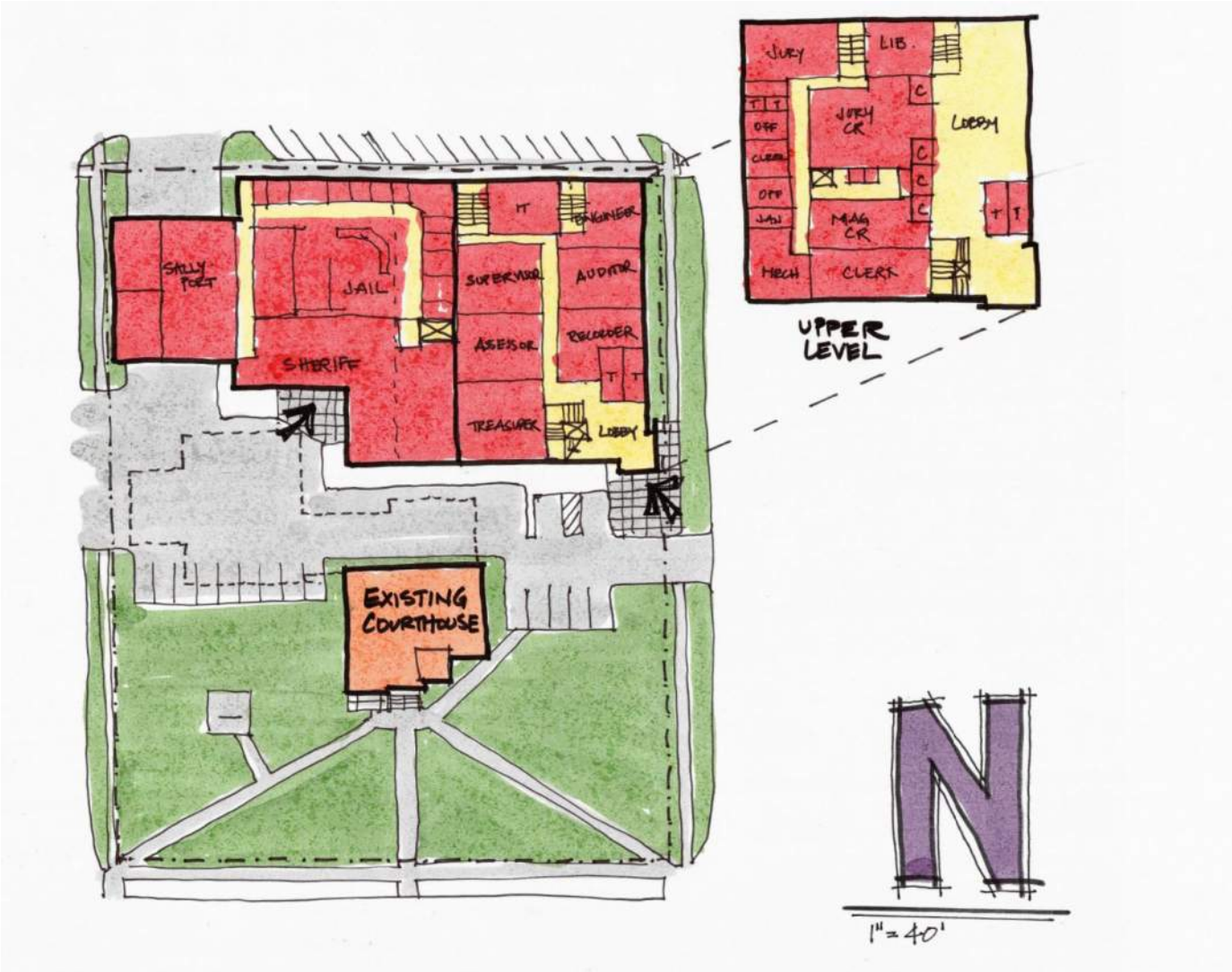
SECONDARY ROADS & ENGINEERING
1" = 100'

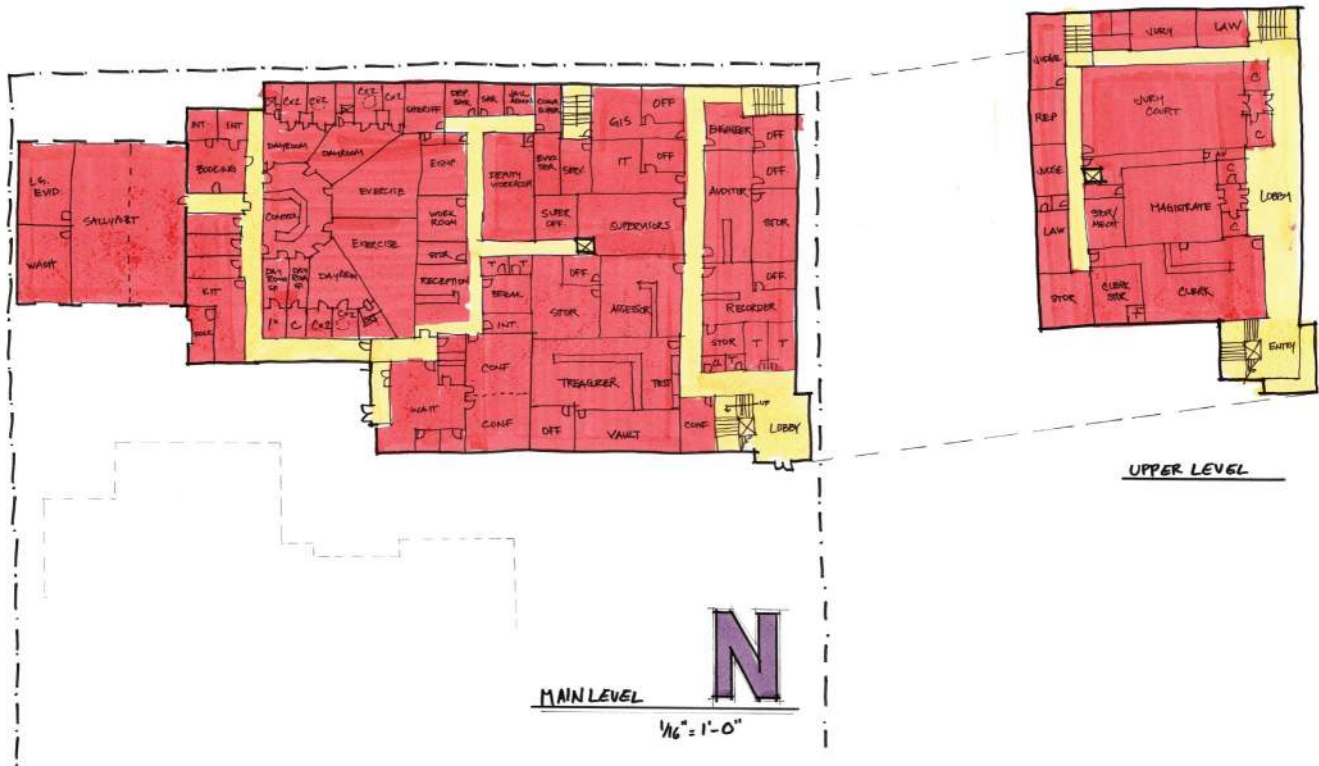






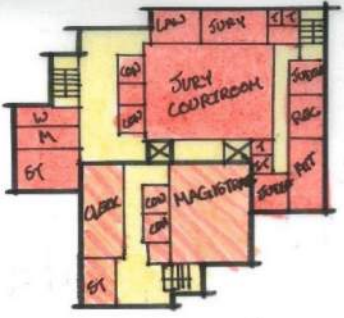




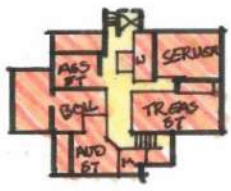




MAIN LEVEL



UPPER LEVEL

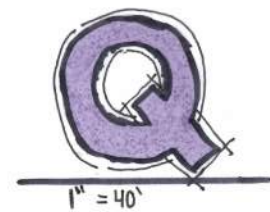
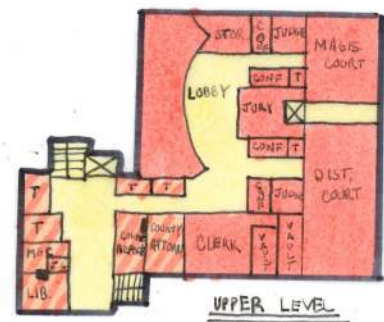


LOWER LEVEL



1" = 40'







FEH DESIGN

Worth County**Pros and Cons Sheet**

Pros/Likes

Cons/Dislikes

Save the Court house It's a historical bldg

*Like the idea of
adding to existing
building.*

*Best proposal
along w/ E*

Keep the historical look of the court house

Make space for tramcar

Best plan

Pro - would work well w/ D & M

More street/sid to inset

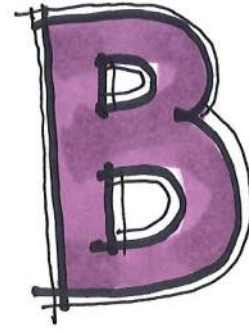




FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

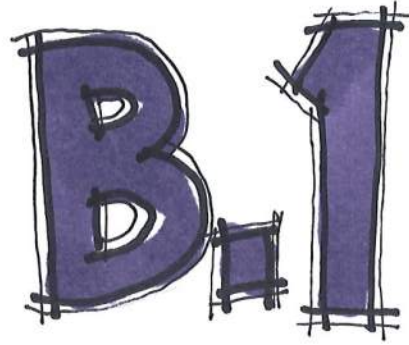
Cons/Dislikes

Con →
- move shop out
of residential area
to E location

M is better



FEH DESIGN



Worth County Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

ELIMINATES TOO MUCH STORAGE POTENTIAL - NO GOOD

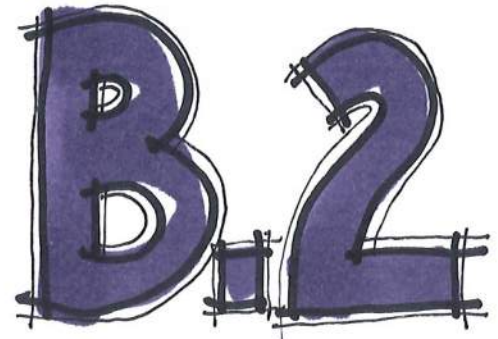
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FEH DESIGN

Worth County Pros and Cons Sheet

Pros/Likes



Cons/Dislikes

IF SITE IS KEPT THIS TYPE OF LAYOUT MIGHT BE BEST, HOWEVER
THE NEIGHBORS TO THE SOUTH MAY NOT LIKE LOOKING AT YARD STORAGE.



FEH DESIGN

Worth County Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

(Same as B.2)

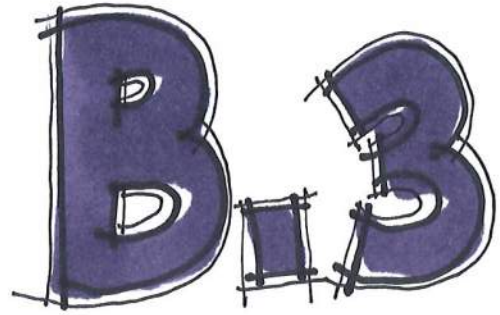
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Worth County

Pros and Cons Sheet



Pros/Likes

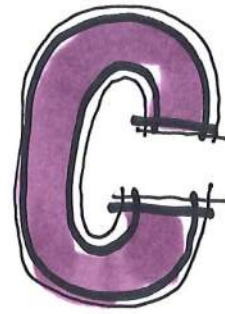
Cons/Dislikes

NORTH FACING DOORS WOULD BE PRONE TO COLD WINDS AND
INCREASED HEATING COSTS.



FEH DESIGN

Worth County Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

More conservation someplace,
so city of Northwood
can purchase area for
parking for the Timbers.

move to E is
a better option



FEH DESIGN

Worth County Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

Pro- Perfect for those 2 to be together and centrally located

Putting conservation office out by recycle center is a very good option.

Great idea to put conservation here!



FEH DESIGN



Worth County Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

Garage entrance blocked
by NW winds.

2

3

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FEH DESIGN



FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

Centrally located, plenty of room Good idea

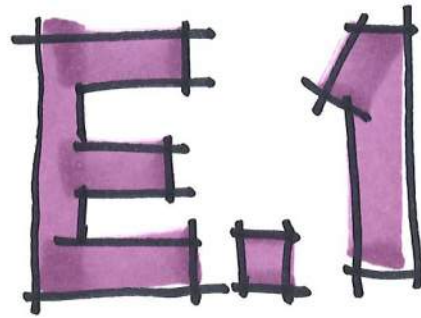
Good idea - Perry John

Good idea - Maybe the
Shop location can be
Add engineering Shared.

- A + E together!



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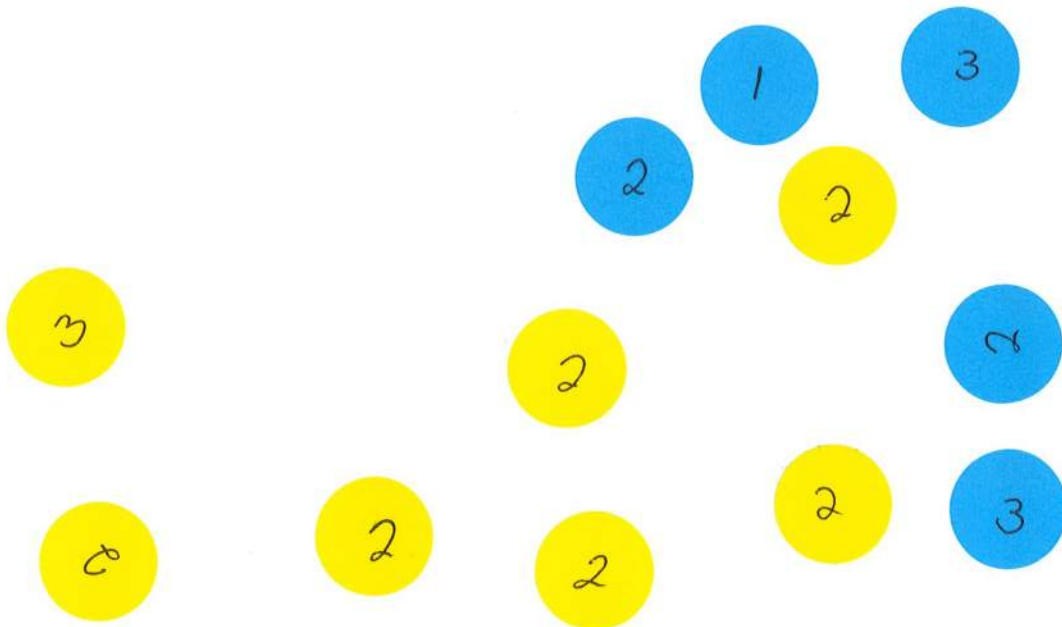


Worth County Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

All these together would be good more room & Sec. Roads out of residential.



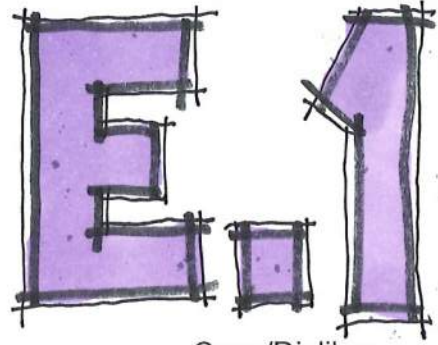
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FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

would be too congested with both
maintenance shop & recycling
good place for conservation



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Worth County Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

1

3

2

3

1

1

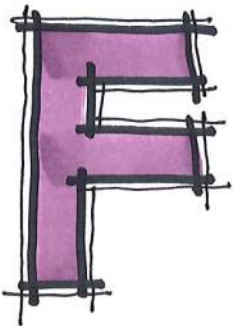
3

3

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Worth County
Pros and Cons Sheet



Pros/Likes

Cons/Dislikes



FEH DESIGN

Worth County Pros and Cons Sheet

Pros/Likes

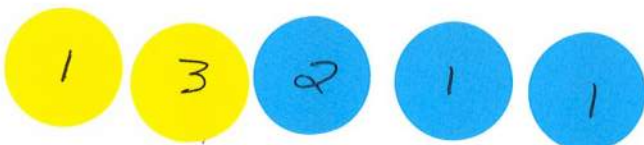


Cons/Dislikes

Need to preserve and save
historic buildings and
continue to use them

Keep architectural facade
of existing courthouse

Treasurer need to be on same level of the other
admin. offices.



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FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

(Con) →
- This Feels wasteful & expensive to totally
move jail & relocate other offices.

Like it but not sure about judicial?

Can you flip so jail is on west side, not as close to school?



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FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

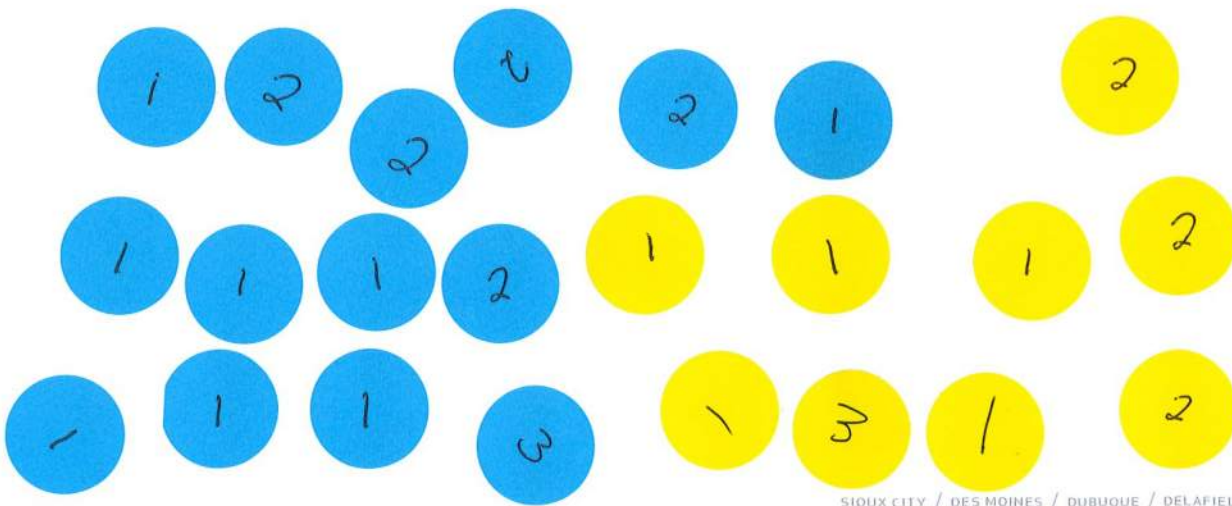
Cons/Dislikes

Like Idea - move to Kensett Tony John
Sheriff's office
is "centrally" located
in the county.

Love the idea - centrally located - Best option.

Best option love the way it looks

~~Courthouse should be in Northwood~~
~~More money to transport.~~



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Worth County
Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

3

2

2

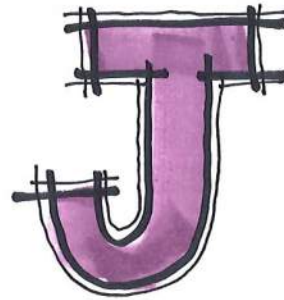
2

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FEH DESIGN

Worth County Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

- Keep existing courthouse
- yes!

Keep existing courthouse
→ TREASURER'S office

Keep existing courthouse

Keep Courthouse → hire full
time maintenance engineer.

Keep courthouse!!
must hire full time maintained

Keep existing bldg.
we don't want to
lose historical
status

No need for new
1-story building if
existing courthouse
is renovated

3

1

1

2

2

2

1

2

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FEH DESIGN

Worth County**Pros and Cons Sheet**

Pros/Likes

Cons/Dislikes

~~Con~~ →
 - Not a good option - Jail can be remodelled.

Pro - Brings the Treasurer in w/ other offices.
 Everyone together. Keeps current Courthouse.
 Best Option.

Best Plan

Would like to see Treasurer w/ other offices - do addition + then renovate courthouse.

K.1' is good, Treasurer could have separate door on westside



FEH DESIGN

Worth County Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

*Like keeping the old but how do you renovate -
& where do folks go during that renovation
time.*



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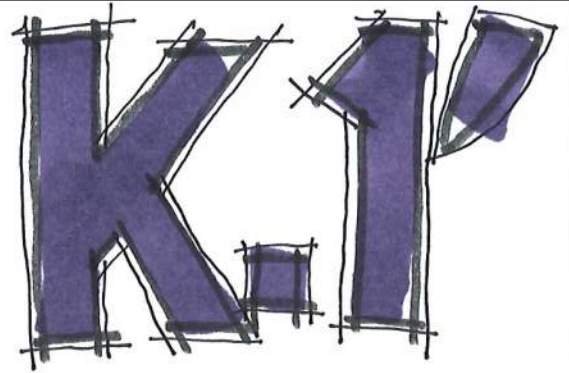


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FEH DESIGN

Worth County Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

*K.I. looks to be
the best*



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Worth County
Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

More the jail to Kersett
more 2nd roads & Conservation to Recycling



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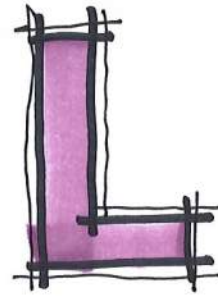
FEH DESIGN



FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

~~Keep courthouse~~

• like this all new option!

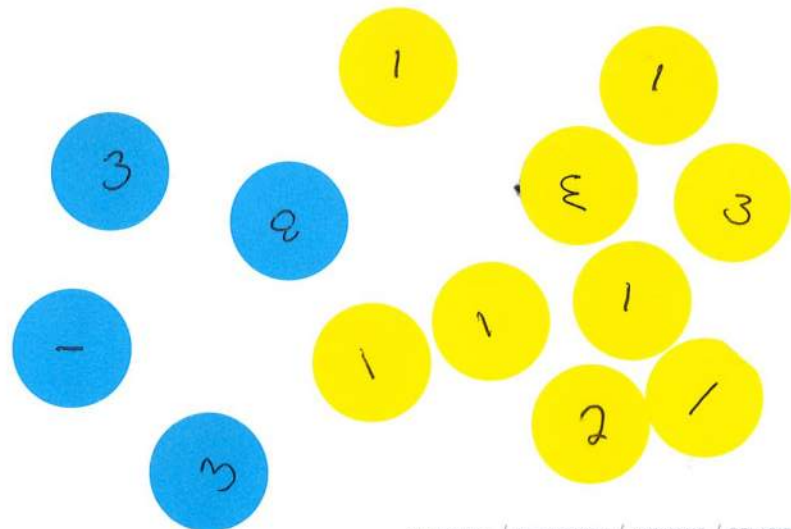
• More empty buildings downtown with this option (including the brewery) } we don't want to lose historical stores

Keep existing building

- Keep courthouse

• prefer to keep jail/sheriff items away from main st.

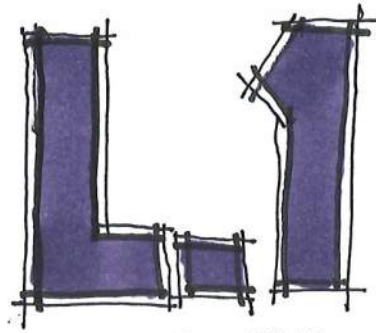
• provide separate parking for sheriff vehicles



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FEH DESIGN



Worth County

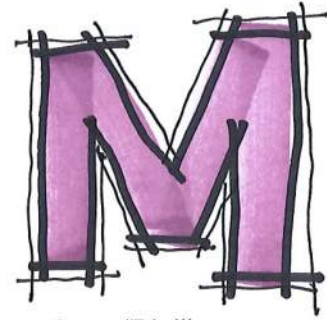
Pros and Cons Sheet

Pros/Likes

Cons/Dislikes



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**FEH DESIGN****Worth County****Pros and Cons Sheet**

Pros/Likes

Cons/Dislikes

Put Engineering with
Sec. Roads at
Same location

Pro - Good idea! ~~the~~



FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

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FEH DESIGN

Worth County

Pros and Cons Sheet



Pros/Likes

Cons/Dislikes

*Engineers with Sec-Rds.
makes sense*

3

3

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FEH DESIGN



Worth County

Pros and Cons Sheet

Pros/Likes

Cons/Dislikes

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FEH DESIGN

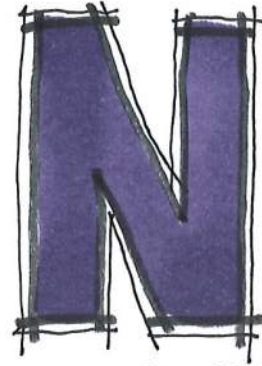
Worth County**Pros and Cons Sheet**

Pros/Likes

Cons/Dislikes

*Keeps existing bldg.
for historical reasons*

Not a fan!



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Q1 Please write any comments, positive and negative, ideas and or suggestions about Option A. The more feedback the Design Team gets, the better!

Answered: 2 Skipped: 5

#	RESPONSES	DATE
1	does not seem to have a good flow to it. very chopped up. Mix of old and new. In efficient building still being used. Spending money to fix junk	5/13/2021 8:02 AM
2	Good option so everything is together. Fix existing buildings and add new. But should rebuild beyond repair.	5/12/2021 7:50 PM

Worth County - Spark Session

Q2 Please write any comments, positive and negative, ideas and or suggestions about Option B. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	that area is too land locked for the secondary roads shop	5/13/2021 8:02 AM

Q3 Please write any comments, positive and negative, ideas and or suggestions about Option B.1. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	same as above	5/13/2021 8:02 AM

Worth County - Spark Session

Q4 Please write any comments, positive and negative, ideas and or suggestions about Option B.2. The more feedback the Design Team gets, the better!

Answered: 3 Skipped: 4

#	RESPONSES	DATE
1	If it has to stay in Northwood this is the best option IMO but the parking on the west is not possible as the street is shared with houses that have drives on it	5/13/2021 8:02 AM
2	Looks better than B. Less roads and entries.	5/12/2021 7:50 PM
3	Very nice, looks the best, seems to be efficient regarding snow.	5/12/2021 7:40 PM

Q5 Please write any comments, positive and negative, ideas and or suggestions about Option B.3. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Doors facing North not a good idea	5/13/2021 8:02 AM

Worth County - Spark Session

Q6 Please write any comments, positive and negative, ideas and or suggestions about Option C. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	this area is worth more for parking lot for the Timbers that keeping it for County use	5/13/2021 8:02 AM

Q7 Please write any comments, positive and negative, ideas and or suggestions about Option D. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	I like this one	5/13/2021 8:02 AM

Worth County - Spark Session

Q8 Please write any comments, positive and negative, ideas and or suggestions about Option D.1. The more feedback the Design Team gets, the better!

Answered: 2 Skipped: 5

#	RESPONSES	DATE
1	OK as well	5/13/2021 8:02 AM
2	Good idea placing conservation out of town. City of Northwood could use existing space for Timbers Events Center.	5/12/2021 7:50 PM

Q9 Please write any comments, positive and negative, ideas and or suggestions about Option E. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	FYI the secondary roads building is sitting on top of the leach field for the septic system.	5/13/2021 8:02 AM

Worth County - Spark Session

Q10 Please write any comments, positive and negative, ideas and or suggestions about Option E.1. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	I like this idea. Consolidation of services into a central location.	5/13/2021 8:02 AM

Q11 Please write any comments, positive and negative, ideas and or suggestions about Option E.2. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Like the building idea at the recycling center.	5/14/2021 8:25 AM

Worth County - Spark Session

Q12 Please write any comments, positive and negative, ideas and or suggestions about Option F. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	too crowded.	5/13/2021 8:02 AM

Q13 Please write any comments, positive and negative, ideas and or suggestions about Option F.1. The more feedback the Design Team gets, the better!

Answered: 4 Skipped: 3

#	RESPONSES	DATE
1	County should sell this property and move out to the recycling center.	5/14/2021 8:25 AM
2	not enough room	5/13/2021 8:02 AM
3	F1 - most cost efficient, because you are saving space and money by sharing and building on same space.	5/12/2021 7:50 PM
4	Even better than B-2, if you are going to move the conservation office.	5/12/2021 7:40 PM

Worth County - Spark Session

Q14 Please write any comments, positive and negative, ideas and or suggestions about Option G. The more feedback the Design Team gets, the better!

Answered: 2 Skipped: 5

#	RESPONSES	DATE
1	Renovate the courthouse after the jail and sheriff move to Kensett and they get a new building with EMS later on. Build new area for clerk, judicial and whatever new spaces and move current courthouse employees to the new area and then renovate the courthouse accordingly.	5/14/2021 8:25 AM
2	I don't like any idea that keeps the old building.	5/13/2021 8:02 AM

Q15 Please write any comments, positive and negative, ideas and or suggestions about Option H. The more feedback the Design Team gets, the better!

Answered: 4 Skipped: 3

#	RESPONSES	DATE
1	The Treasurer's Office should be all open and have enough space for 4 open cubicals. We need a vault and a storage closet. We also have to be very close to the restrooms to accommodate elderly people in for reexam drivers licenses. Drivers license needs to be in the same open space with perhaps a small separate adjoining office.	5/18/2021 9:47 AM
2	The Treasurer's Office needs at minimum the amount of space we have now on our main level and access to a public bathroom that is an option for persons with disabilities to access VERY easily from our office. We cannot have stairs separated our office. Drivers license, tax department and motor vehicle needs to be together, we would like a separate office space for drivers license re-exams.	5/14/2021 9:28 AM
3	Jail and sheriff need to go to Kensett so they have room to grow as needed.	5/14/2021 8:25 AM
4	Looks nice, best courthouse one.	5/12/2021 7:40 PM

Worth County - Spark Session

Q16 Please write any comments, positive and negative, ideas and or suggestions about Option I. The more feedback the Design Team gets, the better!

Answered: 2 Skipped: 5

#	RESPONSES	DATE
1	I like this idea with the potential of the community center transferring to county owned for EMA use as a shelter and training facility along with an EMA building / office west of the CC and ambulance base in this area it makes the most sense.	5/13/2021 8:02 AM
2	Good idea because existing sheriff/jail space in courthouse could be used for other offices.	5/12/2021 7:50 PM

Q17 Please write any comments, positive and negative, ideas and or suggestions about Option I.1. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Take advantage of community center property for jail etc and exercising area for inmates.	5/14/2021 8:25 AM

Worth County - Spark Session

Q18 Please write any comments, positive and negative, ideas and or suggestions about Option J. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q19 Please write any comments, positive and negative, ideas and or suggestions about Option K. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Worth County - Spark Session

Q20 Please write any comments, positive and negative, ideas and or suggestions about Option K.1. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Even better than H.	5/12/2021 7:40 PM

Q21 Please write any comments, positive and negative, ideas and or suggestions about Option K.1 prime. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Take jail and sheriff off an rework the spaces.	5/14/2021 8:25 AM

Worth County - Spark Session

Q22 Please write any comments, positive and negative, ideas and or suggestions about Option K.2. The more feedback the Design Team gets, the better!

Answered: 2 Skipped: 5

#	RESPONSES	DATE
1	The Treasurer's office needs to be together on one level DMV, Motor vehicle, tax and drivers license needs to be together. We are not staffed to be separate and are cross trained to do every job.	5/18/2021 9:47 AM
2	The Treasurer's Office can not be on two different levels. We do not need the current basement storage.	5/14/2021 9:28 AM

Q23 Please write any comments, positive and negative, ideas and or suggestions about Option L. The more feedback the Design Team gets, the better!

Answered: 1 Skipped: 6

#	RESPONSES	DATE
1	Nope. Dislike this idea.	5/12/2021 7:50 PM

Worth County - Spark Session

Q24 Please write any comments, positive and negative, ideas and or suggestions about Option L.1.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q25 Please write any comments, positive and negative, ideas and or suggestions about Option L.1.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Worth County - Spark Session

Q26 Please write any comments, positive and negative, ideas and or suggestions about Option M. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q27 Please write any comments, positive and negative, ideas and or suggestions about Option M.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Worth County - Spark Session

Q28 Please write any comments, positive and negative, ideas and or suggestions about Option M.2.1. The more feedback the Design Team gets, the better!

Answered: 0 Skipped: 7

#	RESPONSES	DATE
	There are no responses.	

Q29 Please write any comments, positive and negative, ideas and or suggestions about Option N. The more feedback the Design Team gets, the better!

Answered: 3 Skipped: 4

#	RESPONSES	DATE
1	I like this but what is the plan for the original courthouse? Who maintains that and what is it's use? If no viable answers then tear it down.	5/13/2021 8:02 AM
2	Any comments I would make on the layout or design of new facilities are irrelevant: the people who work there know their needs best. However, in my opinion, "Designing for COVID" is a backwards criteria to try to adhere to, as that factor is rapidly retreating into our rear view mirror. Also, I support the criteria of updating technology and infrastructure for today's uses, but I would suggest adjusting the phrasing (and vision) to say "...for tomorrow's uses..."	5/13/2021 7:35 AM
3	Makes everyone happy. New courthouse with saving the old for historical reason.	5/12/2021 7:50 PM

Option A - Total Project Budget

Owner: Worth County
Project: Facility Planning

Project No.: 2020317
Phase: Conceptual Design

Date: 5/25/21
Estimator: KE

FEH - Total Project Budget - Option A

DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:				
New Construction				
1 County Courthouse - New construction (no treasurer space, stair only)	750	SF	220.00	165,000
2 County Courthouse - Renovation for Urgent \$102,150 and required \$156,600 c	1	LS	258,750.00	258,750
3 County Sheriff & Jail - New Construction	12,610	SF	357.00	4,501,770
4 County Sheriff & Jail - Renovation	5,000	SF	165.00	825,000
5 County Engineering (& maintenance)	3,000	SF	168.00	504,000
6 County Roads	0	SF	0.00	0
7 County Conservation	0	SF	0.00	0
SubTotal				6,254,520
Design / Bid Contingency 10%				625,452
Building Construction Costs SubTotal				6,879,972
Construction Contingency 5%				343,999
BUILDING CONSTRUCTION COST TOTAL				\$7,223,971
Site Work Construction Costs				
11 Structure Deconstruction - Engineering & Maintenance	3,170	SF	7	22,190
12 Remove trees	6	EA	750	4,500
13 Remove foundations - engineering	2,000	SF	1	2,000
14 Hazard Material survey, sample, test for site demo	1	LS	2,500	2,500
15 Hazardous material abatement	4,000	SF	4	16,000
16 New Parking Spaces	44	EA	3,000.00	132,000
17 New Drive Lane	3,360	SF	6.00	20,160
18 Concrete Curb and Gutter	320	LF	12.00	3,840
19 Children's Outdoor Program area	0	SF	8.00	0
21 Storm Sewer	320	LF	32	10,240
22 Domestic Water	60	LF	100	6,000
23 Sanitary Sewer	120	LF	38	4,560
24 Electrical service, transformer	1	LS	24,000	24,000
25 Relocate power lines & poles	0	LS	20,000	0
26 Fill material	450	CY	27	12,150
27 Retaining Walls	0	LF	120	0
28 Pedestrian Paving	2,700	SF	5.00	13,500
29 Lawns & Landscaping	31,200	SF	1	31,200
30 Benches and site furniture, donated	0	LS	4,000	0
31 Roof canopy	0	LS	30	0
32 Flag pole	0	LS	2,800	0
33 Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34 Storm Water Detention - underground	0	SF	12,000	0
35 Parking lot lighting	8	EA	1,900	15,200
36 Solar Panels -	60	KW	1,730	103,800
SubTotal				447,840
Design / Bid Contingency 10%				44,784
Site Work Construction Costs SubTotal				492,624
Construction Contingency 5%				24,631
SITE WORK CONSTRUCTION COST TOTAL				\$517,255
Soft Costs				
40 Land Acquisition	1	LS	-	0
41 Legal Fees	1	LS	-	5,000
42 Architectural & Engineering Design Fees	1	LS	-	580,592
43 Information & Technology Design Fees	1	LS	-	7,200
44 Furnishing Design, selection, bidding Fees	1	LS	-	40,560
45 Civil Engineering Design Fees	1	LS	-	12,000
46 SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47 Site Survey	1	LS	-	6,000
48 Reimbursable expenses by the design team	1	LS	-	5,000
49 Conformance with federal funding planning and reporting requirements	1	LS	-	0
50 Printing Costs for Construction Documents	1	LS	-	10,000
51 Phase 1 environmental or archeological surveys	1	LS	-	0
52 Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53 Owner's Builders Risk Insurance	1	LS	-	5,000
54 Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55 Utility costs during Construction by Owner	1	LS	-	8,000
56 Fixtures, Furnishings & Equipment Allowance \$24/SF new	13,000	SF	24.00	312,000
57 Fixtures, Furnishings & Equipment Allowance \$12/SF existing	5,000	SF	12.00	60,000
58 Technology & Computer Equipment Allowance	18,000	LS	5.00	90,000
59 Energy & Utility Rebates	1	LS	-	0
60 Geotechnical subsurface investigation	1	LS	-	10,000
61 Geo Thermal Test Well	1	LS	-	20,000
62 Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63 Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64 Rent of temporary space	1	LS	-	10,000
65 Ground breaking and dedication ceremonies	1	LS	-	1,500
66 Owner provided Communications equipment	1	LS	-	40,000
67 Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68 Hazardous Material Abatement	1	LS	-	100,000
69 Conceptual design planning	1	LS	-	30,000
70 Historic Preservation assessments & services	1	LS	-	12,000
71 Commissioning of systems	1	LS	-	10,000
72 LEED or other sustainability certification services	1	LS	-	0
73 Space Needs Programming	1	LS	-	0
74 Referendum Campaign Facilitation	1	LS	-	8,000
75 Fundraising Consulting & grant writing	1	LS	-	0
76 Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				1,534,852
Site Work Construction Cost Total				517,255
Building Construction Cost Total				7,223,971
PROJECT TOTAL COST				\$9,276,078
Inflation - average 3% per year				\$9,832,642.40

Option D - Total Project Budget

Owner: Worth County
Project : Facility Planning

Project No.: 2020317
Phase: Conceptual Design

Date : 5/21/21
Estimator : KE

FEH - Total Project Budget - Option D

DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:				
New Construction				
1 County Courthouse - New construction (no treasurer space, stair only)	0	SF	220.00	0
2 County Courthouse - Renovation for Urgent \$102,150 and required \$156,600 c	0	LS	0.00	0
3 County Sheriff & Jail - New Construction	0	SF	357.00	0
4 County Sheriff & Jail - Renovation	0	SF	165.00	0
5 County Engineering (& maintenance)	0	SF	168.00	0
6 County Roads	0	SF	0.00	0
7 County Conservation	9,060	SF	140.00	1,268,400
SubTotal				1,268,400
Design / Bid Contingency 10%				126,840
Building Construction Costs SubTotal				1,395,240
Construction Contingency 5%				69,762
BUILDING CONSTRUCTION COST TOTAL				\$1,465,002
Site Work Construction Costs				
11 Structure Deconstruction - Engineering & Maintenance	0	SF	7	0
12 Remove trees	0	EA	750	0
13 Remove foundations - engineering	0	SF	1	0
14 Hazard Material survey, sample, test for site demo	0	LS	2500	0
15 Hazardous material abatement	0	SF	4	0
16 New Parking Spaces	0	EA	3,000.00	0
17 New Drive Lane	9,800	SF	6.00	58,800
18 Concrete Curb and Gutter	0	LF	12.00	0
19 Children's Outdoor Program area	0	SF	8.00	0
21 Storm Sewer	0	LF	32	0
22 Domestic Water	210	LF	100	21,000
23 Sanitary Sewer	240	LF	38	9,120
24 Electrical service, transformer	1	LS	24,000	24,000
25 Relocate power lines & poles	0	LS	20,000	0
26 Fill material	740	CY	27	19,980
27 Retaining Walls	0	LF	120	0
28 Pedestrian Paving	300	SF	5.00	1,500
29 Lawns & Landscaping	10,000	SF	1	10,000
30 Benches and site furniture, donated	0	LS	4,000	0
31 Roof canopy	0	LS	30	0
32 Flag pole	1	LS	2,800	2,800
33 Directional & Informational Signage - signage, electronic site sign and building	1	LS	7,000	7,000
34 Storm Water Detention - Rain barrels	4	EA	600.00	2,400
35 Parking lot lighting	2	EA	1,900	3,800
36 Solar Panels -	30	KW	1,730	51,900
SubTotal				212,300
Design / Bid Contingency 10%				21,230
Site Work Construction Costs SubTotal				233,530
Construction Contingency 5%				11,677
SITE WORK CONSTRUCTION COST TOTAL				\$245,207
40 Land Acquisition	1	LS	-	0
41 Legal Fees	1	LS	-	5,000
42 Architectural & Engineering Design Fees	1	LS	-	128,266
43 Information & Technology Design Fees	1	LS	-	2,000
44 Furnishing Design, selection, bidding Fees	1	LS	-	15,600
45 Civil Engineering Design Fees	1	LS	-	10,000
46 SWPPP & NPDES plans, permits and reviews	1	LS	-	0
47 Site Survey	1	LS	-	6,000
48 Reimbursable expenses by the design team	1	LS	-	5,000
49 Conformance with federal funding planning and reporting requirements	1	LS	-	0
50 Printing Costs for Construction Documents	1	LS	-	8,000
51 Phase 1 environmental or archeological surveys	1	LS	-	0
52 Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53 Owner's Builders Risk Insurance	1	LS	-	5,000
54 Quality Control Material Testing & Inspections during construction	1	LS	-	12,000
55 Utility costs during Construction by Owner	1	LS	-	4,000
56 Fixtures, Furnishings & Equipment Allowance \$24/SF new	5,000	SF	24.00	120,000
57 Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58 Technology & Computer Equipment Allowance	5,000	LS	5.00	25,000
59 Energy & Utility Rebates	1	LS	-	0
60 Geotechnical subsurface investigation	1	LS	-	10,000
61 Geo Thermal Test Well	1	LS	-	20,000
62 Infrastructure Equipment Connections by Owner	1	LS	-	1,200
63 Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	20,000
64 Rent of temporary space	1	LS	-	0
65 Ground breaking and dedication ceremonies	1	LS	-	0
66 Owner provided Communications equipment	1	LS	-	0
67 Hazardous Material survey sample & test for buildings	1	LS	-	0
68 Hazardous Material Abatement	1	LS	-	0
69 Conceptual design planning	1	LS	-	8,000
70 Historic Preservation assessments & services	1	LS	-	0
71 Commissioning of systems	1	LS	-	0
72 LEED or other sustainability certification services	1	LS	-	0
73 Space Needs Programming	1	LS	-	0
74 Referendum Campaign Facilitation	1	LS	-	0
75 Fundraising Consulting and grant writing	1	LS	-	0
76 Soft Cost Contingency	1	LS	-	25,000
Soft Cost SubTotal				432,066
Site Work Construction Cost Total				245,207
Building Construction Cost Total				1,465,002
PROJECT TOTAL COST				\$2,142,274
Inflation - average 3% per year				\$2,270,810.59

Option E.1 - Total Project Budget

Owner: Worth County
Project : Facility Planning

Project No: 2020317
Phase: Conceptual Design

Date : 5/13/21
Estimator : KE

FEH - Total Project Budget - Option E.1

DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	0	SF	220.00	0
2	County Courthouse - Historic Renovation	0	SF	145.00	0
3	County Sheriff & Jail - New Construction	0	SF	357.00	0
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	0	SF	168.00	0
6	County Roads, 280' x 110'	31,000	SF	132.00	4,092,000
7	Bunkers	1,400	SF	70.00	98,000
SubTotal					4,190,000
Design / Bld Contingency 10%					419,000
Building Construction Costs SubTotal					4,609,000
Construction Contingency 5%					230,450
BUILDING CONSTRUCTION COST TOTAL					\$4,839,450
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance	16,000	SF	7	112,000
12	Remove trees	0	EA	750	0
13	Remove foundations - eng	16,000	SF	1	16,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15	Hazardous material abatement	4,000	SF	4	16,000
16	New Parking Spaces	14	SF	3,000.00	42,000
17	New Drive Lane	4,800	LS	6.00	28,800
18	Concrete Curb and Gutter	0	LF	12.00	0
19	Emergency Generator	0	SF	8.00	0
21	Storm Sewer	0	LF	32	0
22	Domestic Water	200	LF	100	20,000
23	Sanitary Sewer - septic field, grease separator	600	LF	38	22,800
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	0	LS	20,000	0
26	Fill material	650	CY	27	17,550
27	Retaining Walls	100	LF	120	12,000
28	Pedestrian Paving	800	SF	5.00	4,000
29	Lawns & Landscaping	10,000	SF	1	10,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	0	LS	24,000	0
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	6	EA	1,900	11,400
36	Solar Panels -	60	KW	1,730	103,800
SubTotal					445,650
Design / Bld Contingency 10%					44,565
Site Work Construction Costs SubTotal					490,215
Construction Contingency 5%					24,511
SITE WORK CONSTRUCTION COST TOTAL					\$514,726
40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	401,563
43	Information & Technology Design Fees	1	LS	-	160
44	Furnishing Design, selection, bidding fees	1	LS	-	6,240
45	Civil Engineering Design Fees	1	LS	-	15,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47	Site Survey	1	LS	-	8,000
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55	Utility costs during Construction by Owner	1	LS	-	8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	2,000	SF	24.00	48,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58	Technology & Computer Equipment Allowance	400	LS	5.00	2,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	16,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	80,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	20,000
64	Rent of temporary space	1	LS	-	0
65	Ground breaking and dedication ceremonies	1	LS	-	0
66	Owner provided Communications equipment	1	LS	-	0
67	Hazardous Material survey sample & test for buildings	1	LS	-	2,500
68	Hazardous Material Abatement	1	LS	-	10,000
69	Conceptual design planning	1	LS	-	15,000
70	Historic Preservation assessments & services	1	LS	-	0
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal					779,463
Site Work Construction Cost Total					514,726
Building Construction Cost Total					4,839,450
PROJECT TOTAL COST					\$6,133,639
Inflation - average 3% per year					\$6,501,657.27

Option E.2 - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date : 5/13/21		
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE		
FEH - Total Project Budget - Option E.2						
DESCRIPTION			QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:						
New Construction						
1	County Courthouse - New construction	0	SF	220.00		0
2	County Courthouse - Historic Renovation	0	SF	145.00		0
3	County Sheriff & jail - New Construction	0	SF	357.00		0
4	County Sheriff & jail - Renovation	0	SF	165.00		0
5	County Engineering (maintenance)	0	SF	168.00		0
6	County Roads, 280' x 110'	31,000	SF	132.00		4,092,000
7	Bunkers	1,400	SF	70.00		98,000
8	County Conservation	9,060	SF	140.00		1,268,400
9	Recycling - move pole barn to new foundation	8,000	SF	80.00		640,000
SubTotal						6,098,400
Design / Bid Contingency 10%						609,840
Building Construction Costs SubTotal						6,708,240
Construction Contingency 5%						335,412
BUILDING CONSTRUCTION COST TOTAL						\$7,043,652
Site Work Construction Costs						
11	Structure Deconstruction -	0	SF	7		0
12	Remove trees	0	EA	750		0
13	Remove foundations -	8,000	SF	1		8,000
14	Hazard Material survey, sample, test for site demo	0	LS	2500		0
15	Hazardous material abatement	0	SF	4		0
16	New Parking Spaces	16	SF	3,000.00		48,000
17	New Drive Lane	4,800	LS	6.00		28,800
18	Concrete Curb and Gutter	0	LF	12.00		0
19	Emergency Generator	0	SF	8.00		0
21	Storm Sewer	0	LF	32		0
22	Domestic Water	220	LF	100		22,000
23	Sanitary Sewer - septic field, grease separator	750	LF	38		28,500
24	Electrical service, transformer	1	LS	24,000		24,000
25	Relocate power lines & poles	0	LS	20,000		0
26	Fill material	650	CY	27		17,550
27	Retaining Walls	100	LF	120		12,000
28	Pedestrian Paving,	800	SF	5.00		4,000
29	Lawns & Landscaping	10,000	SF	1		10,000
30	Benches and site furniture, donated	0	LS	4,000		0
31	Roof canopy	0	LS	30		0
32	Flag pole	1	LS	2,800		2,800
33	Directional & Informational Signage - signage, electronic site sign and building	0	LS	24,000		0
34	Storm Water Detention - underground	0	SF	12.00		0
35	Parking lot lighting	6	EA	1,900		11,400
36	Solar Panels -	60	KW	1,730		103,800
SubTotal						320,850
Design / Bid Contingency 10%						32,085
Site Work Construction Costs SubTotal						352,935
Construction Contingency 5%						17,647
SITE WORK CONSTRUCTION COST TOTAL						\$370,582
40	Land Acquisition	1	LS	-		0
41	Legal Fees	1	LS	-		5,000
42	Architectural & Engineering Design Fees	1	LS	-		556,068
43	Information & Technology Design Fees	1	LS	-		2,000
44	Furnishing Design, selection, bidding Fees	1	LS	-		15,600
45	Civil Engineering Design Fees	1	LS	-		15,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-		5,000
47	Site Survey	1	LS	-		8,000
48	Reimbursable expenses by the design team	1	LS	-		5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-		0
50	Printing Costs for Construction Documents	1	LS	-		12,000
51	Phase I environmental or archeological surveys	1	LS	-		0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-		2,000
53	Owner's Builders Risk Insurance	1	LS	-		5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-		25,000
55	Utility costs during Construction by Owner	1	LS	-		6,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	5,000	SF	24.00		120,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00		0
58	Technology & Computer Equipment Allowance	5,000	LS	5.00		25,000
59	Energy & Utility Rebates	1	LS	-		0
60	Geotechnical subsurface investigation	1	LS	-		16,000
61	Geo Thermal Test Well	1	LS	-		20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-		80,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-		20,000
64	Rent of temporary space	1	LS	-		0
65	Ground breaking and dedication ceremonies	1	LS	-		0
66	Owner provided Communications equipment	1	LS	-		0
67	Hazardous Material survey sample & test for buildings	1	LS	-		0
68	Hazardous Material Abatement	1	LS	-		0
69	Conceptual design planning	1	LS	-		15,000
70	Historic Preservation assessments & services	1	LS	-		0
71	Commissioning of systems	1	LS	-		0
72	LEED or other sustainability certification services	1	LS	-		0
73	Space Needs Programming	1	LS	-		0
74	Referendum Campaign Facilitation	1	LS	-		0
75	Fundraising Consultanting & grant writing	1	LS	-		0
76	Soft Cost Contingency	1	LS	-		40,000
Soft Cost SubTotal						997,668
Site Work Construction Cost Total						370,582
Building Construction Cost Total						7,043,652
PROJECT TOTAL COST						\$8,411,901
Inflation - average 3% per year						\$8,916,615.36

Option G - Total Project Budget

Owner: Worth County
Project : Facility Planning

Project No.: 2020317
Phase: Conceptual Design

Date : 5/25/21
Estimator : KE

FEH - Total Project Budget - Option G

DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:				
New Construction				
1 County Courthouse - New construction	4,400	SF	220.00	968,000
2 County Courthouse - Historic Renovation	12,600	SF	145.00	1,827,000
3 County Sheriff & Jail - New Construction	0	SF	357.00	0
4 County Sheriff & Jail - Renovation	5,000	SF	165.00	825,000
5 County Engineering (maintenance)	0	SF	168.00	0
6 County Roads	0	SF	0.00	0
7 County Conservation	0	SF	0.00	0
SubTotal				3,620,000
Design / Bid Contingency 10%				362,000
Building Construction Costs SubTotal				3,982,000
Construction Contingency 5%				199,100
BUILDING CONSTRUCTION COST TOTAL				\$4,181,100
Site Work Construction Costs				
11 Structure Deconstruction - Engineering & Maintenance	0	SF	7	0
12 Remove trees	0	EA	750	0
13 Remove foundations - eng	0	SF	1	0
14 Hazard Material survey, sample, test for site demo	0	LS	2500	0
15 Hazardous material abatement	0	SF	4	0
16 New Parking Spaces	14	SF	3,000.00	42,000
17 New Drive Lane	0	LS	6.00	0
18 Concrete Curb and Gutter	0	LF	12.00	0
19 Emergency Generator	1	LS	20,000.00	20,000
21 Storm Sewer	0	LF	32	0
22 Domestic Water	60	LF	100	6,000
23 Sanitary Sewer	60	LF	38	2,280
24 Electrical service, transformer	1	LS	24,000	24,000
25 Relocate power lines & poles	0	LS	20,000	0
26 Fill material	180	CY	27	4,860
27 Retaining Walls	0	LF	120	0
28 Pedestrian Paving	1,200	SF	5.00	6,000
29 Lawns & Landscaping	5,000	SF	1	5,000
30 Benches and site furniture, donated	0	LS	4,000	0
31 Roof canopy	0	LS	30	0
32 Flag pole	0	LS	2,800	0
33 Directional & Informational Signage - signage, electronic site sign and building	0	LS	24,000	0
34 Storm Water Detention - underground	0	SF	12.00	0
35 Parking lot lighting	1	EA	1,900	1,900
36 Solar Panels -	60	KW	1,730	103,800
SubTotal				215,840
Design / Bid Contingency 10%				21,584
Site Work Construction Costs SubTotal				237,424
Construction Contingency 5%				11,871
SITE WORK CONSTRUCTION COST TOTAL				\$249,295
40 Land Acquisition	1	LS	-	0
41 Legal Fees	1	LS	-	5,000
42 Architectural & Engineering Design Fees	1	LS	-	332,280
43 Information & Technology Design Fees	1	LS	-	6,400
44 Furnishing Design, selection, bidding Fees	1	LS	-	34,320
45 Civil Engineering Design Fees	1	LS	-	8,000
46 SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47 Site Survey	1	LS	-	4,500
48 Reimbursable expenses by the design team	1	LS	-	5,000
49 Conformance with federal funding planning and reporting requirements	1	LS	-	0
50 Printing Costs for Construction Documents	1	LS	-	10,000
51 Phase I environmental or archeological surveys	1	LS	-	0
52 Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53 Owner's Builders Risk Insurance	1	LS	-	5,000
54 Quality Control Material Testing & Inspections during construction	1	LS	-	15,000
55 Utility costs during Construction by Owner	1	LS	-	6,000
56 Fixtures, Furnishings & Equipment Allowance \$24/SF new	11,000	SF	24.00	264,000
57 Fixtures, Furnishings & Equipment Allowance \$12/SF existing	11,000	SF	12.00	132,000
58 Technology & Computer Equipment Allowance	16,000	LS	5.00	80,000
59 Energy & Utility Rebates	1	LS	-	0
60 Geotechnical subsurface investigation	1	LS	-	10,000
61 Geo Thermal Test Well	1	LS	-	20,000
62 Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63 Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64 Rent of temporary space	1	LS	-	40,000
65 Ground breaking and dedication ceremonies	1	LS	-	1,500
66 Owner provided Communications equipment	1	LS	-	40,000
67 Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68 Hazardous Material Abatement	1	LS	-	100,000
69 Conceptual design planning	1	LS	-	30,000
70 Historic Preservation assessments & services	1	LS	-	16,000
71 Commissioning of systems	1	LS	-	10,000
72 LEED or other sustainability certification services	1	LS	-	0
73 Space Needs Programming	1	LS	-	0
74 Referendum Campaign Facilitation	1	LS	-	8,000
75 Fundraising Consulting & grant writing	1	LS	-	0
76 Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				1,300,000
Site Work Construction Cost Total				249,295
Building Construction Cost Total				4,181,100
PROJECT TOTAL COST				\$5,730,395
Inflation - average 3% per year				\$6,074,218.53

Option H - Total Project Budget

Owner: Worth County
Project : Facility Planning

Project No.: 2020317
Phase: Conceptual Design

Date : 5/13/21
Estimator : KE

FEH - Total Project Budget - Option H

DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:				
New Construction				
1 County Courthouse - New construction	9,800	SF	220.00	2,156,000
2 County Courthouse - Historic Renovation	12,600	SF	145.00	1,827,000
3 County Sheriff & Jail - New Construction	12,610	SF	357.00	4,501,770
4 County Sheriff & Jail - Renovation	5,000	SF	165.00	825,000
5 County Engineering (maintenance)	3,000	SF	168.00	504,000
6 County Roads	0	SF	0.00	0
7 County Conservation	0	SF	0.00	0
SubTotal				9,813,770
Design / Bid Contingency 10%				981,377
Building Construction Costs SubTotal				10,795,147
Construction Contingency 5%				539,757
BUILDING CONSTRUCTION COST TOTAL				\$11,334,904
Site Work Construction Costs				
11 Structure Deconstruction - Engineering & Maintenance	3,170	SF	7	22,190
12 Remove trees	6	EA	750	4,500
13 Remove foundations - eng	2,000	SF	1	2,000
14 Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15 Hazardous material abatement	4,000	SF	4	16,000
16 New Parking Spaces	26	SF	3,000.00	78,000
17 New Drive Lane	1,600	LS	6.00	9,600
18 Concrete Curb and Gutter	320	LF	12.00	3,840
19 Children's Outdoor Program area	0	SF	8.00	0
21 Storm Sewer	180	LF	32	5,760
22 Domestic Water	60	LF	100	6,000
23 Sanitary Sewer	120	LF	38	4,560
24 Electrical service, transformer	1	LS	24,000	24,000
25 Relocate power lines & poles	0	LS	20,000	0
26 Fill material	450	CY	27	12,150
27 Retaining Walls	0	LF	120	0
28 Pedestrian Paving,	2,600	SF	5.00	13,000
29 Lawns & Landscaping	31,200	SF	1	31,200
30 Benches and site furniture, donated	0	LS	4,000	0
31 Roof canopy	0	LS	30	0
32 Flag pole	0	LS	2,800	0
33 Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34 Storm Water Detention - underground	0	SF	12.00	0
35 Parking lot lighting	8	EA	1,900	15,200
36 Solar Panels -	60	KW	1,730	103,800
SubTotal				378,300
Design / Bid Contingency 10%				37,830
Site Work Construction Costs SubTotal				416,130
Construction Contingency 5%				20,807
SITE WORK CONSTRUCTION COST TOTAL				\$436,937
40 Land Acquisition	1	LS	-	0
41 Legal Fees	1	LS	-	5,000
42 Architectural & Engineering Design Fees	1	LS	-	882,888
43 Information & Technology Design Fees	1	LS	-	9,600
44 Furnishing Design, selection, bidding Fees	1	LS	-	62,400
45 Civil Engineering Design Fees	1	LS	-	8,000
46 SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47 Site Survey	1	LS	-	4,500
48 Reimbursable expenses by the design team	1	LS	-	5,000
49 Conformance with federal funding planning and reporting requirements	1	LS	-	0
50 Printing Costs for Construction Documents	1	LS	-	12,000
51 Phase I environmental or archeological surveys	1	LS	-	0
52 Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53 Owner's Builders Risk Insurance	1	LS	-	5,000
54 Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55 Utility costs during Construction by Owner	1	LS	-	8,000
56 Fixtures, Furnishings & Equipment Allowance \$24/SF new	20,000	SF	24.00	480,000
57 Fixtures, Furnishings & Equipment Allowance \$12/SF existing	17,600	SF	12.00	211,200
58 Technology & Computer Equipment Allowance	24,000	LS	5.00	120,000
59 Energy & Utility Rebates	1	LS	-	0
60 Geotechnical subsurface investigation	1	LS	-	10,000
61 Geo Thermal Test Well	1	LS	-	20,000
62 Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63 Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64 Rent of temporary space	1	LS	-	40,000
65 Ground breaking and dedication ceremonies	1	LS	-	1,500
66 Owner provided Communications equipment	1	LS	-	40,000
67 Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68 Hazardous Material Abatement	1	LS	-	100,000
69 Conceptual design planning	1	LS	-	30,000
70 Historic Preservation assessments & services	1	LS	-	12,000
71 Commissioning of systems	1	LS	-	10,000
72 LEED or other sustainability certification services	1	LS	-	0
73 Space Needs Programming	1	LS	-	0
74 Referendum Campaign Facilitation	1	LS	-	8,000
75 Fundraising Consultanting & grant writing	1	LS	-	0
76 Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				2,237,088
Site Work Construction Cost Total				436,937
Building Construction Cost Total				11,334,904
PROJECT TOTAL COST				\$14,008,929
Inflation - average 3% per year				\$14,849,464.65

Option I - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date : 5/25/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option I					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	0	SF	220.00	0
2	County Courthouse - Historic Renovation	0	SF	145.00	0
3	County Sheriff & Jail - New Construction	17,610	SF	357.00	6,286,770
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	0	SF	168.00	0
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
SubTotal					6,286,770
Design / Bid Contingency 10%					628,677
Building Construction Costs SubTotal					6,915,447
Construction Contingency 5%					345,772
BUILDING CONSTRUCTION COST TOTAL					\$7,261,219
Site Work Construction Costs					
11	Structure Deconstruction - small structure	300	SF	7	2,100
12	Remove trees	4	EA	750	3,000
13	Remove foundations - eng	300	SF	1	300
14	Hazard Material survey, sample, test for site demo	0	LS	2500	0
15	Hazardous material abatement	0	SF	4	0
16	New Parking Spaces	10	SF	3,000.00	30,000
17	New Drive Lane	2,000	SF	6.00	12,000
18	Concrete Curb and Gutter	0	LF	12.00	0
19	Emergency generator	1	LS	24,000.00	24,000
21	Storm Sewer	300	LF	32	9,600
22	Domestic Water	300	LF	100	30,000
23	Sanitary Sewer	300	LF	38	11,400
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	1	LS	20,000	20,000
26	Fill material	300	CY	27	8,100
27	Retaining Walls	0	LF	120	0
28	Pedestrian Paving,	1,200	SF	5.00	6,000
29	Lawns & Landscaping	20,000	SF	1	20,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	2	EA	1,900	3,800
36	Solar Panels -	60	KW	1,730	103,800
SubTotal					334,900
Design / Bid Contingency 10%					33,490
Site Work Construction Costs SubTotal					368,390
Construction Contingency 5%					18,420
SITE WORK CONSTRUCTION COST TOTAL					\$386,810

40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	535,362
43	Information & Technology Design Fees	1	LS	-	6,800
44	Furnishing Design, selection, bidding Fees	1	LS	-	21,840
45	Civil Engineering Design Fees	1	LS	-	12,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	6,000
47	Site Survey	1	LS	-	4,500
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	8,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	24,000
55	Utility costs during Construction by Owner	1	LS	-	4,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	7,000	SF	24.00	168,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58	Technology & Computer Equipment Allowance	17,000	LS	5.00	85,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	10,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	38,000
64	Rent of temporary space	1	LS	-	0
65	Ground breaking and dedication ceremonies	1	LS	-	1,500
66	Owner provided Communications equipment	1	LS	-	40,000
67	Hazardous Material survey sample & test for buildings	1	LS	-	0
68	Hazardous Material Abatement	1	LS	-	0
69	Conceptual design planning	1	LS	-	30,000
70	Historic Preservation assessments & services	1	LS	-	0
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal					1,095,002
Site Work Construction Cost Total					386,810
Building Construction Cost Total					7,261,219
PROJECT TOTAL COST					\$8,743,031
Inflation - average 3% per year					\$9,267,612.72

Option J - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date : 5/25/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option J					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	22,000	SF	220.00	4,840,000
2	County Courthouse - Historic Renovation	0	SF	145.00	0
3	County Sheriff & Jail - New Construction	0	SF	357.00	0
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	3,000	SF	168.00	504,000
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
SubTotal				5,344,000	
Design / Bid Contingency 10%				534,400	
Building Construction Costs SubTotal				5,878,400	
Construction Contingency 5%				293,920	
BUILDING CONSTRUCTION COST TOTAL				\$6,172,320	
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance	21,500	SF	7	150,500
12	Remove trees	6	EA	750	4,500
13	Remove foundations - eng	13,000	SF	1	13,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15	Hazardous material abatement	21,600	SF	4	86,400
16	New Parking Spaces	24	SF	3,000.00	72,000
17	New Drive Lane	3,200	SF	6.00	19,200
18	Concrete Curb and Gutter	420	LF	12.00	5,040
19	Emergency Generator	1	LS	20,000.00	20,000
21	Storm Sewer	300	LF	32	9,600
22	Domestic Water	60	LF	120	7,200
23	Sanitary Sewer	60	LF	50	3,000
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	0	LS	20,000	0
26	Fill material	500	CY	27	13,500
27	Retaining Walls	0	LF	120	0
28	Pedestrian Paving,	3,200	SF	5.00	16,000
29	Lawns & Landscaping	44,000	SF	1	44,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	8	EA	1,900	15,200
36	Solar Panels -	60	KW	1,750	105,800
SubTotal				636,240	
Design / Bid Contingency 10%				63,624	
Site Work Construction Costs SubTotal				699,864	
Construction Contingency 5%				34,993	
SITE WORK CONSTRUCTION COST TOTAL				\$734,857	

40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	483,502
43	Information & Technology Design Fees	1	LS	-	8,800
44	Furnishing Design, selection, bidding Fees	1	LS	-	68,640
45	Civil Engineering Design Fees	1	LS	-	8,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47	Site Survey	1	LS	-	4,500
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	30,000
55	Utility costs during Construction by Owner	1	LS	-	6,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	22,000	SF	24.00	528,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58	Technology & Computer Equipment Allowance	22,000	LS	5.00	110,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	10,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64	Rent of temporary space	1	LS	-	0
65	Ground breaking and dedication ceremonies	1	LS	-	1,500
66	Owner provided Communications equipment	1	LS	-	40,000
67	Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68	Hazardous Material Abatement	1	LS	-	100,000
69	Conceptual design planning	1	LS	-	30,000
70	Historic Preservation assessments & services	1	LS	-	0
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				1,610,942	
Site Work Construction Cost Total				734,857	
Building Construction Cost Total				6,172,320	
PROJECT TOTAL COST				\$8,518,120	
Inflation - average 3% per year				\$9,029,206.78	

Option K.1 - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date : 5/25/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option K1					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	11,400	SF	220.00	2,508,000
2	County Courthouse - Historic Renovation	12,600	SF	145.00	1,827,000
3	County Sheriff & Jail - New Construction	17,610	SF	357.00	6,286,770
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (& maintenance)	2,000	SF	168.00	336,000
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
SubTotal				10,957,770	
Design / Bid Contingency 10%				1,095,777	
Building Construction Costs SubTotal				12,053,547	
Construction Contingency 5%				602,677	
BUILDING CONSTRUCTION COST TOTAL				\$12,656,224	
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance	3,170	SF	7	22,190
12	Remove trees	6	EA	750	4,500
13	Remove foundations - eng	2,000	SF	1	2,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15	Hazardous material abatement	4,000	SF	4	16,000
16	New Parking Spaces	14	SF	3,000.00	42,000
17	New Drive Lane	1,600	LS	6.00	9,600
18	Concrete Curb and Gutter	320	L.F.	12.00	3,840
19	Children's Outdoor Program area	0	SF	8.00	0
21	Storm Sewer	180	L.F.	32	5,760
22	Domestic Water	60	L.F.	100	6,000
23	Sanitary Sewer	120	L.F.	38	4,560
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	0	LS	20,000	0
26	Fill material	450	CY	27	12,150
27	Retaining Walls	0	L.F.	120	0
28	Pedestrian Paving,	2,600	SF	5.00	13,000
29	Lawns & Landscaping	31,200	SF	1	31,200
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	0	LS	2,800	0
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	8	EA	1,900	15,200
36	Solar Panels -	60	KW	1,730	103,800
SubTotal				342,300	
Design / Bid Contingency 10%				34,230	
Site Work Construction Costs SubTotal				376,530	
Construction Contingency 5%				18,827	
SITE WORK CONSTRUCTION COST TOTAL				\$395,357	
40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	978,869
43	Information & Technology Design Fees	1	LS	-	9,600
44	Furnishing Design, selection, bidding Fees	1	LS	-	56,160
45	Civil Engineering Design Fees	1	LS	-	8,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47	Site Survey	1	LS	-	4,500
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase 1 environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55	Utility costs during Construction by Owner	1	LS	-	8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	18,000	SF	24.00	432,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	17,600	SF	12.00	211,200
58	Technology & Computer Equipment Allowance	24,000	LS	5.00	120,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	10,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64	Rent of temporary space	1	LS	-	40,000
65	Ground breaking and dedication ceremonies	1	LS	-	1,500
66	Owner provided Communications equipment	1	LS	-	40,000
67	Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68	Hazardous Material Abatement	1	LS	-	100,000
69	Conceptual design planning	1	LS	-	30,000
70	Historic Preservation assessments & services	1	LS	-	12,000
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				2,278,829	
Site Work Construction Cost Total				395,357	
Building Construction Cost Total				12,656,224	
PROJECT TOTAL COST				\$15,330,409	
Inflation - average 3% per year				\$16,250,233.98	

Option K.2 - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date: 5/25/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option K2					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	11,400	SF	220.00	2,508,000
2	County Courthouse - Historic Renovation	12,600	SF	145.00	1,827,000
3	County Sheriff & Jail - New Construction	12,610	SF	357.00	4,501,770
4	County Sheriff & Jail - Renovation	5,000	SF	165.00	825,000
5	County Engineering (& maintenance)	2,000	SF	168.00	336,000
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
SubTotal					9,997,770
Design / Bid Contingency 10%					999,777
Building Construction Costs SubTotal					10,997,547
Construction Contingency 5%					549,877
BUILDING CONSTRUCTION COST TOTAL					\$11,547,424
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance	3,170	SF	7	22,190
12	Remove trees	6	EA	750	4,500
13	Remove foundations - eng	2,000	SF	1	2,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15	Hazardous material abatement	4,000	SF	4	16,000
16	New Parking Spaces	14	SF	3,000.00	42,000
17	New Drive Lane	1,600	LS	6.00	9,600
18	Concrete Curb and Gutter	320	LF	12.00	3,840
19	Children's Outdoor Program area	0	SF	8.00	0
21	Storm Sewer	180	LF	32	5,760
22	Domestic Water	60	LF	100	6,000
23	Sanitary Sewer	120	LF	38	4,560
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	0	LS	20,000	0
26	Fill material	450	CY	27	12,150
27	Retaining Walls	0	LF	120	0
28	Pedestrian Paving,	2,600	SF	5.00	13,000
29	Lawns & Landscaping	31,200	SF	1	31,200
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	0	LS	2,800	0
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12,000	0
35	Parking lot lighting	8	EA	1,900	15,200
36	Solar Panels -	60	KW	1,730	103,800
SubTotal					342,300
Design / Bid Contingency 10%					34,230
Site Work Construction Costs SubTotal					376,530
Construction Contingency 5%					18,827
SITE WORK CONSTRUCTION COST TOTAL					\$395,357
Soft Costs					
40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	895,709
43	Information & Technology Design Fees	1	LS	-	9,600
44	Furnishing Design, selection, bidding Fees	1	LS	-	56,160
45	Civil Engineering Design Fees	1	LS	-	8,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47	Site Survey	1	LS	-	4,500
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55	Utility costs during Construction by Owner	1	LS	-	8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	18,000	SF	24.00	432,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	17,600	SF	12.00	211,200
58	Technology & Computer Equipment Allowance	24,000	LS	5.00	120,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	10,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64	Rent of temporary space	1	LS	-	40,000
65	Ground breaking and dedication ceremonies	1	LS	-	1,500
66	Owner provided Communications equipment	1	LS	-	40,000
67	Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68	Hazardous Material Abatement	1	LS	-	100,000
69	Conceptual design planning	1	LS	-	30,000
70	Historic Preservation assessments & services	1	LS	-	12,000
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal					2,195,669
Site Work Construction Cost Total					395,357
Building Construction Cost Total					11,547,424
PROJECT TOTAL COST					\$14,138,449
Inflation - average 3% per year					\$14,986,756.38

Option L.1 - Total Project Budget

Owner: Worth County
Project : Facility Planning

Project No.: 2020317
Phase: Conceptual Design

Date : 5/25/21
Estimator : KE

FEH - Total Project Budget - Option L1

DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:				
New Construction				
1 County Courthouse - New construction	22,000	SF	220.00	4,840,000
2 County Courthouse - Historic Renovation	0	SF	145.00	0
3 County Sheriff & Jail - New Construction	17,610	SF	357.00	6,286,770
4 County Sheriff & Jail - Renovation	0	SF	165.00	0
5 County Engineering (maintenance)	2,000	SF	168.00	336,000
6 County Roads	0	SF	0.00	0
7 County Conservation	0	SF	0.00	0
SubTotal				11,462,770
Design / Bid Contingency 10%				1,146,277
Building Construction Costs SubTotal				12,609,047
Construction Contingency 5%				630,452
BUILDING CONSTRUCTION COST TOTAL				\$13,239,499
Site Work Construction Costs				
11 Structure Deconstruction - Engineering & Maintenance 4k, jail 5k,	9,000	SF	7	63,000
12 Remove trees	6	EA	750	4,500
13 Remove foundations - eng	13,000	SF	1	13,000
14 Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15 Hazardous material abatement	20,000	SF	4	80,000
16 New Parking Spaces	24	SF	3,000.00	72,000
17 New Drive Lane	1,600	LS	6.00	9,600
18 Concrete Curb and Gutter	450	LF	12.00	5,400
19 Children's Outdoor Program area	0	SF	8.00	0
21 Storm Sewer	180	LF	32	5,760
22 Domestic Water	60	LF	100	6,000
23 Sanitary Sewer	120	LF	38	4,560
24 Electrical service, transformer	1	LS	24,000	24,000
25 Relocate power lines & poles	0	LS	20,000	0
26 Fill engineered material	500	CY	27	13,500
27 Retaining Walls	0	LF	120	0
28 Pedestrian Paving,	3,200	SF	5.00	16,000
29 Lawns & Landscaping	40,000	SF	1	40,000
30 Benches and site furniture, donated	0	LS	4,000	0
31 Roof canopy	0	LS	30	0
32 Flag pole	1	LS	2,800	2,800
33 Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34 Storm Water Detention - underground	0	SF	12.00	0
35 Parking lot lighting	8	EA	1,900	15,200
36 Solar Panels -	60	KW	1,730	103,800
SubTotal				505,620
Design / Bid Contingency 10%				50,562
Site Work Construction Costs SubTotal				556,182
Construction Contingency 5%				27,809
SITE WORK CONSTRUCTION COST TOTAL				\$583,991
40 Land Acquisition	1	LS	-	0
41 Legal Fees	1	LS	-	5,000
42 Architectural & Engineering Design Fees	1	LS	-	967,644
43 Information & Technology Design Fees	1	LS	-	15,600
44 Furnishing Design, selection, bidding Fees	1	LS	-	121,680
45 Civil Engineering Design Fees	1	LS	-	12,000
46 SWPPP & NPDES plans, permits and reviews	1	LS	-	6,000
47 Site Survey	1	LS	-	4,500
48 Reimbursable expenses by the design team	1	LS	-	5,000
49 Conformance with federal funding planning and reporting requirements	1	LS	-	0
50 Printing Costs for Construction Documents	1	LS	-	12,000
51 Phase I environmental or archeological surveys	1	LS	-	0
52 Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53 Owner's Builders Risk Insurance	1	LS	-	5,000
54 Quality Control Material Testing & Inspections during construction	1	LS	-	40,000
55 Utility costs during Construction by Owner	1	LS	-	8,000
56 Fixtures, Furnishings & Equipment Allowance \$24/SF new	39,000	SF	24.00	936,000
57 Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58 Technology & Computer Equipment Allowance	39,000	LS	5.00	195,000
59 Energy & Utility Rebates	1	LS	-	0
60 Geotechnical subsurface investigation	1	LS	-	10,000
61 Geo Thermal Test Well	1	LS	-	20,000
62 Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63 Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64 Rent of temporary space	1	LS	-	0
65 Ground breaking and dedication ceremonies	1	LS	-	1,500
66 Owner provided Communications equipment	1	LS	-	40,000
67 Hazardous Material survey sample & test for buildings	1	LS	-	0
68 Hazardous Material Abatement	1	LS	-	0
69 Conceptual design planning	1	LS	-	30,000
70 Historic Preservation assessments & services	1	LS	-	12,000
71 Commissioning of systems	1	LS	-	10,000
72 LEED or other sustainability certification services	1	LS	-	0
73 Space Needs Programming	1	LS	-	0
74 Referendum Campaign Facilitation	1	LS	-	8,000
75 Fundraising Consulting & grant writing	1	LS	-	0
76 Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				2,571,924
Site Work Construction Cost Total				583,991
Building Construction Cost Total				13,239,499
PROJECT TOTAL COST				\$16,395,415
Inflation - average 3% per year				\$17,379,139.67

Option M2.1 - Total Project Budget

Owner: Worth County
Project : Facility Planning

Project No.: 2020317
Phase: Conceptual Design

Date : 5/25/21
Estimator : KE

FEH - Total Project Budget - Option M2.1

DESCRIPTION	QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:				
New Construction				
1 County Courthouse - New construction	0	SF	220.00	0
2 County Courthouse - Historic Renovation	0	SF	145.00	0
3 County Sheriff & Jail - New Construction	0	SF	357.00	0
4 County Sheriff & Jail - Renovation	0	SF	165.00	0
5 County Engineering (maintenance)	3,170	SF	168.00	532,560
6 County Roads, 280' x 110'	31,000	SF	132.00	4,092,000
7 Bunkers	1,400	SF	70.00	98,000
SubTotal				4,722,560
Design / Bid Contingency 10%				472,256
Building Construction Costs SubTotal				5,194,816
Construction Contingency 5%				259,741
BUILDING CONSTRUCTION COST TOTAL				\$5,454,557
Site Work Construction Costs				
11 Structure Deconstruction - Engineering & Maintenance	1,600	SF	7	11,200
12 Remove trees	0	EA	750	0
13 Remove foundations - eng	1,600	SF	1	1,600
14 Hazard Material survey, sample, test for site demo	1	LS	2,500	2,500
15 Hazardous material abatement for Demo	400	SF	4	1,600
16 New Parking Spaces	22	SF	3,000.00	66,000
17 New Drive Lane	32,000	LS	6.00	192,000
18 Concrete Curb and Gutter	0	LF	12.00	0
19 Emergency Generator	5,000	SF	8.00	40,000
21 Storm Sewer	0	LF	32	0
22 Domestic Water	300	LF	100	30,000
23 Sanitary Sewer - septic field, grease separator	300	LF	38	11,400
24 Electrical service, transformer	1	LS	24,000	24,000
25 Relocate power lines & poles	1	LS	20,000	20,000
26 Fill material	2,000	CY	27	54,000
27 Retaining Walls	100	LF	120	12,000
28 Pedestrian Paving	800	SF	5.00	4,000
29 Lawns & Landscaping	10,000	SF	1	10,000
30 Benches and site furniture, donated	0	LS	4,000	0
31 Roof canopy	0	LS	30	0
32 Flag pole	1	LS	2,800	2,800
33 Directional & Informational Signage - signage, electronic site sign and building	1	LS	8,000	8,000
34 Storm Water Detention - underground	0	SF	12.00	0
35 Parking lot lighting	6	EA	1,900	11,400
36 Solar Panels -	60	KW	1,730	103,800
SubTotal				606,300
Design / Bid Contingency 10%				60,630
Site Work Construction Costs SubTotal				666,930
Construction Contingency 5%				33,347
SITE WORK CONSTRUCTION COST TOTAL				\$700,277
40 Land Acquisition	1	LS	-	0
41 Legal Fees	1	LS	-	5,000
42 Architectural & Engineering Design Fees	1	LS	-	461,612
43 Information & Technology Design Fees	1	LS	-	2,000
44 Furnishing Design, selection, bidding Fees	1	LS	-	15,600
45 Civil Engineering Design Fees	1	LS	-	25,000
46 SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47 Site Survey	1	LS	-	8,000
48 Reimbursable expenses by the design team	1	LS	-	5,000
49 Conformance with federal funding planning and reporting requirements	1	LS	-	0
50 Printing Costs for Construction Documents	1	LS	-	8,000
51 Phase I environmental or archeological surveys	1	LS	-	0
52 Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53 Owner's Builders Risk Insurance	1	LS	-	5,000
54 Quality Control Material Testing & Inspections during construction	1	LS	-	32,000
55 Utility costs during Construction by Owner	1	LS	-	6,000
56 Fixtures, Furnishings & Equipment Allowance \$24/SF new	5,000	SF	24.00	120,000
57 Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58 Technology & Computer Equipment Allowance	5,000	LS	5.00	25,000
59 Energy & Utility Rebates	1	LS	-	0
60 Geotechnical subsurface investigation	1	LS	-	16,000
61 Geo Thermal Test Well	1	LS	-	20,000
62 Infrastructure Equipment & Connections by Owner	1	LS	-	80,000
63 Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	20,000
64 Rent of temporary space	1	LS	-	0
65 Ground breaking and dedication ceremonies	1	LS	-	500
66 Owner provided Communications equipment	1	LS	-	0
67 Hazardous Material survey sample & test for buildings	1	LS	-	2,500
68 Hazardous Material Abatement	1	LS	-	10,000
69 Conceptual design planning	1	LS	-	15,000
70 Historic Preservation assessments & services	1	LS	-	0
71 Commissioning of systems	1	LS	-	10,000
72 LEED or other sustainability certification services	1	LS	-	0
73 Space Needs Programming	1	LS	-	0
74 Referendum Campaign Facilitation	1	LS	-	8,000
75 Fundraising Consulting & grant writing	1	LS	-	0
76 Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				947,212
Site Work Construction Cost Total				700,277
Building Construction Cost Total				5,454,557
PROJECT TOTAL COST				\$7,102,046
Inflation - average 3% per year				\$7,528,168.55

Option N - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date: 5/25/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option N					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	22,000	SF	220.00	4,840,000
2	County Courthouse - Historic Renovation	0	SF	145.00	0
3	County Sheriff & Jail - New Construction	17,610	SF	357.00	6,286,770
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	3,000	SF	168.00	504,000
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
SubTotal					11,630,770
Design / Bid Contingency 10%					1,163,077
Building Construction Costs SubTotal					12,793,847
Construction Contingency 5%					639,692
BUILDING CONSTRUCTION COST TOTAL					\$13,433,539
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance 4k, jail 5k, courthouse 12k	21,000	SF	7	147,000
12	Remove trees	6	EA	750	4,500
13	Remove foundations - eng	13,000	SF	1	13,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15	Hazardous material abatement	20,000	SF	4	80,000
16	New Parking Spaces	24	SF	3,000.00	72,000
17	New Drive Lane	1,600	LS	6.00	9,600
18	Concrete Curb and Gutter	450	LF	12.00	5,400
19	Children's Outdoor Program area	0	SF	8.00	0
21	Storm Sewer	180	LF	32	5,760
22	Domestic Water	60	LF	100	6,000
23	Sanitary Sewer	120	LF	38	4,560
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	0	LS	20,000	0
26	Fill material	650	CY	27	17,550
27	Retaining Walls	0	LF	120	0
28	Pedestrian Paving,	3,200	SF	5.00	16,000
29	Lawns & Landscaping	44,000	SF	1	44,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	8	EA	1,900	15,200
36	Solar Panels -	60	KW	1,730	103,800
SubTotal					597,670
Design / Bid Contingency 10%					59,767
Site Work Construction Costs SubTotal					657,437
Construction Contingency 5%					32,872
SITE WORK CONSTRUCTION COST TOTAL					\$690,309
40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	988,669
43	Information & Technology Design Fees	1	LS	-	15,600
44	Furnishing Design, selection, bidding Fees	1	LS	-	121,680
45	Civil Engineering Design Fees	1	LS	-	12,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	6,000
47	Site Survey	1	LS	-	4,500
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	40,000
55	Utility costs during Construction by Owner	1	LS	-	8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	39,000	SF	24.00	936,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58	Technology & Computer Equipment Allowance	39,000	LS	5.00	195,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	10,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64	Rent of temporary space	1	LS	-	0
65	Ground breaking and dedication ceremonies	1	LS	-	1,500
66	Owner provided Communications equipment	1	LS	-	40,000
67	Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68	Hazardous Material Abatement	1	LS	-	100,000
69	Conceptual design planning	1	LS	-	30,000
70	Historic Preservation assessments & services	1	LS	-	12,000
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal					2,697,949
Site Work Construction Cost Total					690,309
Building Construction Cost Total					13,433,539
PROJECT TOTAL COST					\$16,821,798
Inflation - average 3% per year					\$17,831,105.43

Option 0 - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date: 5/25/21		
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE		
FEH - Total Project Budget - Option O						
DESCRIPTION			QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:						
New Construction						
1	County Courthouse - New construction (upper level 7,064 SF; Main level 7,645	12,400	SF	220.00		2,728,000
2	County Courthouse - Historic Renovation (multi-story building only)	9,600	SF	145.00		1,392,000
3	County Sheriff & Jail - New Construction	0	SF	357.00		0
4	County Sheriff & Jail - Renovation	0	SF	165.00		0
5	County Engineering (maintenance)	2,000	SF	168.00		336,000
6	County Roads	0	SF	0.00		0
7	County Conservation	0	SF	0.00		0
SubTotal						4,456,000
Design / Bid Contingency 10%						445,600
Building Construction Costs SubTotal						4,901,600
Construction Contingency 5%						245,080
BUILDING CONSTRUCTION COST TOTAL						\$5,146,680
Site Work Construction Costs						
11	Structure Deconstruction - Engineering & Maintenance	10,000	SF	6		60,000
12	Remove trees	6	EA	750		4,500
13	Remove foundations - eng	2,000	SF	1		2,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500		2,500
15	Hazardous material abatement	4,000	SF	4		16,000
16	New Parking Spaces	58	SF	3,000.00		174,000
17	New Drive Lane	7,375	SF	6.00		44,250
18	Concrete Curb and Gutter	720	LF	12.00		8,640
19	Children's Outdoor Program area	0	SF	8.00		0
21	Storm Sewer	180	LF	32		5,760
22	Domestic Water	60	LF	100		6,000
23	Sanitary Sewer	120	LF	38		4,560
24	Electrical service, transformer	1	LS	24,000		24,000
25	Relocate power lines & poles	0	LS	20,000		0
26	Fill material	3,000	CY	27		81,000
27	Retaining Walls	0	LF	120		0
28	Pedestrian Paving,	6,200	SF	5.00		31,000
29	Lawns & Landscaping	30,000	SF	1		30,000
30	Benches and site furniture, donated	0	LS	4,000		0
31	Roof canopy	0	LS	30		0
32	Flag pole	0	LS	2,800		0
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000		24,000
34	Storm Water Detention - underground	0	SF	12.00		0
35	Parking lot lighting	8	EA	1,900		15,200
36	Solar Panels -	60	KW	1,730		103,800
SubTotal						637,210
Design / Bid Contingency 10%						63,721
Site Work Construction Costs SubTotal						700,931
Construction Contingency 5%						35,047
SITE WORK CONSTRUCTION COST TOTAL						\$735,978

40	Land Acquisition	1	LS	-		0
41	Legal Fees	1	LS	-		5,000
42	Architectural & Engineering Design Fees	1	LS	-		441,199
43	Information & Technology Design Fees	1	LS	-		8,800
44	Furnishing Design, selection, bidding Fees	1	LS	-		38,688
45	Civil Engineering Design Fees	1	LS	-		12,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-		5,000
47	Site Survey	1	LS	-		7,000
48	Reimbursable expenses by the design team	1	LS	-		5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-		0
50	Printing Costs for Construction Documents	1	LS	-		8,000
51	Phase I environmental or archeological surveys	1	LS	-		0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-		2,000
53	Owner's Builders Risk Insurance	1	LS	-		5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-		35,000
55	Utility costs during Construction by Owner	1	LS	-		8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	12,400	SF	24.00		297,600
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	9,600	SF	12.00		115,200
58	Technology & Computer Equipment Allowance	22,000	LS	5.00		110,000
59	Energy & Utility Rebates	1	LS	-		0
60	Geotechnical subsurface investigation	1	LS	-		10,000
61	Geo Thermal Test Well	1	LS	-		20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-		5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-		30,000
64	Rent of temporary space	1	LS	-		10,000
65	Ground breaking and dedication ceremonies	1	LS	-		1,500
66	Owner provided Communications equipment	1	LS	-		0
67	Hazardous Material survey sample & test for buildings	1	LS	-		5,000
68	Hazardous Material Abatement	1	LS	-		100,000
69	Conceptual design planning	1	LS	-		30,000
70	Historic Preservation assessments & services	1	LS	-		12,000
71	Commissioning of systems	1	LS	-		10,000
72	LEED or other sustainability certification services	1	LS	-		0
73	Space Needs Programming	1	LS	-		0
74	Referendum Campaign Facilitation	1	LS	-		8,000
75	Fundraising Consulting& grant writing	1	LS	-		0
76	Soft Cost Contingency	1	LS	-		40,000
Soft Cost SubTotal						1,384,987
Site Work Construction Cost Total						735,978
Building Construction Cost Total						5,146,680
PROJECT TOTAL COST						\$7,267,645
for 2021 Bidding						
Inflation - average 3% per year						\$7,703,703.56

Option P - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date: 5/20/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option P					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction	0	SF	220.00	0
2	County Courthouse - Historic Renovation	0	SF	145.00	0
3	County Sheriff & Jail - New Construction	0	SF	357.00	0
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	0	SF	168.00	0
6	County Roads, 280' x 110'	31,000	SF	132.00	4,092,000
7	Bunkers	1,400	SF	70.00	98,000
SubTotal				4,190,000	
Design / Bid Contingency 10%				419,000	
Building Construction Costs SubTotal				4,609,000	
Construction Contingency 5%				230,450	
BUILDING CONSTRUCTION COST TOTAL				\$4,839,450	
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance	400	SF	7	2,800
12	Remove trees	0	EA	750	0
13	Remove foundations - eng	400	SF	1	400
14	Hazard Material survey, sample, test for site demo	1	LS	2,500	2,500
15	Hazardous material abatement	400	SF	4	1,600
16	New Parking Spaces	14	SF	3,000.00	42,000
17	New Drive Lane	21,600	LS	6.00	129,600
18	Concrete Curb and Gutter	0	LF	12.00	0
19	Emergency Generator	0	SF	8.00	0
21	Storm Sewer	0	LF	32	0
22	Domestic Water	300	LF	100	30,000
23	Sanitary Sewer - septic field, grease separator	1,200	LF	38	45,600
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	1	LS	20,000	20,000
26	Fill material	700	CY	27	18,900
27	Retaining Walls	100	LF	120	12,000
28	Pedestrian Paving,	800	SF	5.00	4,000
29	Lawns & Landscaping	10,000	SF	1	10,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	1	LS	2,800	2,800
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	8,000	8,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	6	EA	1,900	11,400
36	Solar Panels -	60	KW	1,730	103,800
SubTotal				469,400	
Design / Bid Contingency 10%				46,940	
Site Work Construction Costs SubTotal				516,340	
Construction Contingency 5%				25,817	
SITE WORK CONSTRUCTION COST TOTAL				\$542,157	
Soft Costs					
40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	403,621
43	Information & Technology Design Fees	1	LS	-	160
44	Furnishing Design, selection, bidding Fees	1	LS	-	6,240
45	Civil Engineering Design Fees	1	LS	-	15,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47	Site Survey	1	LS	-	8,000
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55	Utility costs during Construction by Owner	1	LS	-	8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	2,000	SF	24.00	48,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	0	SF	12.00	0
58	Technology & Computer Equipment Allowance	400	LS	5.00	2,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	16,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	80,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	20,000
64	Rent of temporary space	1	LS	-	0
65	Ground breaking and dedication ceremonies	1	LS	-	0
66	Owner provided Communications equipment	1	LS	-	0
67	Hazardous Material survey sample & test for buildings	1	LS	-	2,500
68	Hazardous Material Abatement	1	LS	-	10,000
69	Conceptual design planning	1	LS	-	15,000
70	Historic Preservation assessments & services	1	LS	-	0
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal				781,521	
Site Work Construction Cost Total				542,157	
Building Construction Cost Total				4,839,450	
PROJECT TOTAL COST				\$6,163,128	
Inflation - average 3% per year				\$6,532,915.18	

Option Q - Total Project Budget

Owner: Worth County		Project No.: 2020317		Date : 5/20/21	
Project : Facility Planning		Phase: Conceptual Design		Estimator : KE	
FEH - Total Project Budget - Option Q					
DESCRIPTION		QTY	UNIT	COST/SF	TOTALS
Building Construction Costs:					
New Construction					
1	County Courthouse - New construction (upper level 7,064 SF, Main level 7,645	12,400	SF	220.00	2,728,000
2	County Courthouse - Historic Renovation (multi-story building only)	9,600	SF	145.00	1,392,000
3	County Sheriff & Jail - New Construction	17,610	SF	357.00	6,286,770
4	County Sheriff & Jail - Renovation	0	SF	165.00	0
5	County Engineering (maintenance)	2,000	SF	168.00	336,000
6	County Roads	0	SF	0.00	0
7	County Conservation	0	SF	0.00	0
SubTotal					10,742,770
Design / Bid Contingency 10%					1,074,277
Building Construction Costs SubTotal					11,817,047
Construction Contingency 5%					590,852
BUILDING CONSTRUCTION COST TOTAL					\$12,407,899
Site Work Construction Costs					
11	Structure Deconstruction - Engineering & Maintenance	8,170	SF	7	57,190
12	Remove trees	6	EA	750	4,500
13	Remove foundations - eng	2,000	SF	1	2,000
14	Hazard Material survey, sample, test for site demo	1	LS	2500	2,500
15	Hazardous material abatement	4,000	SF	4	16,000
16	New Parking Spaces	59	SF	3,000.00	177,000
17	New Drive Lane	4,800	SF	6.00	28,800
18	Concrete Curb and Gutter	320	LF	12.00	3,840
19	Children's Outdoor Program area	0	SF	8.00	0
21	Storm Sewer	180	LF	32	5,760
22	Domestic Water	60	LF	100	6,000
23	Sanitary Sewer	120	LF	38	4,560
24	Electrical service, transformer	1	LS	24,000	24,000
25	Relocate power lines & poles	0	LS	20,000	0
26	Fill material	3,000	CY	27	81,000
27	Retaining Walls	0	LF	120	0
28	Pedestrian Paving,	6,200	SF	5.00	31,000
29	Lawns & Landscaping	30,000	SF	1	30,000
30	Benches and site furniture, donated	0	LS	4,000	0
31	Roof canopy	0	LS	30	0
32	Flag pole	0	LS	2,800	0
33	Directional & Informational Signage - signage, electronic site sign and building	1	LS	24,000	24,000
34	Storm Water Detention - underground	0	SF	12.00	0
35	Parking lot lighting	8	EA	1,900	15,200
36	Solar Panels -	60	KW	1,750	103,800
SubTotal					617,150
Design / Bid Contingency 10%					61,715
Site Work Construction Costs SubTotal					678,865
Construction Contingency 5%					33,943
SITE WORK CONSTRUCTION COST TOTAL					\$712,808

40	Land Acquisition	1	LS	-	0
41	Legal Fees	1	LS	-	5,000
42	Architectural & Engineering Design Fees	1	LS	-	984,053
43	Information & Technology Design Fees	1	LS	-	15,600
44	Furnishing Design, selection, bidding Fees	1	LS	-	90,480
45	Civil Engineering Design Fees	1	LS	-	8,000
46	SWPPP & NPDES plans, permits and reviews	1	LS	-	5,000
47	Site Survey	1	LS	-	4,500
48	Reimbursable expenses by the design team	1	LS	-	5,000
49	Conformance with federal funding planning and reporting requirements	1	LS	-	0
50	Printing Costs for Construction Documents	1	LS	-	12,000
51	Phase I environmental or archeological surveys	1	LS	-	0
52	Authority Having Jurisdiction Plan Review Permits and Fees	1	LS	-	2,000
53	Owner's Builders Risk Insurance	1	LS	-	5,000
54	Quality Control Material Testing & Inspections during construction	1	LS	-	35,000
55	Utility costs during Construction by Owner	1	LS	-	8,000
56	Fixtures, Furnishings & Equipment Allowance \$24/SF new	29,000	SF	24.00	696,000
57	Fixtures, Furnishings & Equipment Allowance \$12/SF existing	9,600	SF	12.00	115,200
58	Technology & Computer Equipment Allowance	39,000	LS	5.00	195,000
59	Energy & Utility Rebates	1	LS	-	0
60	Geotechnical subsurface investigation	1	LS	-	10,000
61	Geo Thermal Test Well	1	LS	-	20,000
62	Infrastructure Equipment Connections by Owner	1	LS	-	5,000
63	Moving and Relocation Expenses (technology, workstations, equipment, etc.)	1	LS	-	60,000
64	Rent of temporary space	1	LS	-	40,000
65	Ground breaking and dedication ceremonies	1	LS	-	1,500
66	Owner provided Communications equipment	1	LS	-	40,000
67	Hazardous Material survey sample & test for buildings	1	LS	-	5,000
68	Hazardous Material Abatement	1	LS	-	100,000
69	Conceptual design planning	1	LS	-	30,000
70	Historic Preservation assessments & services	1	LS	-	12,000
71	Commissioning of systems	1	LS	-	10,000
72	LEED or other sustainability certification services	1	LS	-	0
73	Space Needs Programming	1	LS	-	0
74	Referendum Campaign Facilitation	1	LS	-	8,000
75	Fundraising Consulting & grant writing	1	LS	-	0
76	Soft Cost Contingency	1	LS	-	40,000
Soft Cost SubTotal					2,567,333
Site Work Construction Cost Total					712,808
Building Construction Cost Total					12,407,899
PROJECT TOTAL COST					\$15,688,041
for 2021 Bidding					
Inflation - average 3% per year					\$16,629,323.11

Worth County Facility Planning Options

budget summary 2021-5-25

	Budget	Day 2 voting score	
Courthouse - Administrative & Courts			
G (expand & renovate)	\$5,730,395	7	
J (new courthouse, demo existing)	\$8,518,120	12	
O (expand & renovate)	\$7,267,645	CAW	
Courthouse - Administrative, Courts, Sheriff, & Jail			
A (urgent & required only)	\$9,276,078	4	
H (new sheriff & Jail, reno courthouse)	\$14,008,929	3	
K, K.1 (Courthouse addition, demo jail)	\$15,330,409	6	
K, K.1', K.2 (courthouse & Jail additions)	\$14,138,449	11	
L, L.1 (all new, demo courthouse)	\$16,395,415	11	
N (all new, empty courthouse)	\$16,821,798	0	
Q (Expand and renovate)	\$15,688,041	CAW	
Sheriff & Jail			
I, I.1 (new jail at Kensett)	\$8,743,031	42	
County Roads facility			
B, B.1, B.2, B.2.1, B.3 (all new)		0	
P (new at Kensett)	\$6,163,128	CAW	
County Roads & Engineering			
M, M.1, M.2, M.2.1 (all new, Northwood)	\$7,102,046	0	
County Roads & Conservation			
E, E.1 (new at recycling)	\$6,133,639	9	
E.2 (new at recycling roads on west)	\$8,411,901	15	
F, F.1 (new in Northwood)		0	
County Conservation			
C (renovate and small expansion)		0	
D, D.1 (all new at recycling)	\$2,142,274	0	

CAW = Created After Workshop

Operating Costs Comparison Chart

	Jail & Sheriff		Deputies		Courthouse		Treasurer		County Attorney	
9/28/2021	Existing		Existing		Existing		Existing		Existing	
	Repairs Only		Repairs Only		Repairs Only		Repairs Only		Rental	
Total Building Area	5,185	SF	3,900	SF	12,600	SF	3,700	SF	1,000	SF
Total renovated area	0	SF	0	SF	0	SF	0	SF	0	SF
Total New area	0	SF	0	SF	0	SF	0	SF	0	SF
Ongoing Operations										
Gas /YR-existing	\$2,074.00		\$1,560.00		\$7,018.20		\$1,517.00		\$400.00	
Gas \$0.25/SF/YR-renov	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Gas \$0.20/SF/YR-new	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Electrical /YR-existing	\$2,722.13		\$3,069.30		\$22,302.00		\$3,688.90		\$525.00	
Electric \$0.3/SF/YR-renov	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Electric \$0.25/SF/YR-new	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Water & sewer /YR-existing	\$740.42		\$556.92		\$2,192.40		\$629.00		\$142.80	
Maint. /YR-existing	\$12,962.50		\$9,750.00		\$31,500.00		\$9,250.00		\$0.00	
Maint. \$1.50/SF/YR-renov	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Maint. \$1.00/SF/YR-new	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Rent									\$5,400.00	
Custodial /YR	\$9,851.50		\$7,410.00		\$23,940.00		\$7,030.00		\$1,500.00	
Landscaping & snow removal	\$1,000.00		\$1,000.00		\$1,865.00		\$1,000.00		\$0.00	
Telephone	\$2,000.00		\$2,000.00		\$17,214.00		\$3,000.00		\$618.00	
Elevator	\$0.00		\$0.00		\$5,000.00		\$0.00		\$0.00	
Insurance	\$4,407.25		\$3,315.00		\$10,710.00		\$3,145.00		\$850.00	
staff variation - increases over existing.	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Total Annual operations	\$35,757.79		\$28,661.22		\$121,741.60		\$29,259.90		\$9,435.80	
annual cost/SF	\$6.90		\$7.35		\$9.66		\$7.91		\$9.44	
20 years plus 3% inflation	\$960,825.29		\$770,137.71		\$3,271,242.38		\$786,224.47		\$253,543.48	
20 yr cost/SF	\$185.31		\$197.47		\$259.62		\$212.49		\$253.54	
40 years plus 3% inflation	\$2,696,182.64		\$2,161,092.09		\$9,179,470.00		\$2,206,233.32		\$711,471.21	
	Existing SF		Needed SF							
Sheriff & Jail	5,185	SF	17,610	SF						
Deputy space	3,900	SF	0	SF			RED TEXT = ESTIMATED			
County Engineering Offices	3,100	SF	2,000	SF			BLACK TEXT = ACTUAL			
Courthouse Judicial		SF	10,098	SF						
Courthouse Administrative		SF	11,895	SF						
County Attorney	1,000	SF								
Treasurer	3,700	SF								
Courthouse combined	12,600	SF								
TOTAL	29,485		41,603							

	Engineer & Maint		Total ALL SIX		OPTION Q Courthouse & Jail		OPTION K2 Courthouse & Jail		OPTION N Courthouse & Jail	
	Existing		Existing bldgs		Add & Reno		Add & Reno		Build All New	
	Repairs Only		Repairs Only		Hist. CH only		CH & Jail			
Total Building Area	3,100	SF	29,485	SF	41,603	SF	41,603	SF	41,603	SF
Total renovated area	0	SF	0	SF	9,600	SF	17,600	SF	0	SF
Total New area	0	SF	0	SF	32,003	SF	24,003	SF	41,603	SF
Ongoing Operations										
Gas /YR-existing	\$1,240.00		\$13,809.20		\$0.00		\$0.00		\$0.00	
Gas \$0.25/SF/YR-renov	\$0.00		\$0.00		\$2,400.00		\$4,400.00		\$0.00	
Gas \$0.20/SF/YR-new	\$0.00		\$0.00		\$6,400.60		\$4,800.60		\$8,320.60	
Electrical /YR-existing	\$1,627.50		\$33,934.83		\$0.00		\$0.00		\$0.00	
Electric \$0.3/SF/YR-renov	\$0.00		\$0.00		\$2,880.00		\$5,280.00		\$0.00	
Electric \$0.25/SF/YR-new	\$0.00		\$0.00		\$8,000.75		\$6,000.75		\$10,400.75	
Water & sewer /YR-existing	\$442.68		\$4,704.22		\$5,940.91		\$5,940.91		\$5,940.91	
Maint. /YR-existing	\$7,750.00		\$71,212.50		\$0.00		\$0.00		\$0.00	
Maint. \$1.50/SF/YR-renov	\$0.00		\$0.00		\$14,400.00		\$26,400.00		\$0.00	
Maint. \$1.00/SF/YR-new	\$0.00		\$0.00		\$32,003.00		\$24,003.00		\$41,603.00	
Rent			\$5,400.00							
Custodial /YR	\$5,890.00		\$55,621.50		\$62,404.50		\$62,404.50		\$62,404.50	
Landscaping & snow removal	\$1,000.00		\$5,865.00		\$3,000.00		\$3,000.00		\$3,000.00	
Telephone	\$3,000.00		\$27,832.00		\$2,286.00		\$2,286.00		\$2,286.00	
Elevator	\$0.00		\$5,000.00		\$5,000.00		\$5,000.00		\$5,000.00	
Insurance	\$2,635.00		\$25,062.25		\$2,703.00		\$2,703.00		\$2,703.00	
staff variation - increases over existing.	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
Total Annual operations	\$23,585.18		\$248,441.49		\$147,418.76		\$152,218.76		\$141,658.76	
annual cost/SF	\$7.61		\$8.43		\$3.54		\$3.66		\$3.41	
20 years plus 3% inflation	\$633,742.62		\$6,675,715.96		\$3,961,197.24		\$4,090,175.04		\$3,806,423.89	
20 yr cost/SF	\$204.43		\$226.41		\$95.21		\$98.31		\$91.49	

/ FACILITY ASSESSMENT



On the following pages FEH provides the assessment of each County building, the issues and associated costs and a photo directory of images associated with the issues.

FACILITY CONDITION ASSESSMENT NARRATIVE
WORTH COUNTY - COURTHOUSE
MARCH 2021

ARCHITECTURAL ASSESSMENT

The courthouse is situated on a one-city-block site located off of State Highway 105. The building fronts the main highway, with a parking lot located behind the building. The building is comprised of load bearing brick masonry walls and wood floor and roof framing. The windows are a newer vinyl punched openings. The historic south entrance consists of wood infill in a stone archway, with an aluminum door and frame. The north entrances are aluminum storefront. The original 1893 and 1938 courthouse was expanded in 1988 when the Clerk of Court and Sheriff's building was added. Accessibility improvements were made in 2003.



The courthouse roof has been replaced with standing seam metal. Stone design elements at the end of the gables have been covered up with trim associated with the metal roof.

The courthouse building appears structurally sound but there is evidence of water infiltration at multiple locations. The building envelope will require effort to make the building watertight. Updates are also required for accessibility, to resolve some building issues, and address maintenance. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The courthouse site, which encompasses a city block, is shared by the Jail and Sheriff's facilities, the Engineering building, the Worth County Veterans Monument, and a surface parking lot. The site is relatively level. The courthouse building is centered within the two-acre lot. East of the courthouse is open. The Sheriff's facilities are located to the northwest and the engineering building is located to the north. Parking is located at the northwest corner of the site.

Each exterior door has a sidewalk connecting to the stoops. A section of the north entrance sidewalk has settled and no longer provides an accessible path to the main entrance from the parking lot. The remaining sidewalks are in good shape and relatively level. The sidewalks along the streets have site lighting; the pathways leading to the south courthouse entrance are not individually lit. The site has a number of older trees. These provide shade and character, but also add to building maintenance with leaves and branches falling onsite and onto the roof. The trees should be trimmed appropriately off the building.



EXTERIOR

The building is comprised of load bearing brick masonry walls with a stone base and decorative banding. Wood framing supports the floor and roof. The main, historic, monumental entrance at the south of the courthouse contains a wide staircase. The entrance off the parking lot is on-grade on the north side of the building. The main entrances have security pin pads.

Significant brick deterioration, with flaking brick present on the steps, is visible at the south building entrance stairs. The infill wood at the south entry is deteriorating; some sections of wood should be replaced, and the entire element repainted. The handrails at the exterior steps does not meet accessibility requirements and a guardrail is required. The stairs are wide enough that a center handrail should be provided.



COURTHOUSE ASSESSMENT



The exterior brick varies from sound and in good shape, to pitted and deteriorated. Sections of the exterior building at the southeast building face and the west building wall are missing portions of their face. These bricks should be replaced to prevent water from entering the building through the porous brick. Mortar and masonry cracking is visible at the west wall between windows and is in need of repointing. There is evidence of mortar cracking at the limestone base, intermittently around the perimeter. The mortar should be removed and replaced with an age-appropriate mortar mixture.

The painted steel lintels at window openings are rusting; the rust must be removed, and the lintels repainted. The windows have been replaced relatively recently and the sealant around the units appears to be in good shape. There are instances of the exterior area wells at the lower-level windows draining so slowly that, when there is a heavy rain, the water exceeds the windowsill elevation and enters the building. The area well drains should be scoped, and the lines opened to allow proper drainage.



There is visible evidence of water causing deterioration at the southeast roof intersection, indicating that the water does not drain into the provided gutter, but exceeds the gutter face to wash the face of the building. This is causing brick deterioration and water infiltration. The water must be directed properly into the gutter.

The building envelope does not meet the current level of thermal insulation for energy efficiency, which has increased since the buildings were constructed. The original courthouse masonry walls appear to have minimal insulation at the interior. The 1988 building has fiberglass exterior wall insulation. Despite this, the code only requires newly constructed alterations to the existing building to follow the stricter energy requirements. The County may want to consider upgrades to the roof and exterior of the building to increase the building's energy performance.

INTERIOR

The existing courthouse interior is in fair condition. Typical finishes within the historic building include carpet, wood paneling, and lay-in acoustical tile ceilings or adhered smaller ceiling tile. The addition from 1988 has vinyl composition tile and carpet, painted gypsum board on metal studs at interior walls, and lay-in acoustical ceiling tile. The acoustical tile is sagging and mismatched; it is recommended that it be replaced in prominent spaces.

There are multiple locations with visible evidence of water infiltration. These locations include the storage room off the boiler room and the south wall and ceiling of the supervisors' room. These two spaces, since they are located at the lower level of the building, will require a fix that provides below-grade waterproofing around the perimeter of the rooms, and associated tuckpointing at the exterior masonry. Damaged interior finishes will need to be removed and replaced. At the assessor and recorder departments, the Court Interview room, and the historic stair, water infiltration is due to the roof not restraining the water flow and the brick being subsequently damaged. With repairs to the roof and exterior masonry, the damaged interior finishes can be removed and replaced. The interior wood paneling is bowing and warped due to moisture; replacement of this material throughout the building would be recommended.

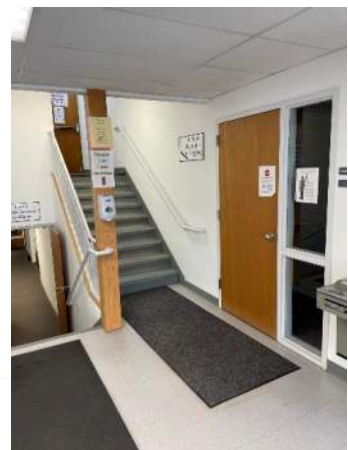


The north addition inner vestibule has multiple locations where water infiltration has deteriorated the wall and ceiling finishes. This appears to be due to a poor roof and wall connection where the metal roof meets the courthouse and elevator addition. The proper flashing should be provided at this connection; the damaged interior finishes, insulation, and ceilings should be removed and replaced.

The boiler room contains a significant number of storage items that do not allow for sufficient clearance and access around the equipment located in the room.

The guardrail at the steps to the main level of the courthouse from the north addition is not tall enough. The guardrail must be raised and an adjacent, continuously graspable handrail provided along the stair. Piping runs vertically through the south, historic stairwell, interrupting the handrail continuity. This piping must be rerouted to allow for a continuously graspable handrail.

The east door of the north addition magistrate courtroom swings out of the room, which is required, but protrudes into the exit path from the stairwell. An alcove for the door should be provided to allow for proper egress. The drinking fountain adjacent to this door also protrudes into the exit path from the stairwell and should be provided in an alcove.



COURTHOUSE ASSESSMENT

The south, exterior vestibule is shallow with a step. The inner vestibule doors are difficult to open due to door swings and floor level changes. It is recommended that this vestibule and entry sequence be reconfigured for ease of use and code compliant.

The upper level of the courthouse contains the court space. The District Courtroom contains two existing but one of the exits does not have 'panic hardware' for ease of exiting with large occupant loads. This should be updated.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Publicly accessed water fountains are required to be installed in pairs at two mounting heights to allow for occupants of different reach ranges to use them. The drinking fountain in the north addition is a single unit; it should be replaced with a dual-unit and located in an alcove so as not reduce the egress width.

Generally, all doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. Insufficient clearance is provided at some doors. Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

Of the six toilet rooms in the building, five are not fully accessible. Accessibility is not only the large toilet clear floor space with grab bars, but also includes the door clearances, grab bar locations, clear space in front of the sink, maneuvering spaces, and toilet accessory mounting heights. The bathrooms do not have the proper door widths nor clearances; the accessories protrude into the pathways or are too high, and the sink handles and flushometers are not accessible. Shrouds are also required at piping below the sink. More than half of the individual toilet rooms utilized by the public are required to be accessible.



The public-service countertops in the departments are all 42-inches high and do not have a lower, accessible-height section. The vaults, some of which are used by the public, have significantly ramped door thresholds and have doors that do not meet minimum ADA width requirements. The door into the

Assessor's department is 31-inches wide, which will not allow wheelchair access. The floor is ramped, in the lower level into the supervisors' space and the assessor's space, which is too steep for a wheelchair.



The upper level of the courthouse contains the court space. The District Courtroom contains steps to access the witness stand and the jury box. This should be ramped with proper, accessible clear space. An accessible, wheelchair space is not provided in the jury box. Additionally, the egress corridor north and east of the courtroom is narrow at 48-inches and does not provide a proper turning radius for a wheelchair to access the elevator or exit the courtroom to the north.



The south, historic stair does not have an accessible guardrail and handrail. Additionally, the number of accessible exits required by code must exceed more than 50% of the overall building exits. One exit must be upgraded along the south of the building to be accessible. Accessibility also applies to signage and wayfinding; the signage throughout the building does not contain raised lettering nor braille.

HVAC SYSTEMS

In general, the entire HVAC system is outdated. Minimal revisions were made as part of the accessibility improvements. The building is heated with steam through a boiler system. Cooling is provided through a mix of ducts and mini-split systems. The requirement for code-required outside air exchanges is not being met. The temperature controls are outdated and inefficient; it is recommended that these controls be replaced with direct digital controls (DDC). A new mechanical system would meet the current, more stringent energy code and be more efficient to operate.

The lower level mens's restroom does not have an exhaust fan. And there is no exhaust in the IT Server room to keep the temperature from building up in the space since it is adjacent to the boiler room.



COURTHOUSE ASSESSMENT

PLUMBING SYSTEMS

Many components of the plumbing systems need improvements. The sink faucets and toilet flush valves are outdated. The drinking fountains should be replaced with new, accessible and efficient units with bottle fillers. Much of the existing water piping is galvanized and should be replaced.

ELECTRICAL SYSTEMS

Due to the existing system and the current need for power due to technology, the electrical service should be updated. In addition to code-compliant equipment, new wiring and additional outlets should be provided. It is recommended that the entire building be upgraded to LED lights and that the building's power be upgraded for HVAC upgrades and additions.

In addition to power, the duress systems and the access control systems should be extended for safety of building occupants.

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
COUNTY COURTHOUSE					
Architectural					
Interior					
Assessor	Water infiltration is evident outside the vault	Determine water infiltration location and seal it.	Urgent	\$5,000.00	
	The quantity of electrical outlets in the space is insufficient	Update electrical	Recommended	See Electrical	2
Supervisors	Water damage evident along south wall and ceiling of space.	Repair exterior wall and below grade to prevent water from entering the building	Urgent	\$12,000.00	38, 39
Boiler Room	The boiler room and the room to the west was wet and water infiltration is consistent.	Provide below-grade waterproofing around the room perimeter.	Urgent	\$20,000.00	22
	The room contains storage with insufficient clearance around equipment.	Relocate storage to room to the west once it is watertight.	Required	\$1,000.00	22,24
IT Server Room	The room overheats, damaging equipment.	See HVAC section below.	See Line 53	See HVAC	
Men's Toilet Room	The room does not have an exhaust fan	Provide an exhaust fan.	Recommended	See HVAC	10
Main Level North Stair	The guardrail at the steps to the main level is not tall enough.	Provide guardrail and handrail at stairs.	Required	\$2,000.00	32
Historic South Stair	Piping runs vertically through the stairwell, interrupting the handrail continuity.	Reroute piping to allow for handrail continuity.	Recommended	\$5,000.00	14
	There is visible evidence of bowing wood paneling & finishes indicating water infiltration.	Resolve water infiltration at southeast corner of building, repoint brick as necessary, remove & replace damaged interior finishes	Urgent	\$24,000.00	12,13
Auditor	The quantity of electrical outlets in the space is insufficient	See Electrical section.	Recommended	See Electrical	
	The quantity of panic buttons does not match the number of workstations	Update the duress system to provide access at each workstation in each department	Recommended	\$8,000.00	
Recorder	Water infiltration is evident along the south wall.	Remove & replace damaged interior finishes once leak is resolved, remove interior paneling and paint wall	Urgent	\$6,000.00	12
	Heat in the space is inconsistent, requiring open windows, which are difficult to maneuver.	Provide updated HVAC elements and controls, see HVAC section below.	Recommended	See HVAC	

COURTHOUSE IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Magistrate Courtroom	The east door swings out of the room and protrudes into the egress path from the stairwell	Provide alcove for door so it does not swing into the egress path.	Required	\$8,000.00	42
South Vestibule	The vestibule is shallow and inner doors are difficult to open due to door swings and steps.	Build code-compliant entry vestibule	Recommended	\$50,000.00	37, 40
Judge Office	The door to the law library does not swing freely and scrapes along the floor.	Shorten door to swing freely.	Recommended	\$250.00	30
District Courtroom	One exit from the courtroom does not have exit devices.	Provide exit devices at door.	Required	\$3,200.00	41
North Vestibule	Visible evidence of water infiltration and damage at inner vestibule doors.	Determine water infiltration location, repair wall and roof as required, replace damaged interior finishes.	Urgent	\$8,000.00	43, 44
North Lobby	The drinking fountain protrudes into the path of travel.	Relocate the drinking fountain to a wall recess in a similar location.	Required	\$2,000.00	
Building	Existing ceiling tile is mismatched and deteriorated in some locations	Replace ceiling tile.	Recommended	\$25,000.00	
SUBTOTAL				\$179,450	
Exterior					
	Water infiltration is evident at a roof intersection in the southeast corner of the building.	Rework roof at intersection to direct water into gutter.	Urgent	In Line Item Above	45
	Water infiltration is evident at the roof of the north addition.	Rework roof and wall intersection to be watertight.	Urgent	In Line Item Above	43, 44
Masonry	Brick deterioration is evident at the building southeast corner and along the west building wall.	Repoint masonry and replace bricks as required.	Urgent	In Line Item Above	27,28
	Significant brick deterioration is visible at the south building entrance stairs.	Repair bricks, replace if required.	Urgent	\$9,000.00	26
	Steel lintels are rusting at window openings.	Remove rust and repaint lintels.	Recommended	\$4,500.00	27
	An exterior outlet wall penetration is not fully sealed	Seal masonry opening.	Urgent	\$250.00	
	Mortar and masonry cracking is visible at the west wall between windows	Repoint masonry and replace bricks as required.	Urgent	\$1,500.00	27

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
	Evidence of mortar cracking at the limestone base, intermittently around the perimeter.	Repoint masonry base	Urgent	\$12,000.00	28
Exterior	Exterior area wells at windows do not drain and push water above window sills.	Scope piping and resolve issue to provide free drainage.	Urgent	\$4,000.00	15
	Exterior downspouts do not have splash blocks to direct water away from the building envelope.	Provide splash blocks to move water away from building.	Urgent	\$400.00	16,25
	North accessible entrance sidewalk is settling.	Replace sections with new subgrade and sidewalk.	Required	\$500.00	33
	South Entry wood is deteriorating	Replace deteriorated wood and repaint entrance	Urgent	In Line Item Above	37
SUBTOTAL				\$32,150	
Accessibility					
General	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$10,000.00	36
Each Department	Public-Service Countertops are 42" high	Replace or rework existing countertops to have an ADA-compliant segment	Required	\$6,000.00	34,35
Women's Bathroom	The door to the room is not accessible. The large stall is not accessible. There is no accessible turning radius. The sink is not an accessible height. The toilet accessories are mounted outside the allowable reach range.	Reconfigure bathroom to be fully accessible	Required	\$25,000.00	31
Assessor	The door into the department is 31" wide and is not accessible.	Widen opening into department.	Required	\$6,000.00	
	The back corridor and vault are accessed with a step.	Rework floor to be ramped.	Required	Accommodation Required	
Vaults	The doors into the vaults are too narrow and are ramped.	Provide publicly-accessed items, that are currently stored in vaults, in an accessible space.	Required	Accommodation Required	1
Jury Room, Interview Room	The toilet rooms are not accessible regarding clearances, doors, sinks, accessories.	Rework entire toilet room to be accessible by jury.	Required	\$50,000.00	
District Courtroom	Access to the Witness Stand has steps and accessible clear space is not provided.	Provide ramp to access stand. Clear space for wheelchair to maneuver must be provided.	Required	\$12,000.00	9

COURTHOUSE IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
	The Jury Box is accessed by steps.	Provide ramp to access stand.	Required	\$8,000.00	7,8
	The chairs within the jury box are fixed and accessible clear space is not provided.	Provide movable chairs or removable chair for wheelchair space. Clear space for wheelchair to maneuver must be provided.	Required	\$1,500.00	5,7
	The egress corridor north and east of the courtroom is too narrow and does not provide proper turning radius for a wheelchair to access the elevator.	Rework corridors to provide clearance.	Required	\$15,000.00	
General	Floor Ramping on Lower Level into Supervisors and into Assessor spaces	Rework floor transitions to be accessible.	Required	\$2,000.00	
Exterior	Exterior stair does not have compliant guardrail and handrail	Provide guardrail and handrail at both sides of stair, provide center railing	Required	\$1,200.00	37
General	Wayfinding and signage does not contain raised lettering nor braille	Replace signage with accessible elements.	Required	\$1,200.00	
General	The number of accessible exits must exceed more than 50% of the overall building exit count	Create a south, accessible exit to the south.	Recommended	\$12,000.00	
General	Existing drinking fountains are not dual-height, which is required by ADA	Convert drinking fountains to accessible dual units with bottle filler, typical	Required	\$2,000.00	
SUBTOTAL				\$151,900.00	
Engineering Systems					
Plumbing					
Toilet Rooms	Outdated plumbing fixtures, flushometers, and faucets	Replace sinks, faucets, flush valves	Required	In Line Items Above	10,31
SUBTOTAL				\$-	
HVAC					
General	Add cooling in lieu of mini-split systems, provide code-required air exchanges	A separate air handling system would need to be added to provide cooling. There would be associated general construction, roofing, and electrical work.	Recommended	\$240,000	46

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Boiler Room	Improved energy efficiency	The building steam pumps run at a constant speed. Adding VFD's would allow for controlling the pumps speed to match the demand for hot water which would save electricity. There would be associated electrical work.	Recommended	\$10,000	22
Server Room	There is no exhaust for the room to keep the temperature from building up in the room	An exhaust fan would be installed in the room connected to exhaust ductwork that would terminate through the roof. The fan would be controlled to operate when the room exceeds the room temperature setpoint. There would be associated roofing and electrical work.	Recommended	\$7,500	
Building	Lack of controls	Provide DDC Controls	Recommended	\$25,000	
SUBTOTAL				\$282,500	
Electrical					
Building	Lighting Upgrades	Upgrade entire building to LED Lights	Recommended	\$60,000.00	46, 38
Building	Outdated Electrical Service	Replace existing switchboard and panels with new code compliant equipment, new wiring, provide additional outlets	Recommended	\$50,000.00	23
Building	HVAC Upgrades	Power for HVAC upgrades & adds	Recommended	\$10,000.00	
Building	Access Control for County Staff	Card readers added for ease of use by County Staff	Recommended	\$100,000.00	
SUBTOTAL				\$220,000	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$866,000	

COURTHOUSE PHOTO DIRECTORY



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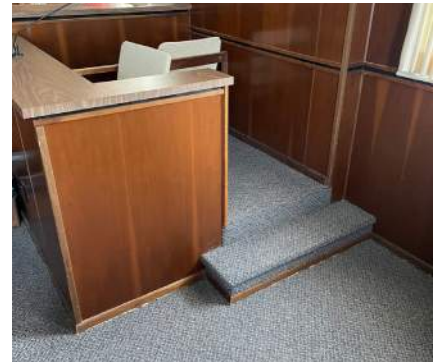
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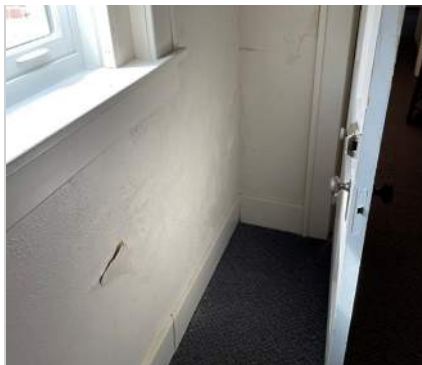
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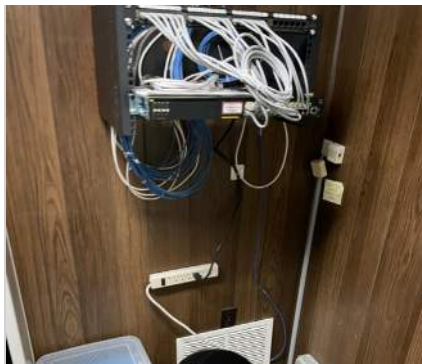
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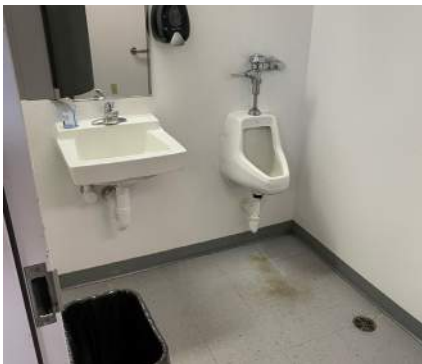
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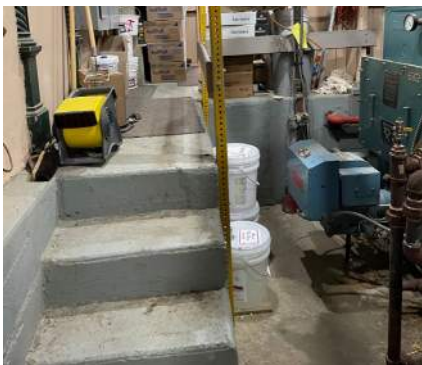
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COURTHOUSE PHOTO DIRECTORY



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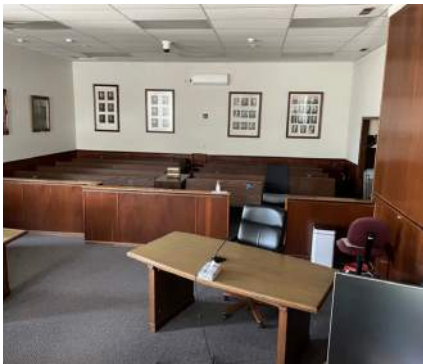
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FACILITY CONDITION ASSESSMENT NARRATIVE

WORTH COUNTY - CONSERVATION

MARCH 2021

ARCHITECTURAL ASSESSMENT

County Conservation is situated on an 0.28-acre site located off of 1st Avenue North, six blocks from the County Courthouse. The Office and the Shop buildings are located in a north/south orientation, parallel on the site. The buildings are comprised of wood columns with wood trusses, clad in corrugated metal for the walls and roof; the north-most office walls are clad in wood siding. The window is vinyl. The overhead doors and sliding doors are aluminum. Updates to the building were made in the recent past.



The conservation buildings appear structurally sound. The office building envelope is minimally insulated. Updates are also required for accessibility and to resolve some building code issues. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The County Conservation buildings are situated on an 0.28-acre site located off of 1st Avenue North, six blocks from the County Courthouse. The buildings are located in a north/south orientation, parallel on the site. Parking spaces are available north of the office building.

There is no sidewalk around the site nor accessible parking space for the public meetings that are conducted onsite. There is also no accessible route into the office space through the front door. These items are required to conduct meetings that are open to the public.

EXTERIOR

The buildings are comprised of wood columns with wood trusses, clad in corrugated metal for the walls and roof; the north-most office walls are clad in wood siding. The window is vinyl. The overhead doors and sliding doors are aluminum. The exterior building materials appear to be in good condition.

The building envelope does not meet the current level of thermal insulation for energy efficiency, which has increased since the office building was originally constructed. The code only requires newly constructed alterations to the existing building to follow the stricter energy requirements. The County may want to consider upgrades to the roof and exterior of the building to increase the building's energy performance.

INTERIOR

The existing office space is in good condition. Typical finishes within the building include carpet, wood paneling, and gypsum board ceilings. The shop spaces attached to the office contain concrete slabs floors with wood or fiberglass paneling walls surfaces. The ceiling is corrugated metal panel or open to the structure above. The large shop building contains a wood-framed mezzanine around half of the building and a gravel floor.



CONSERVATION ASSESSMENT

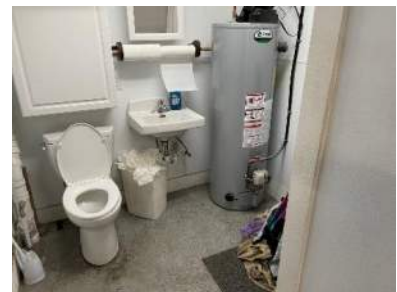
The wood working space is directly adjacent to the welding space, with a tarp that can be deployed between the spaces. This should be replaced with a fireproof curtain.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

The existing toilet room is not accessible, and this is required for public meeting spaces. Accessibility is not only the large toilet clear floor space with grab bars, but also includes the door clearances, grab bar locations, clear space in front of the sink, maneuvering spaces, and toilet accessory mounting heights. The bathrooms do not have the proper door widths nor clearances; the accessories protrude into the pathways or are too high, and the sink handles and flushometers are not accessible. The shower is not accessible. Shrouds are also required at piping below the sink.



HVAC SYSTEMS

The HVAC system has had some recent updates. The forced-air system is located in the shop portion attached to the office, which creates a scenario where dust easily enters the office building. This air should be re-ducted to minimize this effect.

There is no exhaust hood associated with the welding space nor is there a dust collector associated with the wood shop portion of the space. These elements are required to meet building code.

PLUMBING SYSTEMS

The plumbing fixtures should be updated to meet accessibility requirements, and with public access, a drinking fountain or water cooler must be provided.

ELECTRICAL SYSTEMS

Due to the existing system and the current need for power due to shop support, the electrical service should be updated. In addition to code-compliant equipment, new wiring and additional outlets should be provided to fully accommodate needs. The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights.

CONSERVATION IMPROVEMENT MEASURES

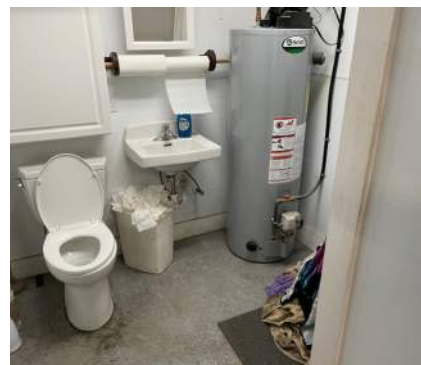
BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
COUNTY CONSERVATION					
Architectural					
Interior					
	Wood Working share space with Welding	Segregate spaces with a fireproof curtain	Required	\$2,000.00	1,2
SUBTOTAL				\$2,000	
Accessibility					
	There is no accessible route to the building.	Accessible entrance and path to the front door	Required	\$200.00	6,7
	There is no accessible parking	Provide paved, accessible parking	Required	\$2,350.00	6
	The toilet room is not accessible regarding clearances, doors, sinks, accessories.	Provide an accessible, public-use toilet.	Required	\$30,000.00	3
SUBTOTAL				\$30,000	
Engineering Systems					
Plumbing					
	Plumbing fixtures are not accessible.	Updated plumbing and provide accessible fixtures	Required	Line Item Above	3
SUBTOTAL				\$-	
HVAC					
	No exhaust hood at welding	Provide exhaust hood.	Required	\$5,000	7
	Dust easily enters the occupied, non-shop space.	Re-duct return air to reduce dust in non-shop space.	Recommended	\$1,200	4
	No Dust Collector at wood shop	Provide exhaust fan.	Required	\$3,000	1,2
SUBTOTAL				\$9,200	
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
Building	Light fixtures contain fluorescent bulbs	Replace lighting with LED units	Recommended.	\$18,000.00	5
SUBTOTAL				\$40,500	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$84,250	



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FACILITY CONDITION ASSESSMENT NARRATIVE
WORTH COUNTY - ENGINEERING
MARCH 2021

ARCHITECTURAL ASSESSMENT

The engineering building is situated on a one-city-block site located off of State Highway 105. The building is located behind the county courthouse, adjacent to a surface parking lot. The building is comprised of exterior, brick load bearing masonry walls that have since been clad with vinyl siding. The floor and roof framing are wood. The roof is standing seam metal. The windows are vinyl punched openings. The original, approximate 1950s building has been through cosmetic iterations with the stair added at a later date.



The engineering building appears structurally sound with few modifications required to resolve some building issues, and address maintenance. The building is not accessible and would require significant modifications to become so. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The Engineering Building site, which encompasses a city block, is shared by the Jail and Sheriff's facilities, the County Courthouse, the Worth County Veterans Monument, and a surface parking lot. The site is relatively level. The engineering building is centered along the north edge of the two-acre lot. East of the building is open. The Sheriff's facilities are located to the northwest and the courthouse building is centered on the site. Parking is located at the northwest corner of the site, west of the engineering building.

The engineering door exits the southwest corner of the building. There is no stoop at the door and the parking lot is deteriorated and cracked at the door location. The overhead doors exit to a paved area connecting to the surface parking lot. The site has a number of older trees. These provide shade and character, but also add to building maintenance with leaves and branches falling onsite and onto the roof. The trees should be trimmed appropriately off the building.



EXTERIOR

The engineering building is comprised of exterior, brick load bearing masonry walls that have since been clad with vinyl siding. The floor and roof framing are wood. The roof is standing seam metal. The windows are vinyl punched openings. Sealant around the windows is deteriorated and cracking and needs to be replaced. The perimeter vinyl flashing around the overhead doors has been damaged over time and is in need of repair.



INTERIOR

The existing interior is in fair condition. The interior walls are wood stud partitions with either gypsum board or wood paneling finish. Typical finishes within the building include carpet, sheet vinyl, gypsum ceilings and adhered acoustical tile ceilings. The floor seams in the work area have deteriorated. The steps to the office space on the upper level are not all equal, the bottom step is significantly shorter. Code requires that all the steps be a consistent height to prevent a tripping hazard. Water infiltration has been resolved at the ceiling by the stairs, but the damage to the interior has not been repaired.



ENGINEERING ASSESSMENT

ADA

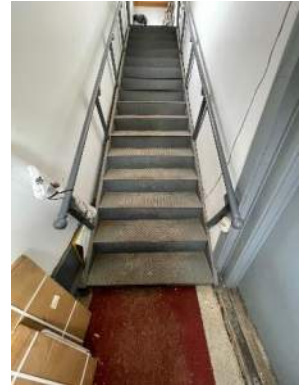
Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

With the office and meeting space on the second floor, only accessible by stairs, this prevents universal access. An accessible conference room at-grade for public access would resolve this item.

Generally, all doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. Insufficient clearance is provided at some doors. Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at many of the doors in the building should be replaced.

The toilet room is not accessible regarding clearances, doors, sinks, accessories. Staff would need accommodation if an employee required an accessible toilet. Since the building is open to the public, an accessible toilet room is required. There is a lack of clear space at the sink and the toilet. Grab bars are required along the back and side of the toilet. The sink is to have knee space underneath with the pipes insulated.

For a publicly accessed building, the number of accessible exits required by code must exceed more than 50% of the overall building exits. If accessibility were provided to this space, the one entrance would need to be upgraded and an accessible way to get to the second floor provided. Accessibility also applies to signage and wayfinding; the exterior signage does not contain raised lettering nor braille.



HVAC SYSTEMS

In general, the entire HVAC system appears outdated. An exterior unit and inter vents indicate forced air heating and cooling but the exact age and status was unable to be determined.

PLUMBING SYSTEMS

Many components of the plumbing systems need improvement. The sink and toilet are not accessible. The layout will need to be revised.

ELECTRICAL SYSTEMS

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights. It is recommended that the building's power be upgraded for HVAC upgrades and additions.

ENGINEERING IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
ENGINEERING					
Architectural					
Interior					
Stairs	Steps to the office space on the upper level are not all equal, the bottom step is significantly shorter.	Replace metal stairs to have consistent riser heights.	Required	\$8,000.00	6
Stair Ceiling	Water infiltration has been resolved at the ceiling but the damage has not been repaired.	Repair the damaged ceiling.	Recommended	\$1,000.00	7
Work Space	Floor Seams have deteriorated.	Replace Flooring	Recommended	\$7,000.00	9
SUBTOTAL				\$16,000	
Exterior					
	Sealant around the windows is deteriorated and cracking	Replace sealant around the windows	Urgent	\$1,700.00	4
	Perimeter around the overhead doors have been damaged over time	Repair damaged overhead door perimeter.	Recommended	\$1,000.00	2,3
SUBTOTAL				\$2,700	
Accessibility					
	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$2,400.00	5
	Access by the public is not accessible and must be conducted at an alternate location.	Relocate the public-access to an at-grade accessible conference room	Required	\$15,000.00	1
	The toilet room is not accessible regarding clearances, doors, sinks, accessories.	Staff would need accommodation if an employee required an accessible toilet room	Required	TBD	8
SUBTOTAL				\$17,400	
Engineering Systems					
Plumbing					
	Plumbing fixtures are not accessible.	Staff accommodation for updated plumbing and accessible fixtures	Required	TBD	8
SUBTOTAL				\$-	

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
Building	Lighting utilizes fluorescent bulbs	Replace with high efficiency, LED lighting	Recommended	\$15,000.00	9,10
SUBTOTAL				\$37,500	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$73,600	

ENGINEERING PHOTO DIRECTORY



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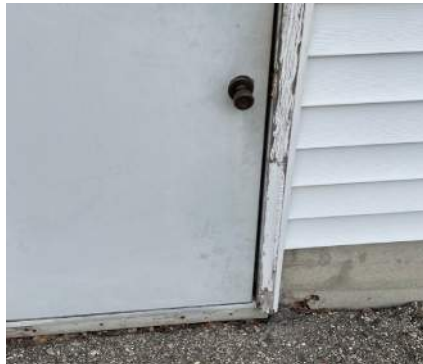
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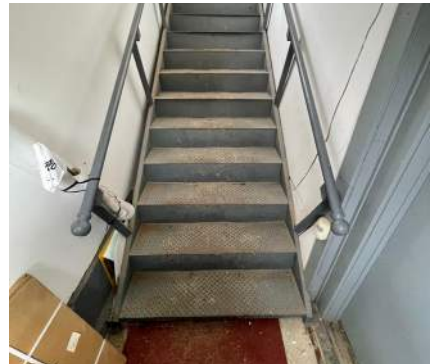
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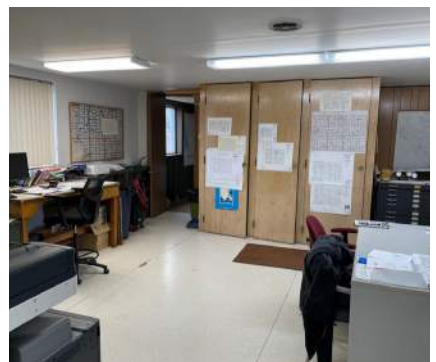
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FACILITY CONDITION ASSESSMENT NARRATIVE

WORTH COUNTY – SECONDARY ROADS

MARCH 2021

ARCHITECTURAL ASSESSMENT

The secondary roads site in Northwood, IA is situated on a 2.59 acre site located off of 13th Street South. The is part of a residential neighborhood, with buildings around the perimeter of the site and open space in the center. There are multiple buildings on the site, housing the shop, cold storage, salt/sand, and sign storage. The buildings originate from the 1940s and are a mix of metal- and wood-clad steel- and wood-framed structures.



The buildings are past their useful life. The structures no longer fully accommodate the large vehicles used by the department. There is little to no insulation in the buildings, and the heating system is unable to keep up with the demand. The buildings are not accessible. Consideration should be given to replacement or relocation of this secondary roads facility.

SECONDARY ROADS IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
SECONDARY ROADS					
Exterior					
	Assembly of different buildings, at the end of their life, low energy efficiency, difficult to heat, no hoist or shop, overhead doors not large enough. Buildings are not accessible.	Replace all buildings	Recommended	\$2,100,000.00	1,2,3,4
SUBTOTAL				\$2,100,000	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$2,100,000	

SECONDARY ROADS PHOTO DIRECTORY



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FACILITY CONDITION ASSESSMENT NARRATIVE

WORTH COUNTY – SHERIFF AND JAIL

MARCH 2021

ARCHITECTURAL ASSESSMENT

The Worth County Sheriff and Jail building is situated on a one-city-block site located off of State Highway 105 and shared with the County Courthouse. The building is set back from the main highway on the west edge of the site, with a parking lot located behind the building. The building is comprised of load bearing concrete block walls with brick veneer and a split face concrete block base. The floor is slab-on-grade concrete and the roof structure is steel joists. The windows are vinyl punched openings with the jail cell windows a mix of glass block infill and vinyl windows. The roof is standing seam metal. The building was constructed in 1988 to connect to the existing courthouse.



The Sheriff and jail building appears structurally sound but there is evidence of water infiltration along the south exterior wall. Updates are also required for accessibility, to resolve some building issues, and address maintenance. The most significant upgrades to the building are related to the jail facility and the change in jail facilities and security measures. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SHERIFF AND JAIL ASSESSMENT

SITE

The jail site, which encompasses a city block, is shared by the courthouse and engineering facilities, the Worth County Veterans Monument, and a surface parking lot. The site is relatively level. The jail is west of the courthouse, set back on the two-acre lot. Parking is located at the northwest corner of the site, behind the jail.

Each exterior door has a sidewalk connecting to the stoops. The north entrance sidewalk enters a public space before entering the jail. The remaining sidewalks are in good shape and relatively level. The sallyport entrance drive has significantly settled, such that there is a difference of a few inches from the building slab to the drive elevation.



EXTERIOR

The building is comprised of load bearing concrete block walls with brick veneer and a split face concrete block base. The floor is slab-on-grade concrete, and the roof structure is steel joists. The exterior doors have security pin pads.

The exterior brick is in good shape. The split-face block around the building perimeter is not sealed and is absorbing moisture; a sealer should be applied to this masonry.

The painted steel lintels at window openings are rusting; the rust must be removed, and the lintels repainted. The sealant around the window units is cracked and deteriorated and in need of replacement.



The building envelope does not meet the current level of thermal insulation for energy efficiency, which has increased since the buildings were constructed. The original jail masonry walls appear to have 2 inches of rigid insulation in the masonry cavity and batt insulation in the roof structure. The code only requires newly constructed alterations to the existing building to follow the stricter energy requirements. The County may want to consider upgrades to the roof of the building to increase the building's energy performance.

INTERIOR

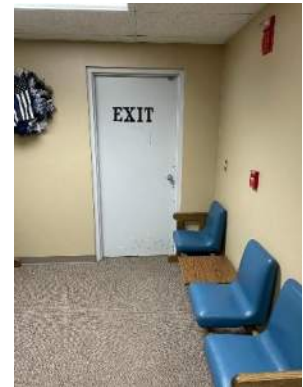
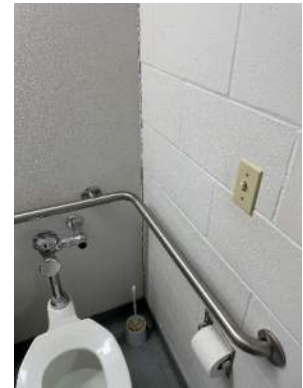
The existing jail interior is in good condition. Typical finishes within the administrative portion of the building include carpet and vinyl composition tile, lay-in acoustical tile, and painted gypsum board on

metal studs at interior walls. The jail spaces have masonry walls and precast ceilings. The existing carpet in the staff areas is warped and raised, presenting a tripping hazard; this should be replaced.

The south exterior wall has an instance where water infiltration has deteriorated the wall and ceiling finishes. This appears to be due to a poor roof and wall connection where the metal roof meets the exterior wall. The proper flashing should be provided at this connection; the damaged interior finishes, insulation, and ceilings should be removed and replaced.

At the doorways that connect to the public bathrooms and the jail, there is cracking evident that indicates building movement or lack of a joint for movement. An expansion joint should be added where the jail connects to north courthouse addition.

Overall, the jail configuration has an unsafe situation where booking shares space with storage and the washer / dryer. There are instances where circulation paths cross between administrative staff and inmates, which is not advisable. There are instances where circulation paths cross between the public and inmates, which should be avoided. When inmates are transported to the courtrooms, they are moved along corridors that are shared with county staff and the public. The building configuration must be evaluated and adjusted to provide adequate safety for staff and visitors while allowing for the security of inmates.

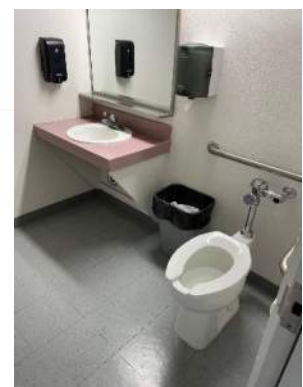


ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Generally, all doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. Insufficient clearance is provided at the exterior door on the southwest of the jail. Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

Of the toilet rooms in the building, none are fully accessible. Accessibility is not only the large toilet clear floor space with grab bars, but also includes the door clearances, grab bar locations, clear space in front of the sink,



SHERIFF AND JAIL ASSESSMENT

maneuvering spaces, and toilet accessory mounting heights. The two public bathrooms do not have the proper clear space at the toilet nor the required turning radius. The booking bathroom does not have the proper clearances; the accessories protrude into the pathways or are too high, and the sink handles and flushometers are not accessible. Shrouds are also required at piping below the sink. More than half of the individual toilet rooms utilized by the public are required to be accessible.

The public-service countertop in the jail reception area is 42-inches high and does not have a lower, accessible-height section.

There is no accessible jail cell, which is required.

The multipurpose meeting space for inmates and other entities off the public lobby of the jail contains a deadbolt on the outside of the door, which does not meet building code. This door hardware should be revised to be code compliant.

Accessibility also applies to signage and wayfinding; the signage throughout the building does not contain raised lettering nor braille.



HVAC SYSTEMS

The current HVAC system ties into the existing boiler in the courthouse for heating and a forced-air cooling system is in place. The requirement for code-required outside air exchanges is not being met. The temperature controls are outdated and inefficient; it is recommended that these controls be replaced with direct digital controls (DDC) with revised building zoning for staff and inmate spaces.

PLUMBING SYSTEMS

Many components of the plumbing system need improvement. The sink faucets and toilet flush valves are outdated and inaccessible. Much of the existing water piping is galvanized and should be replaced. The water service entrance is not easy to access through a storage room.

ELECTRICAL SYSTEMS

Due to the existing system and the current need for power due to technology and gear used by staff, the electrical service should be updated. In addition to code-compliant equipment, new wiring and additional

outlets should be provided. It is recommended that the entire building be upgraded to LED lights and that the building's power be upgraded for HVAC upgrades and additions.

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights.

In addition to power, upgrades are recommended to the access control system and the security system. The access control distribution panels that are located in space with inmate-use should be relocated.



SHERIFF AND JAIL IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
SHERIFF AND JAIL					
Architectural					
Interior					
	Cracking evident at doorways to public bathrooms and jail, indicating building movement or lack of expansion joint	Confirm no building movement, cut out crack at floor and walls, install expansion joint	Recommended	\$5,000.00	4
	Water infiltration is evident at the ceiling along the south wall	Resolve water infiltration at wall and roof, repoint brick as necessary, remove & replace damaged interior finishes	Urgent	\$40,000.00	3
	Carpet in staff area is warped and presents a tripping hazard	Replace flooring	Required	\$5,000.00	12,13
	Unsafe situation where booking shares space with W/D and Storage	Rework shared space	Required / Safety	TBD	8,9
	Unsafe situation where circulation crossing of administrative staff and inmates	Rework circulation	Required / Safety	TBD	
	Unsafe situation where circulation crossing of public and inmates	Rework circulation	Required / Safety	TBD	
	Unsafe situation where inmates moved up to courtroom through public route	Rework route	Required / Safety	TBD	
SUBTOTAL				\$50,000	
Exterior					
	Sealant around the windows is deteriorated and cracking	Replace sealant around the windows	Urgent	\$120.00	17
	The exterior concrete slab is settling, so there is a step for a vehicle into the sallyport	Raise slab to be level with the floor.	Required	\$2,500.00	14,15
	Steel lintels are rusting.	Remove rust and repaint lintels.	Recommended	\$3,600.00	16
	The split-face block base appears to be absorbing water	Provide sealer at split-face block, around building	Urgent	\$2,200.00	18,19
SUBTOTAL				\$8,420	
Accessibility					
	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$9,000.00	2
	Meeting area with inmate contains deadbolt on outside of door	Replace with institutional-type door hardware for security and egress in emergency scenario	Required	\$1,000.00	2

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
	Public Toilets adjacent to jail lack accessible clear space at the toilet and proper turning radius.	Rework bathrooms to provide an accessible use	Required	\$50,000.00	
	Exterior door to the west does not have the accessible clear space adjacent to the door lever.	Rework exterior door configuration.	Required	\$10,000.00	
	Booking bathroom is not accessible	Rework bathroom to be accessible.	Required	\$30,000.00	
	Lack of accessible jail cell	Provide accessible cell and access from adjacent jail space	Required	\$75,000.00	
SUBTOTAL				\$175,000	
Engineering Systems					
Plumbing					
	Flushometers at Public Toilet Rooms is not accessible.	Replace flushometers with accessible-type	Required	Included above	
	Water Service entrance is not easy to access through a storage room	Move storage into new space for ease of access	Recommended	\$25,000	
SUBTOTAL				\$25,000	
HVAC					
	HVAC Zoning inadequate	Revise zoning	Recommended	\$12,000	
SUBTOTAL				\$12,000	
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
	Access control distribution panels are in space with inmate-use	Relocate distribution panels	Recommended.	\$4,000.00	
	Electrical insufficient for gear used by department				5,6,7
	Light fixtures contain fluorescent bulbs	Replace lighting with LED units	Recommended.	\$30,000.00	10
SUBTOTAL				\$56,500	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$326,920	

SHERIFF AND JAIL PHOTO DIRECTORY



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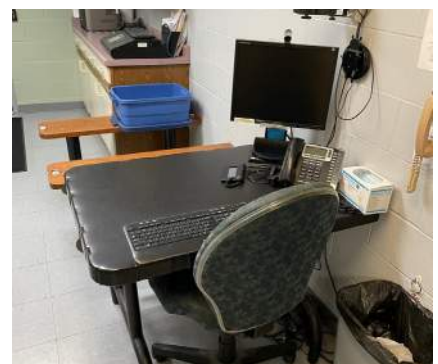
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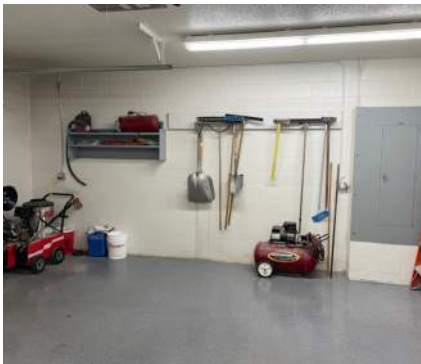
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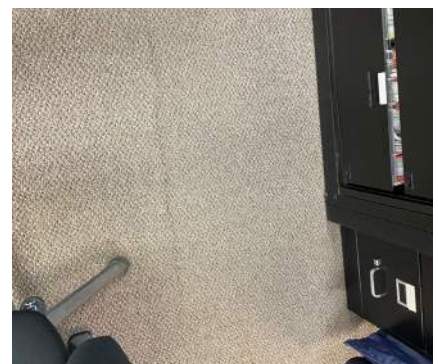
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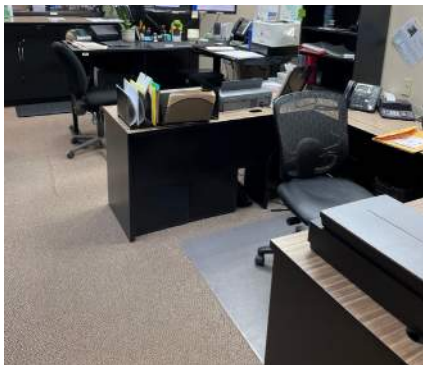
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FACILITY CONDITION ASSESSMENT NARRATIVE

WORTH COUNTY – SHERIFF’S DEPUTIES

MARCH 2021

ARCHITECTURAL ASSESSMENT

The Sheriff’s Deputies is located on the corner of Central Ave and 9th street. The building is leased from the City of Northwood. The building is comprised of load bearing masonry walls with some interior wood stud partition walls, and wood floor and roof framing. Newer vinyl windows were added between 2010-2015 on the upper floor. It was constructed in 1900, with many different occupants over the years.



The building appears structurally sound but there is evidence of water infiltration at multiple locations, particularly the upper level. The building envelope will require effort to make the building watertight. Updates are also required for accessibility, to resolve some building issues, and address maintenance. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The Sheriff’s Deputies building is located on the corner of Central Ave and 9th street, anchoring the corner of the historic main street.

The main entrance has a sidewalk to the south and east. The section of the sidewalk to the main, secure entrance is not accessible at the door threshold. A sidewalk also provides access to the exterior door for the basement access enclosure on the north of the building.

EXTERIOR

The building is comprised of load bearing masonry walls with some interior masonry and wood stud partition walls, and wood-framed floor and roof structure. Newer vinyl windows were added between 2010-2015 on the upper floor. The upper level is accessed from the exterior stair with a low guardrail on one side.

The wood frame around the vinyl windows has deteriorated. The exterior aluminum security door does not latch properly, the door hardware should be replaced.



INTERIOR

The existing building interior is in poor condition. Typical finishes within the building include carpet, vinyl, VCT, plaster, gypsum board, and lay-in acoustical tile ceilings, plaster, and gypsum ceiling finishes. The upper level is currently unoccupied.



The building layout hinders the chain of custody and security of evidence. The stairs to the basement do not meet code for the required maximum riser height. The stairs should also have handrails on both sides. Potential hazardous materials may be found throughout the building. Water infiltration is evident in the upper level and basement.

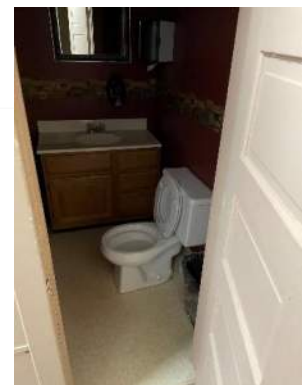


ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

The toilet room is not accessible regarding clearances, doors, sinks, accessories. This is not a public space. Staff would need accommodation if an employee required an accessible toilet room.



DEPUTIES ASSESSMENT

HVAC SYSTEMS

In general, the HVAC system appears outdated. The system is forced air. The requirement for code-required outside air exchanges does not appear to be met. The temperature controls are outdated and inefficient; it is recommended that these controls be replaced with direct digital controls (DDC). A new mechanical system would meet the current, more stringent energy code and be more efficient to operate.

PLUMBING SYSTEMS

Many components of the plumbing systems need improvement. The sink, faucet and toilet are not accessible. The faucet knobs are to be replaced with a paddle or sensor. The current layout does not provide the clearances needed at the sink or toilet.

ELECTRICAL SYSTEMS

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights. It is recommended that the building's power be upgraded for HVAC upgrades and additions.

DEPUTIES IMPROVEMENT MEASURES

FACILITY ASSESSMENTS

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
DEPUTIES					
Architectural					
Interior					
Stairs	Chain of Custody and security of evidence	Provide secure, main level evidence storage	Required	\$140,000.00	
	Steps to the basement are steep.	Replace stairs to have code-compliant riser heights with handrails on both sides.	Required	\$5,000.00	2
	Potential hazardous materials may be found throughout the building	Remediate hazardous materials.	Required	\$20,000.00	
	Water infiltration is evident in the upper level.	Replace roof and flashing, repair exterior wall as needed.	Urgent	\$12,000.00	5,6
	Water infiltration is evident in the basement	Direct water away from the building and provide waterproofing as required.	Urgent	\$50,000.00	
SUBTOTAL				\$227,000	
Exterior					
	Stairs to the upper level are exterior with a low guardrail on one side.	Provide interior stair to upper level for more frequent use.	Recommended	\$18,000.00	8
	Wood frames around vinyl windows is deteriorated	Replace wood where unsalvageable, paint wood frames	Recommended	\$3,200.00	9
	Exterior, security door does not latch properly	Replace door hardware and aluminum frame, if needed.	Recommended	\$3,000.00	1
	The split-face block base appears to be absorbing water	Provide sealer at split-face block, around building	Urgent	\$2,200.00	18,19
SUBTOTAL				\$24,000	
Accessibility					
	The toilet room is not accessible regarding clearances, doors, sinks, accessories.	Staff would need accommodation if an employee required an accessible toilet room	Required	TBD	4
SUBTOTAL				\$ -	
Engineering Systems					
Plumbing					
	Plumbing fixtures are not accessible.	Staff accommodation for updated plumbing and accessible fixtures	Required	TBD	4
SUBTOTAL				\$ -	

DEPUTIES IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Electrical					
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	3
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	
Building	Lighting utilizes fluorescent bulbs	Replace with high efficiency, LED lighting	Recommended	\$12,000.00	
SUBTOTAL				\$ 34,500	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$285,700	



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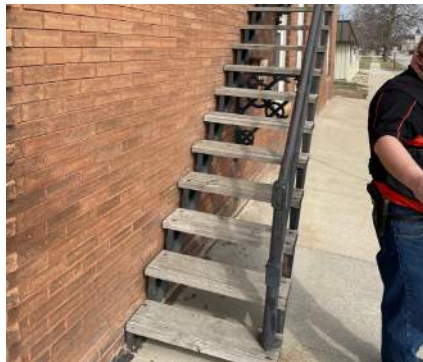
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FACILITY CONDITION ASSESSMENT NARRATIVE
WORTH COUNTY - TREASURER
MARCH 2021

ARCHITECTURAL ASSESSMENT

The Treasurer's building is located on Central Ave. The building is an infill building in the middle of the block. The building is comprised of load bearing exterior masonry walls with load bearing masonry and wood stud partition interior walls and wood floor and roof framing. The building was constructed in 1906 and a new vault was added at the back of the building in 1955. The county took over this former bank building in 1972.



The Treasurer's building appears structurally sound and there is little evidence of water infiltration. The building envelope appears to be in good condition. Updates are required for accessibility to publicly used spaces. The following is a report of the condition of the current building along with estimated costs for corrections needed.

SITE

The Treasurer's building is located on Central Ave. The building is an infill building in the middle of the block. The concrete sidewalk at the entrance sidewalk has settled and no longer provides an accessible entrance to the building.



EXTERIOR

The building is comprised of load bearing exterior masonry walls with load bearing masonry and stone/clay brick exterior finish with stone accents. The exterior stone and brick appear to be in good condition. The mortar on the front of the building, between the building and the adjacent structures, is cracked and in need of repair or replacement.



INTERIOR

The existing interior is in good condition. Many of the original bank interior embellishments have remained in place. Typical finishes within the building include carpet, vinyl composition tile, plaster, gypsum board, wood paneling, polished stone and lay-in acoustical tile ceilings. The acoustical tile is pillowing; it is recommended that it be replaced in prominent spaces. Not all of the public use spaces, like the vault containing the newspapers, are on the main level, making them difficult to access.



ADA

Providing universal access to public spaces is required by the Americans with Disabilities Act (ADA). This law sets guidelines for clearances, reach ranges, and the extent that an object can project into the path of travel, among other requirements.

Public-service countertops are at 42" high to be ADA compliant at least a portion of the counter is to be at a maximum of 34". The path of travel to the testing stations is narrow, at the end of the path there is to be a space for



TREASURER ASSESSMENT

individuals to turn around that is at least 60" in diameter. The public use of the newspapers is in the lower-level vault, which does not have accessible access.

Door hardware is required to be easily graspable lever hardware, so the existing doorknobs located at almost all the doors in the building should be replaced.

The restroom which is for staff and public is located in the lower level which is not accessible. The space does not allow for the proper clearances at the sink, toilet and door. The accessories are not mounted in accessible locations.



HVAC SYSTEMS

In general, the HVAC system is newer and functioning. The radiant boiler is working well, even if it is difficult to maneuver around. The air conditioning system, which is newer, appears to be working well.



PLUMBING SYSTEMS

Many components of the plumbing systems need improvement. The sink, faucet and toilet are not accessible. The faucet knobs are to be replaced with a paddle or sensor. The current layout does not provide the clearances needed at the sink or toilet.

ELECTRICAL SYSTEMS

The building is required to have an infrared scan for all electrical panels, as well as a complete short circuit and arc flash coordination study. It is recommended that the entire building be upgraded to LED lights.



TREASURER IMPROVEMENT MEASURES

FACILITY ASSESSMENTS

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
TREASURE					
Architectural					
Interior					
Basement	The vault contains newspapers for public use	See Accessibility section below	Required	-	10
	2x4 ceiling tiles are pillowing	Replace ceiling tile	Recommended	\$12,000.00	
SUBTOTAL				\$12,000	
Exterior					
	Mortar between building and adjacent structures is cracked	Replace sealant between buildings.	Required	\$500.00	2
	Concrete sidewalk settling at stoop into building	Chamfer sidewalk corner to provide ramped transition into the building.	Required	\$500.00	1
SUBTOTAL				\$1,000	
Accessibility					
	Door Knobs are present on most doors	Replace door hardware to be lever-type.	Required	\$1,500.00	
	Public-Service Countertops are 42" high	Replace or rework existing countertops to have an ADA-compliant segment	Required	\$2,000.00	12,13
	Testing stations have a narrow path of travel and no turning radius for accessibility	Rework testing stations to be accessible.	Required	\$8,000.00	13
	Public use of the newspapers in the lower level vault is not accessible.	Provide publicly-accessed items, that are currently stored in vaults, in an accessible space on the main level	Required	\$10,000.00	
	The toilet room is not accessible regarding clearances, doors, sinks, accessories and is located in the lower level.	Provide an accessible, public-use toilet on the main level.	Required	\$30,000.00	7
SUBTOTAL				\$51,500	

TREASURER IMPROVEMENT MEASURES

BUILDING AREA	CODE / MAINTENANCE ITEM	RECOMMENDATION TO CORRECT	URGENCY LEVEL	BUDGET COST	PHOTO REFERENCE
Engineering Systems					
Plumbing					
	Plumbing fixtures are not accessible.	Staff accommodation for updated plumbing and accessible fixtures	Required	TBD	7
SUBTOTAL				\$ -	
HVAC					
	Boiler is difficult to maneuver around.	Boiler room enclosure should be enlarged or removed.	Recommended	\$3,000	6
SUBTOTAL				\$3,000	
Electrical					
	Light fixtures contain fluorescent bulbs	Replace lighting with LED units	Recommended.	\$18,000.00	8,9
Building	Infrared Scan	Provide an Infrared Scan for all electrical panels throughout school	Required / Code	\$7,500.00	
Building	Short Circuit & Arc-Flash Coordination Study	Provide a complete Short Circuit & Arc Flash Coordination Study	Required / Code	\$15,000.00	5
SUBTOTAL				\$40,500	
Total Cost Expectation (includes construction fees, 1 year inflation, excludes design fees, FF&E)				\$108,000	

TREASURER PHOTO DIRECTORY



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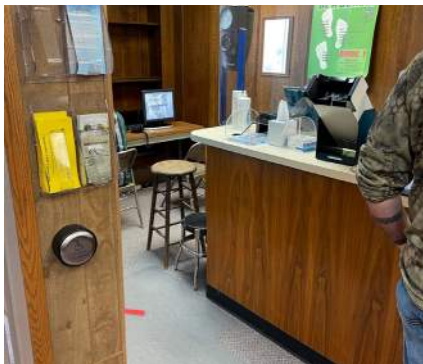
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/ STRUCTURAL ASSESSMENT 08

Structural Assessment of the Worth County Courthouse and Jail Facilities

1000 Central Ave.

Northwood, IA 50459



Prepared by:
FEH DESIGN
951 Main St.
Dubuque, IA 52001

Submitted:
July 28, 2021

On Thursday, July 15 at approximately 1:30 pm, a visual assessment of the Worth County Courthouse and jail in Northwood, IA was conducted. Brian Lund from Buildings and Grounds was present throughout the observation, as well as Sherriff Dan Frank for the jail portion. Also, county auditor Jacki Backhaus was met with upon arrival. The weather was mostly sunny, breezy, temperature in the mid-80's. There had been rainfall the night before.

Description:

The main courthouse building consists of a 3-story, brick masonry structure with wood framing and some areas of concrete framing. The original courthouse was constructed circa 1893, with an addition on the east side built around 1938. An elevator was added when the jail addition was constructed in the late 1980's. The jail addition is a one-story, concrete masonry structure with steel joist roof structure and steel deck. There is a small utility tunnel connecting the jail and the courthouse boiler room.

Observations:

At the attic level of the courthouse, the wood roof framing was observed to be in fair condition. At the south side of the building, wood joists spanned from nailer-plates up to ridge beams, with tongue-in-groove deck. There were some areas of visible discoloration indicating water intrusion around the south gable and around the chimney on the eastern side, but the wood was dry to the touch, and it is unknown how long ago the leaks occurred. Another area of apparent water intrusion was to the north and northwest of the stairs. At this location, the roof joists were very dark, and the joist that appears to have been fastened to the brick wall of the stairs had pulled away from the wall. The roof framing immediately west of the stair tower appears to have experienced some movement where two members have been pried apart. The roof over the courtroom consisted of a large wood-chord truss with some steel vertical web members spanning east-to-west and roof joists framing up to the truss. Secondary framing in this area supports a large arch ceiling. This framing did not appear to show significant signs of movement or degradation, except for the area just north of the stair tower noted above. To the east, the 1938 addition was again wood roof joist framing, this time posting down to a bearing wall running east-west at the middle. No significant movement or degradation was observed in this area.

Some of the brick walls were observed to have a significant amount of efflorescence, especially at the south gable and around the chimney. Smaller patches were observed throughout the rest of the building, less so at the 1938 addition. Some brick deterioration was observed at the stair tower's east and north walls, at the south gable, and at the chimney.

The structure at the upper and main floors was not directly observable due to wall, ceiling, and floor finishes. At both levels, the walls north of the stair tower showed significant water damage. It was reported by the building users that this has been an ongoing issue. Slight cracking was observed in the concrete floor in the east bathrooms. Building users reported no significant issues involving operation of door or windows.

At the lower level, again, signs of water intrusion at the north and east walls of the stair tower were observed. In the vault area, it was observed that the structure of the floor above was board-formed concrete slab. The slab showed some minor hairline cracking, but overall appeared to be in very good condition. In the southwest office, some slight water damage was noted at the window and at the steam line near the floor. In the server room, the structure of the floor above was observed to be concrete arch-slabs which appeared to be in very good condition. In the boiler room, the wood framed structure above was visible, and appeared to be in fair condition. Adjacent to the boiler room, a below-grade cellar-type structure was observed to have clay masonry unit walls and steel columns supporting back-to-back steel channel beams, that in turn supported a reinforced concrete slab. The slab was observed to have significant cracking and spalling, with exposed reinforcement in several locations. The bases of the columns were observed to bear on a slab-on-grade. There was significant corrosion of the columns and base plates observed. There was standing water observed in the northwest corner of the room. At the northwest corner of the room, an opening had been made in the wall, and a utility tunnel extended to the northwest, presumably to the jail building. The tunnel was observed to have concrete masonry unit walls with a form-deck lid. The tunnel appeared to have some water intrusion as well.

At the exterior of the courthouse, some minor brick spalling and chipping was observed around the entire original building, but more significantly around the stair tower. Even lighter spalling and chipping was observed around the 1938 addition. Some light vertical cracking was observed in the brick on the south and west faces of the building. There was some cracking observed at the foundation limestone at the southwest corner of the building.

At the jail, several areas of water intrusion have been reported by the buildings and grounds technician. An area at the north entrance was opened up, and significant water intrusion was observed. Leaking was also reported in the rooms along the south face of the building. Areas of water intrusion were evident by the darkening of the fire-resistant coating on the structure; some locations appeared to be wet. It was reported that the man door to the exterior near the carport would have difficulty opening at times. It was observed that the lintel above this opening had experienced some differential movement from the north jamb. In the carport, several areas of cracking in the wall were observed. Although the carport had an epoxy coating, some slight slab cracking was projecting through near the overhead door. No issues were observed or reported in the area of the control room, server room, or break area, but it was reported that during a renovation, that included some slab-on-grade replacement, the contractor noted that it looked as if there was water intrusion. The cells were not able to be observed, but it was reported that there was no cracking evident in the spaces, though there was some corrosion around the steel window frames. Significant cracking was observed at the entry to the public restrooms near the south entrance.

At the exterior of the jail, it was reported that water would pour out of the vented soffit at the covered entry for the man door adjacent to the carport. In the winter this creates an ice issue. At the east-facing exterior wall, near the south door, some loose caulk was observed. At the carport, it was reported that the driveway slab was originally flush with the carport slab, but it was observed that there is over 3" differential between slabs. Along the west wall of the carport, and around the building in general, it was observed that there had been cracking of the split-face CMU near the foundation, but that it had been tuckpointed. Corrosion was observed at all exposed steel areas including masonry lintels and window frames. At the re-entrant corners adjacent to the north entrance, there was significant mildew. At the

exterior lintel at the north entrance, the lintel was observed to have differential movement from the west jamb.

Along the east side of the buildings and going back over the jail building and into the courthouse building was a steel framed fire escape structure. The structure appeared to be in good condition.

Discussion:

The original courthouse building is in fair condition for its age, with the exception of the areas immediately surrounding the stair tower. Two structural issues at the roof framing have appeared to allow water into the building, and that has affected the wall and likely the floor framing at each level. Where the two framing members have separated immediately west of the stair tower, the valley joist has deflected downward and rotated slightly. This valley joist is connected to the framing that has pulled away from the north wall of the stair tower by another roof joist, one that has had some significant water damage and degradation. Whether the framing to the north pulled down on the roof framing to the west, or the framing to the west failed and then applied load to the framing to the north, or if the two failures occurred independently is not immediately apparent.

Areas of water infiltration around the chimney appear to be older. The efflorescence on the brick indicates that there has been some moisture migration through the brick, though it is unknown if this is an ongoing issue.

The cracking in the foundation limestone at the southwest corner is consistent with some level of foundation settlement in this area. Again, to what degree this settlement is ongoing is unknown.

The cellar room off the boiler room is in very poor condition. The room is not weather-tight, and nearly all structural elements are exhibiting some form of distress.

At the jail, despite the reports and observed evidence of water intrusion, no immediate structural cause of this was observed. However, much of the framing in this portion of the building was not able to be directly observed as it was obscured by the fireproofing. Significant structural issues might cause the fireproofing to crack or come loose; no such events were observed. Smaller movement, however, may have occurred and are obscured by the spray-on fire resistant coating. Two areas of observable structural distress, however, were at the northwest and southwest entrances, where the lintels experienced differential movement with their supports. This, along with the masonry cracking, and driveway settlement, could all be due to foundation settlement.

Recommendations:

At the courthouse, it is recommended that the framing to the west and to the north of the stair tower be removed and rebuilt. Consistent water intrusion has likely weakened the wood framing adjacent to this area and should be replaced to be able to offer adequate bracing to the walls. After removal of the finishes, the extent to which the water intrusion has damaged the framing can be more readily assessed. Additionally, at the location west of the stair tower, additional support should be given to the location

where the roof framing has pried apart. This may involve posting the roof framing to a beam below, or the addition of a beam or system of beams to support this susceptible area.

At the southwest corner of the building, the foundation cracking should be tuckpointed and monitored for additional movement periodically. If additional and continuous movement is observed, subgrade remediation may be necessary.

The cellar area to the west of the boiler room should be either heavily reinforced, removed and replaced, or removed altogether if the space is not required. Repair would include installation of subgrade drainage around the perimeter, repair of the steel column bases, and repair or replacement of the concrete lid.

Additionally, all brick masonry should be tuckpointed, inspected, and repaired as required by a qualified masonry restoration company.

At the jail, the largest issues appear to be weatherproofing and foundation settlement. Over time, weatherproofing issues can lead to structural degradation, as has apparently occurred in the courthouse. At the northwest entry, it is recommended that the crack at the canopy lintel be sealed with a flexible sealant rated for exterior applications. At the south entry adjacent to the carport, if the door sticking becomes problematic, it would be recommended to remove and re-set the door frame. Depending on how much the foundation settlement is still on-going, the door may eventually become an issue again. At this door, it is recommended that the crack at the lintel be tuckpointed, serving both to provide more restraint and apply less pressure to the door frame, and as an indicator if the building is still experiencing movement.

Budget:

Below is a table of opinion of expected costs for the recommendation options noted above.

Item description	Budget
Reconstruction/restoration of wood framing adjacent to the stair tower - The expense of reconstruction in the vicinity of the stair tower could vary significantly depending on the amount of framing that will need to be restored or replaced.	\$64,000
Tuckpointing southwest corner foundation	\$1,000
Renovation of existing storage cellar – Repair of column bases, drain tile, wall reinforcement/repair, slab repair, not including weather-proofing or waterproofing	\$40,000
Replacement of storage cellar	\$55,000
Demolition of storage cellar (extend utility tunnel)	\$10,000
Brick tuckpointing, inspection, repair	See Arch. Assessment
Sealant and tuckpointing at lintels	\$1,200
Door frame replacement	\$3,000

Limitations and Qualifications:

The services described herein were performed and the findings and recommendations prepared in accordance with generally accepted consulting practices. This warranty is in lieu of all other warranties, either expressed or implied. While we have made a reasonable effort to properly evaluate the capacity of the building structure within the contracted scope of services, it should be recognized that this investigation is limited in several important respects including, but not limited to, the following:

- The findings and conclusions were based primarily on visual observations and on comparative judgments with similar properties in our experience. The site observations included only areas that were readily accessible without opening or dismantling any secured components or areas unless otherwise stated in the proposal/agreement. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical or other systems with related calculations and review of design assumptions.
- The conclusions were partially based on information provided by others, including representatives of the property owner. For the purposes of this report, this information was assumed to be complete and correct, unless otherwise noted. FEH assumes no liability for incorrect information provided by others.
- The scope-of-services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. FEH is not responsible for conclusions, opinions, or recommendations made by others based on this information.

Prepared by:

FEH Design



Bryan Blair, PE

7/28/21

Date



Figure 1- Framing at stair tower roof



Figure 2- Stairs up to attic and stair tower wall degradation



Figure 3- Stair tower east and south walls at attic level



Figure 4- Roof framing west of stair tower showing water infiltration and connection failure



Figure 5- Roof framing at south facing roof



Figure 6- Roof framing at south wall connection



Figure 7 - Stair tower walls at attic showing brick degradation



Figure 8 - Roof framing at south gable – east side



Figure 9 - Wall at south gable showing some cracking and efflorescence



Figure 10 - Roof framing at south gable - west side



Figure 11 - Water infiltration at deflected framing member



Figure 72 - Roof framing at west wall showing efflorescence



Figure 9 - Roof framing at chimney showing water damage and brick efflorescence



Figure 14 - Roof framing west of stair tower



Figure 15 - Water infiltration and efflorescence at chimney



Figure 86 - Masonry degradation at chimney



Figure 17 - Roof framing at south gable, west side



Figure 18 - Chimney showing significant efflorescence



Figure 109 - Roof framing west of chimney



Figure 20 - Roof framing at south gable, east side



Figure 21 - Roof framing at south wall



Figure 22 - Roof framing and wall at south gable



Figure 23 - Roof framing and support post



Figure 24 - Roof framing at connection failure



Figure 25 - Roof framing over courtroom arched ceiling where south gable joins



Figure 26- roof framing northwest of stair tower



Figure 27 - Roof framing north of chimney



Figure 28 - Roof framing - south gable framing into main ridge



Figure 29 - Roof truss bottom chord over courtroom with arch framing

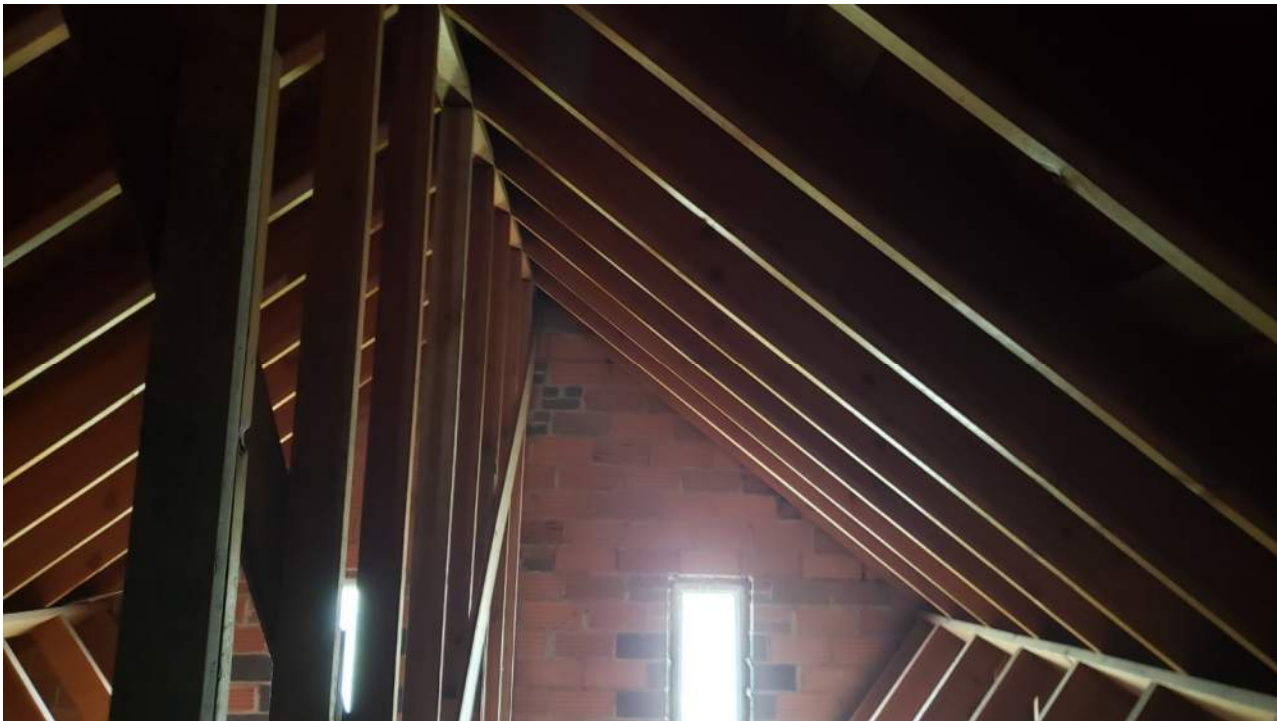


Figure 30 - Roof framing at 1938 addition



Figure 31 - Roof framing at south side of 1938 addition



Figure 32 - Roof framing at 1938/1893 connection



Figure 33 - Roof framing at southwest corner wall



Figure 34 - Roof framing over courtroom



Figure 35 - Main roof truss bearing at 1893/1938 connection



Figure 36 - Roof framing from above courtroom facing east



Figure 37 - Roof framing north of stair tower pushed away from wall



Figure 38 - Slab crack at 1938 addition rest room



Figure 39 - Main roof truss bearing at west wall



Figure 40 - Main roof truss at west wall



Figure 41 - Weathered roof framing adjacent to the northwest corner of stair tower



Figure 42 - Water damaged roof framing adjacent to northwest corner of stair tower



Figure 43 - Roof framing at west side of stair tower



Figure 44 - Crack at wall at second floor room, 1938 addition, south side, adjacent to stair tower



Figure 45 - Warping of finishes at stair tower



Figure 46 - Warping of finishes in corridor adjacent to stair tower



Figure 47 - Water infiltration at office ceiling adjacent to stair tower

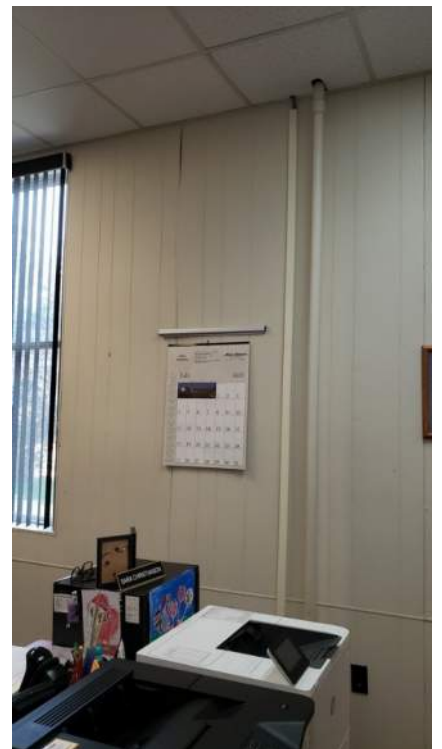


Figure 48 - Warping of finishes adjacent to stair tower



Figure 49 - Fire escape

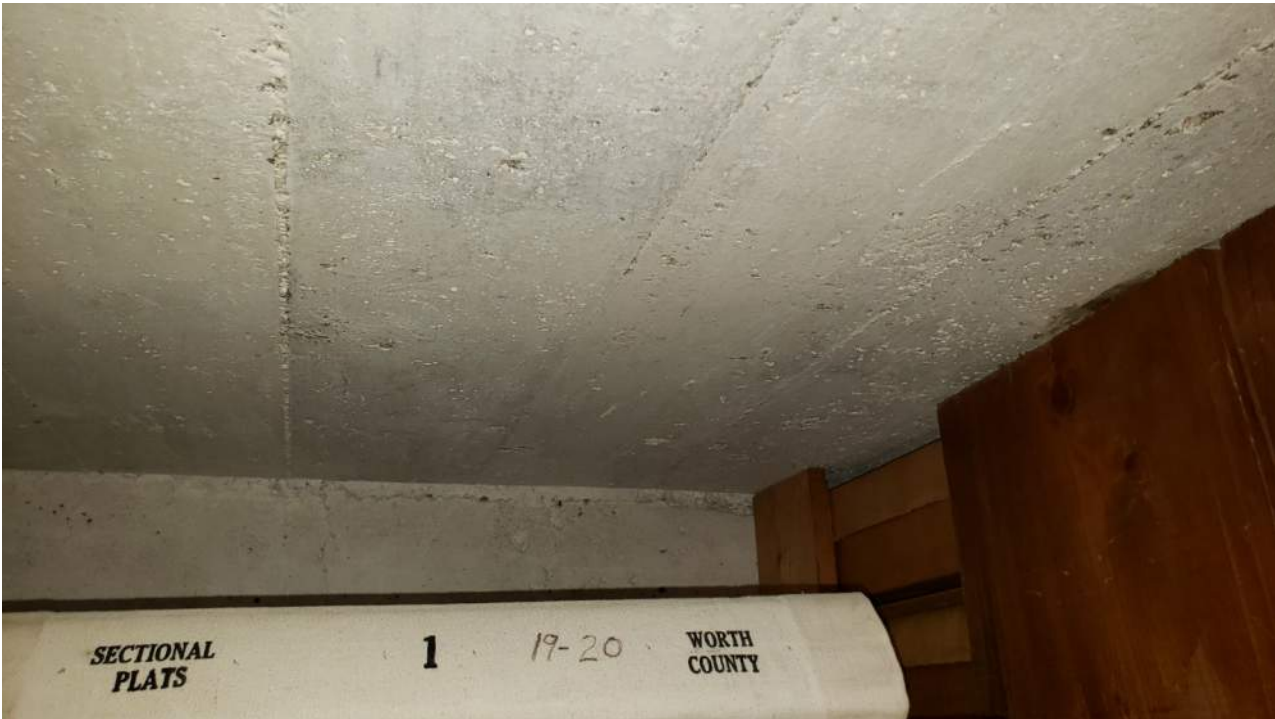


Figure 50 - Board formed concrete slab at vault



Figure 51 - East window well



Figure 52 - Corrosion at floor immediately below window well location



Figure 53 - Water damage at southwest office, lower floor



Figure 54 - Utility tunnel stemming from cellar storage area



Figure 55 - Corroded column base at cellar storage area



Figure 56 - Utility tunnel



Figure 57 - Spalled concrete with exposed and corroding reinforcement



Figure 58 - Concrete lid in server room



Figure 59 - Northeast entrance



Figure 60 - Loose caulk adjacent to the southeast entrance



Figure 61 - Water intrusion at northeast entrance



Figure 62 - Water staining above offices on south side



Figure 63 - Wall crack at rest room



Figure 64 - Floor crack at rest room



Figure 65 - Steam line at southeast corner of southeast office



Figure 66 - Discoloration of fireproofing at southeast corner



Figure 67 - Utility lines coming into the building at southeast corner



Figure 68 - Fire protection over roof joist framing



Figure 69 - Water intrusion near southwest corner



Figure 70 - Fire protection over steel joist framing



Figure 71 - Wall cracking in carport



Figure 72 - Floor crack at carport



Figure 73 – Prior cracking at exterior masonry



Figure 74 - Covered entry at southwest entry



Figure 75 - Driveway at carport



Figure 76 - Masonry base at exterior



Figure 77 - Cracking at southwest entry lintel



Figure 78 - Prior cracking at exterior masonry base



Figure 79 - Previously repaired masonry at exterior



Figure 80 - Exterior masonry



Figure 81 - Wall crack at carport



Figure 82 - Previously repaired masonry at exterior



Figure 83 - Corrosion at masonry support



Figure 84 - Previously repaired cracked exterior masonry



Figure 85 - Corrosion at steel lintel



Figure 86 - Corrosion at steel lintel, moisture accumulation in corner



Figure 87 - Corrosion at lintel



Figure 88 - 1938 addition corner plate



Figure 89 - Area well with some degradation



Figure 90 - Original courthouse entry arch



Figure 91 - Exterior face at south gable



Figure 92 - Crack at lintel bearing at northwest entrance



Figure 93 - Corrosion at lintel on north wall



Figure 94 - Lid of cellar storage at west wall of courthouse



Figure 95 - East wall of stair tower

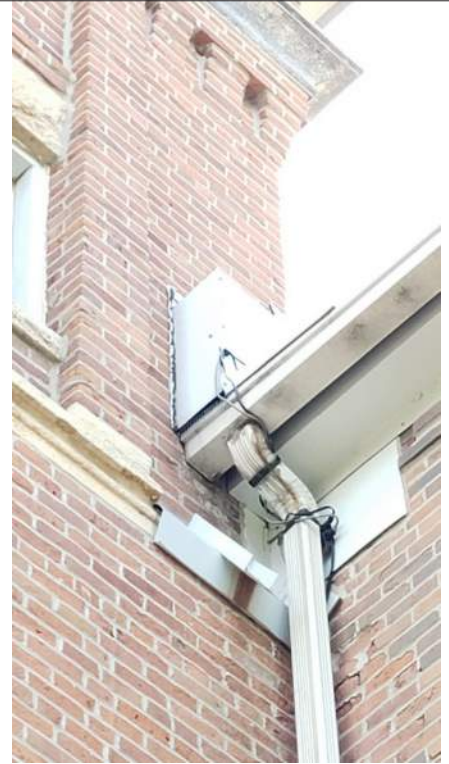


Figure 96 - East wall of stair tower at 1938 addition interface



Figure 97 - West wall of courthouse

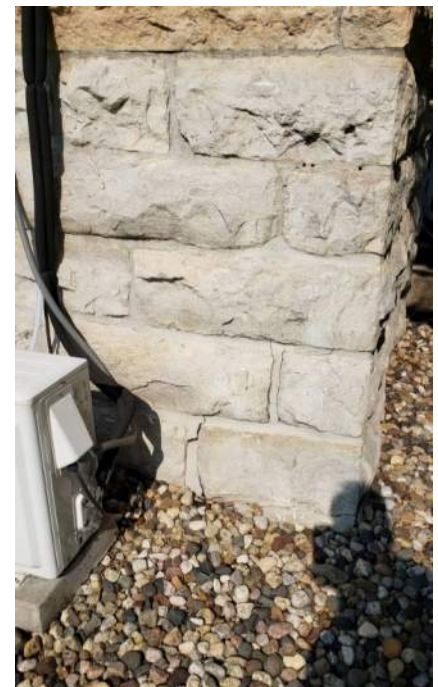


Figure 98 - Cracking at limestone foundation at southwest corner

/ APPENDIX





MEETING MINUTES

ISSUE DATE 2/23/21

MEETING INFORMATION

MEETING DATE	2/22/21	MEETING TIME	1:00pm
MEETING NAME	Worth County Facilities Planning Kickoff	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
<input checked="" type="checkbox"/> Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
<input checked="" type="checkbox"/> A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
<input checked="" type="checkbox"/> Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
<input checked="" type="checkbox"/> Jim Hanson	Conservation	641-324-1524	jim.hanson@worthcounty.org
<input checked="" type="checkbox"/> Jacki Backhaus	Auditor	641-324-2316	auditor@worthcounty.org
<input checked="" type="checkbox"/> Dan Fank	Sheriff	641-324-2481	dfank@worthcounty.org
<input checked="" type="checkbox"/> Teresa Olson	Recorder	641-324-2734	teresa.olson@worthcounty.org
<input type="checkbox"/> Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
<input checked="" type="checkbox"/> Mark Tomlinson	Emergency Mgt Services	641-324-1535	ema@worthcounty.org
<input type="checkbox"/> Scott Hand	Clerk of Court	641-529-0388	scott.hand@iowacourts.gov
<input checked="" type="checkbox"/> Jake Hanson	Treasurer	641-324-2942	jacob.hanson@worthcounty.org
<input type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input type="checkbox"/> Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
<input type="checkbox"/> Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
<input type="checkbox"/> Brian Lund	Buildings and Grounds		

DISTRIBUTION Core Committee & Design team

PURPOSE Kick-off the project, begin Goals for Success, confirm scope, process steps and schedule

DISCUSSION

1. Introductions
2. Review of scope and process
 - a. Refine scope and process
 - i. Condition assessment on 5 buildings including code, maintenance, and ADA items.



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563 583 4900

- ii. Program of space needs.
 - iii. Condition Assessments to include:
 - 1. Courthouse
 - 2. Engineering Annex
 - 3. Sheriff's Facilities including Deputy Building (leased)
 - 4. County Conservation Shop
 - 5. Secondary Roads Shop
 - 6. Treasurer's Space (building owned)
 - b. Who are the contacts for each building / department?
 - i. Jacki is to send FEH contacts for each department/ building.
- 3. Define the Core Planning committee
 - a. Who will be on the decision-making committee?
 - i. Core Committee will be 3 Supervisors and department heads.
 - 1. The meetings will be open/public for transparency.
- 4. Establish Goals for Success
 - a. Why are you doing this project?
 - b. How will you measure the success of the project three years after it is complete?
 - i. High level goals that the community supports.
 - c. See the attached draft Goals for Success created for the items discussed in the meeting.
 - i. Be in compliance with code of Iowa
 - ii. All services under one roof
 - iii. Adequate space
 - iv. Safety and security
 - v. Energy efficiency
 - vi. Keep courts separate from other services and the public
 - vii. Internal/staff efficiencies – employee efficiency
 - viii. Technology rich and tech efficient
 - ix. Work efficiency through safer work environment
 - x. Keep water out of building
 - xi. Maintenance free exterior
 - xii. Design for COVID public access
 - xiii. Keep old books in controlled environment
 - xiv. Structurally sound and secure facility, designed with employee and public safety in mind
 - xv. No elevator
 - xvi. Accessibility (ADA)
 - xvii. Accommodate future growth.
 - d. Some programmatic items that came up when discussing goals include the following:
 - i. It was questioned whether Engineering should be located with Secondary Roads/shop building. A shared office could then be provided in the courthouse.
 - ii. Large modular room for BOS/ Public meetings/ EOC.
 - iii. If bringing offices in, need adequate space to expand.
 - iv. Need IT separate from GIS
 - e. There is a previous program, which Jacki will send to the design team. FEH will reach out to each department to verify the space needs and get more details.
- 5. Public Engagement
 - a. More people involved, the better chance of community support.
 - b. The Advisory Task Force should be 60-100 people, a cross section of community, attendees would commit to 5 meetings.



- c. Task Force Members
 - i. County Supervisors and department heads will make suggestions on people.
 - ii. Joel will put together a google list/document and the group will aim for 100 names.
 - iii. Set up a meeting location for hybrid meetings (meeting at the Timbers) (Kensett at community center).
- 6. Review Schedule and Timeline
 - a. Meetings with the Core Committee will be on Mondays at 10:30 am.
 - b. See attached timeline for meeting dates.
 - c. FEH will be on site in March to conduct the condition assessments and meet with staff on programming.
- 7. Deliverables
 - a. Bound Copy of assessment, public meeting documentation, program and workshop
 - i. All info from meetings, workshop, assessment, in bound report – hard copy and digital.
 - b. The design workshop / spark session will be hosted on www.FEHDesignSparks.com.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments:

- FEH – Draft Goals for Success
- FEH – Draft Timeline
- Jacki – Send Department head contact info.
- Joel – Set up google doc for Task Force member names
- Committee – Start recruiting Task Force members.

Attachments:

- Draft Goals for Success
- Proposed Project Timeline



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MEETING MINUTES

ISSUE DATE 3/3/21

MEETING INFORMATION

MEETING DATE	3/1/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
<input checked="" type="checkbox"/> Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
<input checked="" type="checkbox"/> A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
<input checked="" type="checkbox"/> Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
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<input type="checkbox"/> Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
<input type="checkbox"/> Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
<input type="checkbox"/> Brian Lund	Buildings and Grounds		
<input checked="" type="checkbox"/> Kris Kenison			

DISTRIBUTION Core Committee & Design team

PURPOSE Review Goals for Success, Review Process

DISCUSSION



1. Introductions were conducted over the Zoom meeting
2. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals aloud.
 - b. There were no changes at this time.
3. Public Engagement and ATF Strategy
 - a. Who will be on the Advisory Task Force? How is the list coming?
 - i. The Google Document has been created, there are approximately 80 names on it, but there is some duplication.
 - ii. It is important to endeavor to have all groups represented in the Task Force. A column will be added to the google doc to designate group/community.
 1. It was suggested that the mayors be on the task force and if they cannot, then a council member from each locale.
 2. Institutions and businesses also need to be represented.
 - b. Who will recruit each member?
 - i. A column will be added to the google doc listing who will contact that member.
 - c. Provided recruitment letter, will provide meeting agendas.
 - i. A draft recruitment letter was sent to Jacki.
 - ii. Agendas will be created by FEH and emailed to the department heads.
4. Review Schedule
 - a. Review meeting dates with Core Committee and ATF
 - i. FEH will be onsite on March 15 for the core committee meeting and to conduct condition assessments and staff discussions.
 1. FEH will confirm the previous space needs program meets the current needs.
 2. Some departments are lacking information in the previous space needs program.
 3. County department heads will need to sign up for a time slot to review the program of spaces with Kevin.
 - b. Meeting space for ATF needs to be determined.
 - i. A central location in the County was preferred, potentially the Kensett Community Center.
 - ii. It was discussed that the meetings could be at different locations, but since the meeting topics vary, a consistent location was decided upon.
 - c. The ATF meetings and Spark design workshop need to be promoted.
 - i. These meetings will be open to the public.
 - d. As part of the Mitchell County process, tours were given to show deficiencies/challenges of the existing courthouse. This would be good to do here. Tours could be given after the ATF meetings. A video tour could also be created.
5. Spark website
 - a. www.FEHDesignSparks.com is a website that will include content from the process. This will include drawings produced throughout the day at the Spark workshops, the Goals for Success, voting results, budgets, the space needs program, and preliminary info from assessment.
 - b. It was questioned whether there are existing drawings of the spaces.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

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Assignments: FEH – Create and send agendas for ATF meeting
FEH – Prepare for assessment
Joel – Update google doc for Task Force member names, contact person name and group.
Committee – Start recruiting Task Force members.
Committee – Sign up for time slot with Kevin on March 15.

Attachments: Draft Goals for Success



MEETING MINUTES

ISSUE DATE 3/15/21

MEETING INFORMATION

MEETING DATE	3/15/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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<input type="checkbox"/> Brian Lund	Buildings and Grounds		
<input checked="" type="checkbox"/> Patty Irons	Clerk of Court	641-324-2840	patty.iron@iowacourts.gov
<input checked="" type="checkbox"/> Colleen			

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION



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1. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. There were no changes at this time.
2. Public Engagement and ATF Strategy
 - a. Who will be on the Advisory Task Force? How is the list coming?
 - i. The group has been receiving yes and no from people on the list.
 - ii. The list needs some additional effort.
 - iii. The group will send out the invites and edited letter to potential ATF members.
3. Space needs evaluation
 - a. Due to the weather FEH did not travel today. Kevin and Christy will contact the department heads after the meeting to go over the previous space needs program.
 - b. FEH will follow up later with those individuals not available today.
4. Review Schedule
 - a. Core Committee Meeting 29 March @ 10:30 am.
 - b. Advisory Task Force Meeting #1 7 April @ 6:00 pm.
 - i. The Kensett Community Center has been reserved for the ATF meetings.
 - c. Core Committee Meeting 12 April @ 10:30 am.
5. Other items
 - a. FEH will be on site Tuesday March 23, to do the condition assessment. It was noted that there is a special election that day. *(This was later postponed to Friday due to quarantines.)*
 - b. If there are any existing plans of the Court House or other County buildings, please send them to FEH.
 - c. It was suggested that a utility locate be conducted prior to the design workshop.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH – Prepare for assessment.
 FEH – Review program of spaces with department heads.
 Committee – Continue recruiting Task Force members.
 Committee – Send existing plans to FEH.

Attachments: Draft Goals for Success



MEETING MINUTES

ISSUE DATE 4/9/21

MEETING INFORMATION

MEETING DATE	3/29/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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<input type="checkbox"/> Patty Irons	Clerk of Court	641-324-2840	patty.iron@iowacourts.gov

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. There were no changes at this time.



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2. Public Engagement and ATF Strategy

- a. How many Task Force members?
 - i. The group has made contact with the individuals on the list and there are 35 confirmed.
 - ii. The meetings will be recorded for viewing by those who cannot make it to the meeting.
- b. Contacted? Confirmed?
 - i. The agendas will be updated with the Zoom information and resent for distribution.
- c. ATF Meeting #1 Preparation
 - i. Meeting Space - Kensett
 - ii. Advertise & Promote – WCTA Channel 2, Newspaper
 1. Samples of SPARK advertisements will be sent to the County.
 - iii. Public to Participate
 - iv. Social Distancing Set Up – spread tables out for distancing
 - v. Virtual Meeting Set Up
 1. This setup will be by Joel and Mark at the Kensett Community Center. The projector, sound system, and owl camera will be set up by the County.

3. Review Schedule

- a. Advisory Task Force Meeting #1 on April 7 @ 6:00 pm.
- b. Core Committee Meeting on April 12 @ 10:30 am.
- c. Advisory Task Force Meeting #2 on April 21 @ 6:00 pm.

4. Review Space Needs Program

- a. It is anticipated that Emergency Management, Veterans Affairs, and Public Health will remain at their current property. There was a preference to keep Public Health clientele separate from other County services. That ancillary building and programmatic elements will be kept separate.
- b. It was questioned whether secondary roads should be added to the program.
 - i. This will need to be evaluated regarding whether the hub is at Northwood or Kensett.
 - ii. If this is a separate building, the engineering lab could be located there.
- c. It makes sense for the engineer to be on the same site as the auditor to address drainage elements.

5. Review Condition Assessment

- a. The current facilities were evaluated on March 26. There are many properties with evidence of water intrusion and a variety of accessibility concerns. A list will be compiled of the items needing attention and divided into Urgent, Required, and Recommended. A report will accompany the findings.

6. Other items

- a. Many department heads will be at the ATF meetings. This will present a united front by the County for this process.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – Continue recruiting Task Force members.
Attachments: None



MEETING MINUTES

ISSUE DATE 4/19/21

MEETING INFORMATION

MEETING DATE	4/7/21	MEETING TIME	6:00pm
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
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<input checked="" type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input checked="" type="checkbox"/>	See Attached Sign-in sheet plus twelve more people participated online.		

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Introductions
 - a. Kevin from FEH Design introduced the design team.
2. Advisory Task Force's role
 - a. The Advisory Task Force serves as a sounding board, providing guidance, advice, and feedback to the Supervisors. Task Force members will gain knowledge of the facilities and can articulate the views of the community. They understand the Goals for Success for the County, can evaluate possible implementation options, will consider the potential cost of proposed options, and make advisory recommendations to the Supervisors.
 - b. Attend 5 meetings.



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3. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. It was asked if there should be a goal related to historic preservation? About 50% of the group said yes.
 - c. It was asked if there should be a goal for a single level building? About 40% of the group said yes.
4. Review Project Scope – Phase 1
 - a. Space needs assessment
 - b. Facility condition assessment
 - c. Public planning facilitation
 - d. Spark Design Workshops
5. Review Space Needs Assessment
 - a. Compare existing spaces to national and state standards, and review for functionality and adjacencies.
 - b. Veterans Affairs and County Health spaces are adequate in their current spaces and will not be included in the assessment.
 - c. The space needs program will be emailed out with the meeting minutes.
 - d. The green highlighted lines on the program identify spaces that currently do not meet the need. There is an investment required to meet the space needs.
6. Review facility condition assessment (Building Tour to Follow Meeting)
 - a. Courthouse
 - b. Engineering Annex
 - c. Sheriff's Facilities
 - d. County Conservation
 - e. Secondary Roads
 - f. Treasurer
 - g. There is water infiltration in the Courthouse, Jail and Sheriff's Deputy buildings.
 - h. FEH created preliminary budgets for addressing code, maintenance, and ADA requirements. These budgets don't address the space needs at this time. The budgets identifying Urgent, Required, and Recommended items were included in the presentation.
7. Public Engagement – Ideas on how to maximize public input at Spark Design Workshop
 - a. Email, radio, advertisement. The group will consider ideas and invite friends.
8. Identify possible solution options to be studied
 - a. At the next meeting FEH DESIGN will be asking the ATF what they should study.
9. Public Spark Workshop – May 11 and 13 starting at 9:00 AM in the Kensett building.
10. Questions
 - a. Can we stick to the open space around the Courthouse site for any expansions?
 - i. There is room around the Courthouse.
 - b. Is there adequate parking?
 - i. The group thinks there is currently enough parking, and that number should be maintained.
 - c. Is there a mold hazard for the people working in these buildings?
 - i. FEH is not aware of any testing. The point was raised that water infiltration and mold can be issues in all buildings, not just old ones and buildings require proper maintenance.
 - d. Who makes the decisions on the space needs?
 - i. The space needs have been determined by national standards and discussion with County department heads and staff.
 - e. Is the current Courthouse structurally sound?



- i. Yes. Mitchell County Courthouse was brought up, but that building was not structurally sound.
- f. How involved are the current employees in determining the space needs?
 - i. The department heads were involved with FEH DESIGN to review their space needs.
- g. The oldest addition to the building needs the most work, will this process need to be done in another 15-20 years?
 - i. Most of the work needed at the Jail is related to space needs resulting for regulation changes, not code, maintenance, and ADA.
- h. Why are the buildings in such poor condition?
 - i. Some maintenance has been deferred due to minimal budget available to address the issues. This is one of the reasons this process is taking place. The County needs to make these investments, they want to make sure these will not be wasteful if there is a vision to make changes to address the space needs; this question should be brought up at an upcoming Supervisors meeting.
- i. Where is the funding coming from, are there grants available? Will the framers have to pay most of these costs?
 - i. There are multiple funding sources and grants available.
- j. What kind of mechanical systems are in the buildings?
 - i. The Courthouse has a steam boiler, the air conditioning is a mix of forced air and mini-split systems. The Treasurer utilizes a boiler. The specific systems will be identified in the upcoming reports for each building.
- k. Will the architect make more money if there are new buildings versus renovations?
 - i. As a percentage, fees are higher for architects and engineers for renovations than for new construction, more effort is required.
- 11. Review upcoming Schedule
 - a. Advisory Task Force Meeting #2 – April 21, 6:00 pm – Decision-Making Criteria
 - b. Onsite and Online Spark Workshop – May 11, 9:00 am – 6:00 pm
 - c. Advisory Task Force Meeting #3 – May 11, 6:00 pm
 - d. Onsite and Online Spark Workshop – May 13, 9:00 am – 6:00 pm
 - e. Advisory Task Force Meeting #4 – May 13, 6:00 pm
 - f. Advisory Task Force Meeting #5 – May 26, 6:00 pm – Recommendations to County
- 12. After the meeting, a tour of the Courthouse was given. Only two participated.
- 13. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments:

- FEH DESIGN – Create condition assessment book.
- FEH DESIGN – Update the presentation for ATF #2 with more detail
- ATF – Invite others to next ATF meeting and Spark Workshops.
- ATF – Think of ideas they would like to have studied.
- County – address financing questions

Attachments:

- Draft Goals for Success
- Space needs program
- Presentation



FEH DESIGN

Worth County

Advisory Task Force Public Meeting #1

Sign-in Sheet

2021-04-07

Name	Email
Mike Thompson	gmthompson@tel.ohnet
End Libby	
Gary Newlien	gnewlien1@yahoo.com
Diana Gauder	
Teresa Olson	
Myron Lupkes	Myron.Lupkes@gmail.com
Erik Butler	butski4752@hotmail.com
Carol Bergo	markacarole@gmail.com
Cindy Thompson	Cindy.Thompson@worthcounty.org
Mark Thomas	markthoma@wctatel.com
Tom Stevens	tomshotwife@gmail.com
Kris Kenison	Kris@nwdanchor.com
Kate Frauke	Framicel@wctatel.net
CRAIG TIFT	CRAIGCITY30@yahoo.com
Brian Nelson	
Margaret Bergo	Margaret@worthbrewing.co
Mark Bergo	adette@wctatel.net



FEH DESIGN

Worth County

Advisory Task Force Public Meeting #1

Sign-in Sheet

2021-04-07

Name	Email
Mark Smeby	
Doug Arneson	ArneFarm@wctatel.net
Mark DeLough	
Shayla Stys	Farmer
Lori McNally	cityorkensett@wctatel.net
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Sharon Wzak	
Dean Mueller	dean.mueller45@gmail.com
Deanna Brunsvold	dbrunsvold@wctatel.net



Worth County

Advisory Task Force Public Meeting #1

Sign-in Sheet (Virtual)

2021-04-07

[illegible]



MEETING MINUTES

ISSUE DATE 4/16/21

MEETING INFORMATION

MEETING DATE	4/12/21	MEETING TIME	11:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
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DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.



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- b. At the ATF meeting there was a request to add a goal related to Historic Preservation. There was majority support for this to be added. This goal could be difficult to meet when exploring the option of a new building on the courthouse site.
- c. At the ATF meeting there was a request to remove the single level building. It was felt that was in direct conflict with historic preservation. This did not have majority support.

2. Public Engagement, ATF

- a. How the first AFT meeting went, suggestions, changes, participation
 - i. The conversation may have gotten lost with the presented dollar amount to fix the Courthouse. The fixes don't address the space issues. This needs to be expressed at the next ATF meeting
 - ii. Should the Courthouse be preserved or move on? Lack of funds have led to deterioration over time.
 - iii. The election equipment is no longer compliant, funds will be needed to replace equipment.
 - iv. The 'Space Needs' were lost during the meeting.
 - v. It was requested to translate the space needs into dollars.
 - vi. The Treasurer building could be sold in the future. It could be an economic development opportunity for downtown.
 - vii. How to fund this project? TIFF, Grants, Referendum, Debt Service
 - viii. There seems to be two options, vacate the property and build new or renovate and add on.
 - ix. The bones of the Courthouse are good, but there are not enough bones.
 - x. One option could be to build a new law enforcement center not attached to the Courthouse and renovate the current jail into needed office space.
 - xi. Does the County's debt need to be shared at the public meeting?
 - xii. The space needs have to be figured out before fixing the building.
 - xiii. There are historic preservation funding sources available, let the community members who are passionate about historic preservation find these sources. They could be used on any of the three existing historic buildings.
 - xiv. At the next ATF meeting should provide input on funding.
 - xv. Only 2 people attended the Courthouse tour after the ATF meeting. It is to be asked if anyone is interested in tours at the beginning of the meeting. It was suggested that tours could be given during the Spark workshop. During the day may work better than evening for some people.
 - xvi. There has been a request for the recorded presentation to be shared. This can be done.
 - xvii. At the next meeting, announce that if you have a question you need to use a microphone. More mics will be available and county staff will help.
 - xviii. Need to convey to the public that public buildings can't be built like a poll shed. This is state law, they have to comply with all codes.
 - xix. The Department heads are to discuss their needs, after funding discussion, during the next ATF meeting.

3. Review Schedule

- a. Advisory Task Force Meeting #2 on April 21 @ 6:00 pm.
- b. Core Committee Meeting on April 26 @ 10:30 am - Virtual.
- c. Core Committee Meeting on May 10 @ 10:30 am - Virtual.
- d. SPARK Session (Design Workshop) on May 11.
- e. Advisory Task Force Meeting #3 on May 11 @ 6:00 pm.

4. Other items

- a. Ideas to Study



- i. Doing nothing
 - ii. Urgent and Required items only
 - iii. Some new and some renovation
 - iv. All new construction
 - v. Alternate locations?
 - vi. Ask ATF what they want FEH DESIGN to study.
 - vii. Space needs have to be emphasized as required.
- b. There was a discussion about Conservation and Secondary Roads sharing a building. They would have separate spaces in the same structure. There would be hoteling workstations in the Courthouse that conservation could use.
- i. This led to a discussion about a centrally located Secondary Roads facility. The satellite shops are useful in the winter to move quickly get to all corners of the County served, but they are expensive to heat. How many shops are really needed? Kensett is the center of the County, is that the best spot to have the main shop?

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – prepare for next ATF, funding and department needs.
FEH DESIGN – update presentation

Attachments: None



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MEETING MINUTES

ISSUE DATE 4/29/21

MEETING INFORMATION

MEETING DATE	4/21/21	MEETING TIME	6:00pm
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
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<input type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input checked="" type="checkbox"/> See Attached Sign-in sheet plus twelve more people participated online.			

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Introductions
 - a. Kevin from FEH Design introduced the design team.
2. Advisory Task Force's role
 - a. The Advisory Task Force serves as a sounding board, providing guidance, advice, and feedback to the Supervisors. Task Force members will gain knowledge of the facilities and can articulate the views of the community. They understand the Goals for Success for the County, will evaluate possible implementation options, will consider the potential cost of proposed options, and make advisory recommendations to the Supervisors.
 - b. Attend 5 meetings, and participate in the SPARK workshops if available.

3. Review Draft Goals for Success (attached)
 - a. Kevin read through the draft goals.
 - b. There were no questions, comments, or changes on the goals.
4. Review Project Scope – Phase 1
 - a. County department head space needs
 - b. Space needs assessment
 - c. Facility condition assessment
 - d. Public planning facilitation
 - e. Spark Design Workshops
5. County department head space needs
 - a. Several County department heads were at the meeting and provided input on the condition of their space and the space needs.
 - b. Auditor
 - i. Election security is out of compliance with state requirements. This will be a problem at the next audit.
 - ii. There is a lack of space for election equipment.
 - iii. A climate controlled/dry space is needed for archive storage.
 - c. Recorder
 - i. The south wall of the space has water coming in and the plaster & masonry wall is deteriorating behind the 1970s wood paneling.
 - ii. Heating and cooling, the boiler is past its useful life and can get very hot in the winter so windows get opened.
 - iii. More space is needed for the scanning system.
 - iv. On the exterior of the building the south sidewalk is a trip hazard.
 - d. Engineer
 - i. The building is outdated.
 - ii. The building is not ADA compliant, since stairs are needed to get to the office area.
 - iii. Proximity and access to the Courthouse is important. Frequently have to work with other departments located in the Courthouse.
 - e. Secondary Roads
 - i. There is a lack of space for all the equipment.
 - ii. Buildings are past their useful life expectancy. There is no insulation for the shop and breakroom.
 - f. Sheriff/Jail
 - i. The building has outlived its useful life.
 - ii. There are currently no special needs cells, and there needs to be.
 - iii. If one wall is moved everything needs to come up to code.
 - iv. There is a lack of meeting space.
 - v. All staff should be under one roof. Deputies are in a separate building now.
 - g. Conservation
 - i. The building is not ADA compliant. No public restroom.
 - ii. Shop area doesn't meet OSHA requirements for welding and wood shop.
 - h. IT/GIS
 - i. Server room is next to the boiler room; the server room uses lots of air conditioning during the winter.
 - ii. The courthouse was rewired for data cabling in 2005 and needs to be done again.
 - iii. There is no separate office for GIS.



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6. Review Space Needs Assessment
 - a. Compare existing spaces to national and state standards, and review for functionality and adjacencies.
 - b. Veterans Affairs and County Health spaces are adequate in their current spaces and will not be included in the assessment.
 - c. The space needs program will be emailed out with the meeting minutes.
 - d. The green highlighted lines on the program identify spaces that currently do not meet the need. There is significant investment required to meet the space needs. This is primarily at the jail and sheriff's spaces.
7. Review facility condition assessment (Building Tour to Follow Meeting)
 - a. Courthouse
 - b. Engineering Annex
 - c. Sheriff's Facilities
 - d. County Conservation
 - e. Secondary Roads
 - f. Treasurer
 - g. There is water infiltration in the Courthouse, Jail and Sheriff's Deputy buildings.
 - h. FEH DESIGN created preliminary budgets for addressing Urgent, Required, and Recommended code violations, maintenance items, and ADA violations as well as costs to meet Space Needs items through construction of additional space. The budgets were included in the presentation.
8. Public Spark Workshop – May 11 and 13 starting at 9:00 AM until 6:00 PM in the Kensett community building.
9. Identify possible solution options to be studied
 - a. Do nothing
 - b. Do only urgent and required
 - c. All new facilities
 - d. Renovate some and some new
 - e. Renovate only without expanding to meet space needs
 - f. Other sites
 - g. County Conservation in Kensett at existing site
 - h. Measured approach at Secondary Roads
 - i. Renovate and new, keep historic
10. Identify Decision-Making Criteria
 - a. Save the Courthouse Building for historic preservation.
 - b. Effect on downtown if buildings are vacated.
 - c. Safety and accessibility.
 - d. Fundable and justifiable.
 - e. Short term funds – what can be accomplished.
 - f. Long term funds – what can be accomplished.
 - g. Energy efficiency and carbon footprint, reduce operating cost.
 - h. Convenience – most departments on one site.
11. Questions
 - a. What are the 2 columns of numbers on the space needs chart?
 - i. The Existing column is the square footage of the existing spaces. The Proposed is the standard square footage of that type of space.
 - b. Are all the departments going to be in one location? There are already remote locations for secondary road equipment that could be expanded for other county services.

- i. Both options can be studied.
- c. Are we putting the cart before the horse? What money is available/ where is it coming from? Spend only what the County can afford.
 - i. No, this process is about determining the long-term plan. Investment needs to be made now. The Supervisors want to make sure it is spent wisely. Once the vision and priorities are defined, then the funding needs can be identified, then, the funding sources will be determined. Timeline will be determined based upon funding availability. The vision will be accomplished in phases, not all at once.
- d. Are other counties going to swallow us up? How viable is our county on standing on its own?
 - i. While there has been talk in Des Moines about County consolidation, there is no precedent for that.
- e. Why are the supervisors not at the meeting?
 - i. They are at the meeting; they are listening to the public. One was attending virtually, and one was in the room.
- f. People may be more open to projects when they know where the funding is coming from.
 - i. This process will identify the Vision. The projects to achieve the vision will be prioritized and budgets developed. Sequencing will be determined but timing will be dependent upon funding availability. It is not expected that this will all happen at once.
- g. Bridges in county need work, why is money not going toward them?
 - i. That funding comes from other sources and that infrastructure also needs to be addressed.

12. Review upcoming Schedule

- a. Core Committee – May 10, 10:30 AM
- b. Onsite and Online Spark Workshop – May 11, 9:00 am – 6:00 pm
- c. Advisory Task Force Meeting #3 – May 11, 6:00 pm
- d. Onsite and Online Spark Workshop – May 13, 9:00 am – 6:00 pm
- e. Advisory Task Force Meeting #4 – May 13, 6:00 pm
- f. Advisory Task Force Meeting #5 – May 26, 6:00 pm – Recommendations to County Leadership determined.
- g. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH DESIGN – Complete condition assessment report.
FEH DESIGN – Prepare for SPARK workshop.
ATF – Invite others to next ATF meeting and Spark Workshops.
ATF – Think of ideas they would like to have studied.
County – develop a summary of funding sources available to address infrastructure needs

Attachments: Goals for Success
Space needs program
Presentation



FEH DESIGN

Worth County

Advisory Task Force Public Meeting #2

Sign-in Sheet

2021-04-21

[illegible]



FEH DESIGN

Worth County

Advisory Task Force Public Meeting #2

Sign-in Sheet

2021-04-21

Name	Email
<u>Erin Bruns</u>	
<u>Deanna Bruns</u>	
<u>Shirley Stager</u>	
<u>Tracy Stager</u>	
<u>Andrea Olson</u>	
<u>Monte Dehn</u>	
<u>Mark Thoma</u>	<u>MarkThoma@wctatel.com</u>
<u>Luan Hogen</u>	
<u>Mike Thompson</u>	
<u>Erik Butler</u>	<u>butler butski02@hotmail.com</u>
<u>Aaron Dehn</u>	
<u>Dean Muller</u>	
<u>Kathy Meyer</u>	<u>dkmeyer@wctatel.net</u>
<u>Shawn Wall</u>	



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MEETING MINUTES

ISSUE DATE 4/30/21

MEETING INFORMATION

MEETING DATE	4/26/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
<input checked="" type="checkbox"/> Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
<input checked="" type="checkbox"/> A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
<input checked="" type="checkbox"/> Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
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<input type="checkbox"/> Scott Hand	Clerk of Court	641-529-0388	scott.hand@iowacourts.gov
<input type="checkbox"/> Jake Hanson	Treasurer	641-324-2942	jacob.hanson@worthcounty.org
<input checked="" type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input type="checkbox"/> Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
<input type="checkbox"/> Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
<input type="checkbox"/> Brian Lund	Buildings and Grounds		
<input type="checkbox"/> Patty Irons	Clerk of Court	641-324-2840	patty.iron@iowacourts.gov
<input checked="" type="checkbox"/> Colleen			
<input checked="" type="checkbox"/> Kris Kenison	News Paper		

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Review Draft Goals for Success



- a. Kevin read through the draft goals, there were no comments or changes at this time.
2. Public Engagement, Advisory Task Force
 - a. Discuss reactions to ATF meeting #2
 - i. Financing seems to be a big issue, also the county shed (Secondary Roads).
 - ii. The price tag is needed before financing is determined.
 - iii. There are no funds set aside in the current budget for these projects.
 - iv. The plan that will be developed is a long-term plan and that needs to be stressed to the public. It was mentioned that the Courthouse should be in phase 1; we will have to see what the public thinks should be in phase 1.
 - v. List of potential funding sources? Most likely the funding will be TIF (windmills will pay for the Courthouse). Most of the public doesn't know what TIF is, can it be simplified and explained at the public meeting?
 - vi. The public wants to know why are the buildings in the condition they are in, because major maintenance has been deferred.
 - vii. A plan is needed for what this will cost.
 - b. Marketing to a larger group to get more participation.
 - i. Advertising, paper, radio
 1. Social Media will probably be the best. FEH will draft Facebook posts and then the County will need to share. The local newspaper will run the press release.
 - ii. Provide food or snacks May 11, 13 and/or May 26? This will need to be reviewed regarding what can legally be provided.
 - iii. Press release has been sent for review.
 - iv. There were some with issues with the location for the last meeting. The heat/heater noise shouldn't be an issue at the next meetings. Just need to have the heat turned on in advance.
 - v. Zoom polling will need to be created. Last meeting virtual attendees couldn't vote.
3. Funding sources summary
 - a. Create a list of funding sources that might be available depending upon what the prioritized projects are.
 - i. County General fund balance
 - ii. County Maintenance Budget
 - iii. State of Iowa regional Court office
 - iv. Casino Grant
 - v. Property sale
 - vi. Historic Preservation grants
 - vii. Safety technology grants
 - viii. Law enforcement grants – equipment
 - ix. Every \$20,000 here or there will add up.
4. Review Schedule
 - a. Core Committee Meeting on May 10 @ 10:30 am - Virtual.
 - b. SPARK Session (Design Workshop) on May 11.
 - c. Advisory Task Force Meeting #3 on May 11 @ 6:00 pm.
5. Other items
 - a. Ideas to Study
 - i. Doing nothing, this is already happening and can't continue.

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- ii. Where do courthouse departments go during construction? Possible temporary locations will depend on the budget and access by the public. The technology infrastructure will be difficult and expensive to move multiple times.
- iii. Create different scenarios with cost.
- b. Should we bring in the inspectors to emphasize the needs?
- c. It is hard to get a good tuckpointing contractor who isn't booked way out.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – prepare for SPARK Workshop, advertise, review press release, share on social media.
FEH DESIGN – prepare for SPARK Workshop, create Facebook posts.

Attachments: None



MEETING MINUTES

ISSUE DATE 5/19/21 - revised

MEETING INFORMATION

MEETING DATE	5/10/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
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<input type="checkbox"/> Brian Lund	Buildings and Grounds		
<input checked="" type="checkbox"/> Patty Irons	Clerk of Court	641-324-2840	patty.iron@iowacourts.gov
<input type="checkbox"/> Colleen			
<input checked="" type="checkbox"/> Kris Kenison	News Paper		
<input checked="" type="checkbox"/> Judy Stevens			

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PURPOSE Review Process

DISCUSSION



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1. Public Engagement, Advisory Task Force (ATF) and SPARK sessions

a. Preparation for SPARK

- i. FEH DESIGN & County to send email to ATF – include Zoom info.
- ii. All day zoom meeting for SPARK so the public can join virtually.
- iii. It will be important to create more awareness that the process is taking place. FEH DESIGN will create a Facebook post and send it out. Please share it on Facebook.
- iv. Need microphones and screen for evening meeting.
- v. The Spark website is up and has the site aerials. The concept diagram images will be added today.
- vi. The drawings created during the workshop will be taped up on the back wall, tables will be needed for comment sheets and for FEH architects to draw on.
- vii. FEH DESIGN team members will arrive about 8:45 am to set up.
- viii. Cost estimate template will be used Thursday to create budgets for some of the top concepts.

b. Tours of the Courthouse?

- i. The Courthouse is open all day, not at night, staff can give tours to anyone who asks for a tour.

c. Will anybody from the County be there all day?

- i. It can be done in shifts, important for someone to be there at all times.
- ii. Supervisors should at least stop by. They should sign in so that participants can see that they were there.

2. Review Schedule

- a. SPARK Session (Design Workshop) on May 11 9:00 – 6:00 PM.
- b. Advisory Task Force Meeting #3 on May 11 @ 6:00 pm.
- c. SPARK Session (Design Workshop) on May 13 9:00 – 6:00 PM.
- d. Advisory Task Force Meeting #4 on May 13 @ 6:00 pm.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – prepare for SPARK Workshop, advertise, review press release, share on social media.
FEH DESIGN – prepare for SPARK Workshop, create Facebook posts.

Attachments: None



MEETING MINUTES

ISSUE DATE 5/25/21**MEETING INFORMATION**

MEETING DATE	5/11/21	MEETING TIME	6:00pm
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
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<input checked="" type="checkbox"/>	See Attached Sign-in sheet plus twelve more people participated online.		

DISTRIBUTION Core Committee & Design team**PURPOSE** Review Process**DISCUSSION**

1. Introductions
 - a. Kevin from FEH Design introduced the design team.
2. Goals for Success – the goals were read aloud.
3. Review the concepts created during SPARK workshop.
 - a. Options can be viewed at fehdesignsparks.com
 - b. Comments can be entered at the bottom of the website.
4. Questions and Comments.
 - a. At the Recycling Center site, the County doesn't own east of the fence line.



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- b. The Treasurer's office should be on the main floor since it is frequently visited.
- c. Will the character of the interior match the exterior when remodeled?
 - i. It can have whatever character the County would like to see.
- d. Where is the money going to come from?
 - i. There is TIF money available.
- e. We are asking the public: what is your priority? This is a long-term plan.
- f. Where is the priority for safety and health?
 - i. The condition assessment identified these items, and each concept addresses safety and health.
- g. Changes in the code are mandating the changes required.
- h. Option L shows that a new building could be built before the old courthouse is demolished.
- i. Option H doesn't have good connection from Jail to Courts. The Jail should not look at courtyard.
- j. Option K.1' would the Treasurer have a separate entrance?
 - i. No, there is a common lobby.
- k. It was suggested to add relocation costs during construction into the budget.
- l. Most County offices need to stay in the county seat. Some of the concepts look at how can we do this in a sequential manner. Hopefully departments don't need to move more than once.

5. Voting with dots

- a. Vote for your 1st, 2nd and 3rd favorite options.
- b. Votes will tell us what to study on Thursday.

6. Review upcoming Schedule

- a. Advisory Task Force Meeting #5 – May 26, 6:00 pm – Determine Recommendations to County Leadership.
- b. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH DESIGN – Complete condition assessment report.
FEH DESIGN – Prepare for SPARK workshop.

Attachments: Goals for Success



MEETING MINUTES

ISSUE DATE 5/18/21

MEETING INFORMATION

MEETING DATE	5/13/21	MEETING TIME	6:00pm
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
<input type="checkbox"/> Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
<input checked="" type="checkbox"/> Enos Loberg	Supervisor	641-381-0197	enos.loberg@worthcounty.org
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<input checked="" type="checkbox"/> Dan Fank	Sheriff	641-324-2481	dfank@worthcounty.org
<input checked="" type="checkbox"/> Teresa Olson	Recorder	641-324-2734	teresa.olson@worthcounty.org
<input checked="" type="checkbox"/> Rich Brumm	Engineer	641-324-2154	richard.brumm@worthcounty.org
<input type="checkbox"/> Mark Tomlinson	Emergency Mgt Services	641-324-1535	ema@worthcounty.org
<input type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input checked="" type="checkbox"/>	See Attached Sign-in sheet plus twelve more people participated online.		

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Introductions
 - a. Kevin from FEH Design introduced the design team.
2. Goals for Success – the goals were read aloud.
3. Review the concepts created on Tuesday and Thursday during SPARK workshop.
 - a. Options can be viewed at fehdesignsparks.com
 - b. Comments can be entered at the bottom of the website.
4. Questions and Comments.



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- a. The Kensett Community Center site is not currently owned by the County, it is owned by the village of Kensett.
 - b. Will any remodeling of the Courthouse address accessibility?
 - i. Yes, accessibility is a required item. And courthouse updates would include this.
 - c. Some of the plans don't match the criteria.
 - i. The plans will be scored against the criteria to see if they are a good fit.
 - d. Can the Courthouse be separated from conservation and secondary roads?
 - i. Yes, they are not currently part of the Courthouse and can function independently as they currently do.
 - e. Who needs to be at the Courthouse?
 - i. The admin departments, the engineer, the courts and maybe the sheriff and jail.
 - f. Can the building be moved to different sites?
 - i. Yes, most of the administrative departments must stay in the county seat, Northwood, but other sites could be identified for other departments.
 - g. The project will be a phased approach.
 - h. How does the Treasurer feel about the project?
 - i. He was not at the meeting to respond.
 - i. Could secondary roads be at Kensett Community Center site?
 - i. That option will be evaluated before the next meeting.
 - j. If the jail is at Kensett, inmate transfers would be required.
 - k. What is the best location for the jail and sheriff?
 - i. Dan stated either could work, the jail just needs to meet code and have all staff under one roof.
 - l. Can the conservation shop and roads shop be shared?
 - i. Some equipment could be shared.
 - m. Disaster recovery – the computer backup is in Des Moines. If the sheriff is in Kensett, the backup could be there. The backup must be so many miles outside of Northwood. This could save money every year.
 - n. Some of the designs have small and winding corridors. There should be a welcoming design with clear direction.
 - o. To achieve the 'Plan for Growth', it might not be possible with a one-story building.
 - p. More parking should be provided; the current number of parking spaces should be expanded.
 - q. The new should reflect the old.
 - r. Some departments have more interaction with the public than others and should be the most easily accessed.
 - s. Insurance, sewage, and fire protection availability should be considered when selecting a site.
 - i. The design can look at sprinklers and non-combustible materials.
 - t. How likely is it that we get an ambulance service?
 - i. Most likely it will be on the election ballot this fall.
 - u. What would be the benefit to connect to the existing community center?
 - i. Shared meeting room space.
 - v. The veterans' monument and cannon in the southwest corner need to be addressed.
 - w. Cost opinions were developed for 8 of the concepts on the back wall.
5. Review upcoming Schedule
- a. Advisory Task Force Meeting #5 – May 26, 6:00 pm – Recommendations to County Leadership determined.
 - b. All of the ATF meetings will be held at the Kensett Community Center.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.



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Assignments: FEH DESIGN – Complete condition assessment report.
FEH DESIGN – Prepare for SPARK workshop.

Attachments: Goals for Success



FEH DESIGN

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MEETING MINUTES

ISSUE DATE 6/1/21

MEETING INFORMATION

MEETING DATE	5/24/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
<input checked="" type="checkbox"/> Michael Gehl	FEH Design	563-583-4900	michaelg@fehdesign.com
<input checked="" type="checkbox"/> Joel Rohne	IT/GIS	641-324-3668	joel.rohne@worthcounty.org
<input checked="" type="checkbox"/> Mark Smeby	Supervisor	641-590-6609	mark.smeby@worthcounty.org
<input checked="" type="checkbox"/> A.J. Stone	Supervisor	641-430-1410	aj.stone@worthcounty.org
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<input type="checkbox"/> Scott Hand	Clerk of Court	641-529-0388	scott.hand@iowacourts.gov
<input checked="" type="checkbox"/> Jake Hanson	Treasurer	641-324-2942	jacob.hanson@worthcounty.org
<input type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input type="checkbox"/> Jeff Greve	Attorney	641-324-1291	attorney@worthcounty.org
<input type="checkbox"/> Jessica Reyerson	Nurses	641-324-1741	jessica.reyerson@worthcounty.org
<input type="checkbox"/> Brian Lund	Buildings and Grounds		
<input checked="" type="checkbox"/> Patty Irons	Clerk of Court	641-324-2840	patty.iron@iowacourts.gov
<input checked="" type="checkbox"/> Kris Kenison	News Paper		
<input checked="" type="checkbox"/> Amyli			

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION



1. Review summary outcome

- a. Budget Opinions have been broken down by category.
 - i. Courthouse – Admin and Courts
 - ii. Courthouse – Admin, Courts, Sheriff and Jail
 - iii. Sheriff and Jail
 - iv. County Roads Facility
 - v. County Roads and Engineering
 - vi. County Roads and Conservation
 - vii. County Conservation.
- b. Options O, P and Q were created after the SPARK session based upon meeting input.
- c. When do we talk about interior spaces – confirming square footage? More flexibility is needed now that we are seeing the space layouts.
 - i. FEH can meet individually with the departments then back to the group.
 - ii. It was suggested that each department be the same size.
 - iii. Auditor
 - 1. 2 enclosed offices at 120 sq ft.
 - 2. Voting location and election storage.
 - iv. Assessor space is adequate.
 - v. Treasurer
 - 1. DOT needs a small conference room or office; the conference room needs to be available at all times.
 - 2. 4 workstations
 - 3. 3 testing computers
 - 4. Sitting area by newspapers, newspapers don't need to be secure.
 - vi. County Attorney – leave as is.
 - vii. Condo Space – 1 or 2 office spaces.
 - viii. Clerk
 - 1. More storage, everything in one area.
 - 2. Digitizing future documents, not existing.
 - ix. Jail – only need 1 exercise room.
- d. Criteria Chart
 - i. The number of options needs to be narrowed down.
 - ii. Get recommendation from ATF on Wednesday.
 - iii. There will be more operational costs for having separate Jail, including transportation cost.
 - iv. Radio tower and generator needs to be located on site.
 - v. Timing – how soon? 1 – 1 ½ years for construction to start.

2. Review Schedule

- a. Advisory Task Force Meeting #5 on May 26 @ 6:00 pm.
- b. Core Committee June 7 10:30 AM via Zoom

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – Attend upcoming ATF Meeting

FEH DESIGN – Finish booklet

Attachments: Draft Budget Options



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MEETING MINUTES

ISSUE DATE 6/1/21

MEETING INFORMATION

MEETING DATE	5/26/21	MEETING TIME	6:00pm
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Kensett Community Center and Virtual Zoom Meeting
PROJECT NAME	Worth County Facilities Planning		
FEH PROJECT NUMBER	2020317		
MINUTES PREPARED BY	Kim Bellmann		

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
<input checked="" type="checkbox"/> Kim Bellmann	FEH Design	563-583-4900	kimb@fehdesign.com
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<input type="checkbox"/> Cindy Thompson	Assessor	641-324-1198	cindy.thompson@worthcounty.org
<input checked="" type="checkbox"/> See Attached Sign-in sheet plus 4 more people participated online.			

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. Introductions
 - a. Kevin from FEH Design introduced the design team.
2. Goals for Success – the goals were read aloud.
3. Members of the public provided comments:
 - a. The Kensett Community Center should not change and remain a city meeting and gathering space. The area south of the city shed could be available to build. The freedom rock and bus stop for kids should remain.



- b. Significant work has been done to preserve Main Street in Northwood, which brings business and tourism. The historic courthouse needs to remain it would be sacrilegious to remove it. I don't care if my taxes go up to save the building. I can't imagine Main Street without it.
 - c. The plans drawn had no consideration for neighbors and property access. No survey was done to see where the actual property lines are, Beacon was used and that is not accurate. Secondary roads should go out by the recycling center. It was noted that Beacon is a representation of legal description, not the legal property lines.
 - 4. The space needs program was updated based on input from County staff.
 - 5. Concept drawings were reviewed.
 - a. Options can be viewed at fehdesignsparks.com
 - b. Comments can be entered at the bottom of the website.
 - c. The following comments and questions were brought up during the meeting.
 - i. The budget summaries are based on cost per square foot and known soft costs, it is not just the construction cost. An inflation factor of 3% was included in the cost based on the last 12 months.
 - ii. A site survey of each property would be done before any project begins.
 - iii. A cost was not created for option B, it was not a popular option.
 - iv. What kind of building would the new secondary roads be? It was budgeted as precast concrete wall panels with a low slope metal roof.
 - v. The secondary roads buildings should move out of their current location in Northwood.
 - 1. There is a preference to move Roads and extend street to grow Northwood's community.
 - vi. Years ago, it was looked at to move conservation to the recycling center site. There is concern that not all residents look to the future.
 - vii. What is the conservation building materials? Brick, metal studs, and asphalt roof.
 - viii. For the recycling center site, the property east of the fence would need to be purchased at current market value and the land slopes to the pond. The cost of extending the built area to the east may be offset by the cost of encroaching on wetlands and working with the State. It may not be feasible to build east of the fence line.
 - ix. Could the property owner to the south be contacted?
 - x. In option I the building is located on the city well. The design team was not aware of this when the drawings were created, and the building would be moved accordingly.
 - xi. In option L would the courthouse and jail have to vacate during construction? No.
 - xii. Concepts that require renting space, \$10/SF/year has been factored into the budget.
 - xiii. Don't like parking in front of the courthouse on the square.
 - xiv. Could the County consider adding angled parking on all sides of the square? Yes, that could be considered.
 - xv. It was questioned whether an option for the sheriff at the recycling center could be considered. This would be similar to the cost to build the sheriff in Kensett with additional utility costs.
 - xvi. If the jail were located in Kensett, it would be centrally located, but the sewer system may be inadequate. An ambulance service may be considered in conjunction with the jail and sheriff in Kensett.
 - d. Based on the criteria determined at ATF #2 a criteria chart was created. After all the options were created, the design team filled the criteria chart, scoring each option.



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6. The meeting participants were asked to rank what departments were their priority, and to choose what design option was their favorite.
 - a. Results of the input will be on the website and added to the booklet that FEH is creating.
 - b. The information will go to the supervisors as a recommendation.
 - c. A community survey will be sent out, please encourage others to respond.
7. Questions and Comments.
 - a. At one of the last meetings, it was stated that there could potentially be \$10 million through TIF funding without tax increases.
 - b. The supervisors want to make sure they are making an investment that the county residents support.
 - c. Location of sheriff department should not affect response time like the location of a fire department would.
 - d. If there is a structure build at Kensett is there access to emergency services?
 - e. Moving inmates wouldn't have to happen all the time since virtual courts can be used.
 - f. It is nice to drive up to the front door of the Treasurer's office and not have to walk through a big building. Easy access to admin offices.
 - g. Is the courthouse worth saving? The building is structurally sound, remodeled 50 years ago, most of the building would need to be gutted to renovate and accommodate technology.
 - h. Are there higher labor costs than material costs in renovation?
8. Review upcoming Schedule
 - a. Community survey forthcoming.

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: FEH DESIGN – Complete condition assessment report.
FEH DESIGN – create community survey.

Attachments: Goals for Success, Budget Chart, Criteria Chart



MEETING MINUTES

ISSUE DATE 6/18/21

MEETING INFORMATION

MEETING DATE	6/14/21	MEETING TIME	10:30am
MEETING NAME	Worth County Facilities Planning	MEETING LOCATION	Worth County Courthouse and Virtual Zoom Meeting

PROJECT NAME Worth County Facilities Planning

FEH PROJECT NUMBER 2020317

MINUTES PREPARED BY Kim Bellmann

ATTENDEE NAME	ORGANIZATION	PHONE	EMAIL
<input checked="" type="checkbox"/> Kevin Eipperle	FEH Design	563-583-4900	kevine@fehdesign.com
<input checked="" type="checkbox"/> Christy Monk	FEH Design	563-583-4900	christym@fehdesign.com
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<input type="checkbox"/> Brian Lund	Buildings and Grounds		
<input checked="" type="checkbox"/> Patty Irons	Clerk of Court	641-324-2840	patty.iron@iowacourts.gov
<input checked="" type="checkbox"/> Kris Kenison	Newspaper		

DISTRIBUTION Core Committee & Design team

PURPOSE Review Process

DISCUSSION

1. The Goals for Success were reviewed.



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2. Review Recommendations (attached)
 - a. Review FEH Recommendation
 - i. The FEH recommendation aligns with the Supervisors.
 1. Work on the Courthouse was a priority.
 - b. Review ATF Recommendation
 - i. Sheriff and Jail ranked the highest.
 - c. It was asked how do you mitigate water issues when connecting a new building to the existing courthouse?
 - i. Expansion joints/ flexible flashing, the new building would be allowed to move with flexible materials.
 - d. Structural analysis needs to be done. The current water issues are not necessarily structural issues.
 - e. A geotechnical survey will also be needed. There is sandy soil with clay in the area.
3. Draft Book Review
 - a. The Core Committee notes are to be included in the book.
4. Review draft survey questions (attached)
 - a. The survey is to be ready for the Fair this weekend.
 - b. The survey is to be electronic and hardcopy. The hardcopies can be sent to FEH to be manually entered. Jacki will serve as the primary contact for sending hard copy surveys.
 - c. A question about having the county administrative departments under one roof is to be added.
 - d. The survey should be out for at least 30 days.
 - e. The County will print postcards that can be handed out at the fair with the web address for the survey and the FEH Design Sparks website so people can see the options.
 - f. The target number of survey responses is 250.
 - g. With any county structure, if there are more to maintain, this will need more staff. The projected employee growth for the departments is something that the department heads will be working on.
5. Other Items
 - a. FEH is to issue a geotechnical RFP.
6. Next Meeting – Review survey results

This is the author's understanding of the items discussed. Please notify us of any discrepancies within 7 days so revised minutes can be issued.

Assignments: Committee – Distribute survey
 FEH DESIGN – Finish booklet
 FEH DESIGN – Finish survey and send to County
 FEH DESIGN – Issue geotechnical RFP

Attachments: Recommendations, draft survey questions

FEH DESIGN recommendation following the Advisory Task Force meeting, but prior to a community-wide survey.

1. Complete a community-wide survey to inform the county taxpayers of the facility needs, funding availability, and public planning process to date. Also, to gather input regarding the priorities and level of support for investment.
2. It is our opinion that a new courts, jail, and administrative County Courthouse facility should be constructed on the same site as the existing courthouse. A masterplan for the structure should be developed with a sequenced, logical approach through Schematic Design. The expansion and renovation should be accomplished in a phased manner to align with funding support and availability. If possible, the sequences should only require the departments to move once, into their final space. The sequences should not require the rental of other space for a long period of time. The jail facility should be replaced with a new structure. The existing one-story additions should be removed once the new sheriff, jail, and clerk areas are completed. New floor levels should align with the existing courthouse floor levels. The grade elevations should be raised to allow for ADA access into the main floor level. The existing, original, multi-story structure should be fully renovated as a final phase. The departments not currently housed inside the courthouse should be the last departments to move into the courthouse, which would include, Treasurer, Attorney, & Engineer. Parking should only be provided at the perimeter of the block, not within the block. Green yard space, especially at the South, should be maximized.
3. The County Roads department has facilities in Joice, Fertile, Manly, Kensett, and Northwood. Except for the almost 20-year-old structures at Kensett, all these structures are over 70 years old. The Northwood structures are located within a residential area with one structure possibly located in a city street right-of-way. These structures should be replaced to improve the maintenance garage and to provide better protection of the equipment investment and extend the life of County vehicles, materials, and equipment. A long-range plan should be developed to replace facilities over several years so that the cost of repairs and replacement of newer facilities can be spread across decades. Possible next steps would be to replace The Northwood facility out of town and/or to combine and replace the Fertile and Joice facilities with a new complex.
4. The County Conservation facility should be replaced. It would be logical to locate the new facility on the campus of other County facilities. The Campus near Kensett, with the Conversation storage structure already on it, makes sense as a possible location.

Recommendation from the Advisory Task Force

During the final meeting of the Advisory Task Force, participants were asked to rank the prioritization of the County facility needs. The six facilities studied were ranked from 1 – 6 with 1 as the highest priority. 27 attendees prioritized projects in the order they would like to see the needs addressed.

The Sheriff and Jail space ranked the highest, 1.81 (average score). Administration spaces (treasurer, assessor, auditor, IT, GIS, Recorder, & Supervisors) ranked second, 2.44. Judicial ranked third, 3.52. County Conservation ranked a solid fourth at 4.00. Engineering & Maintenance ranked fifth, 4.41. The Northwood County Roads facility ranked sixth, 4.70.

In addition to the prioritization, we asked for participants to provide their preferred design options.

The top design options identified were:

K/K.1 – 7 as top choice. Expand on courthouse site with jail, judicial, admin, engineering.

H – 1 as top choice. Expand on courthouse site with new jail, judicial, admin, engineering.

Q – 1 as top choice. Expand on courthouse site with new jail, judicial, admin, engineering.

12 of the respondents made specific comments to keep the courthouse.

I/I.1 – 7 as top choice to move sheriff & jail to the Kensett Community Center site.

D/D.1 – 6 move County Conservation to the Recycling/Conservation campus NE of Kensett.

E.2, E.3 – 4 as top choice. Replace Northwood County Roads at Kensett Recycle center site.

P – 3 as top choice. Replace Northwood County Roads at Kensett Community Center.

Other design options that received at least one vote were:

J – 1 as top choice. Build new courthouse on existing site, remove old courthouse.

L/L.1 – 1 as top choice. Remove courthouse and build new jail, judicial, admin, engineering.

M – 1 as top choice. Build new County Roads facility at Northwood.

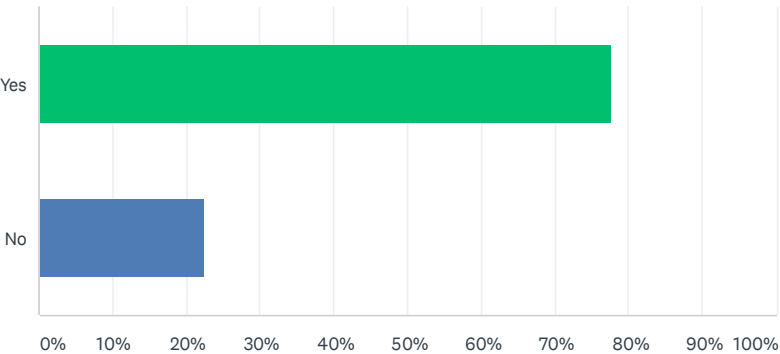
Survey Questions

1. Are you aware that Worth County has recently completed a study of many of its facilities to identify building code violations, maintenance needs, ADA non-compliance, and State of Iowa Code violations? Correcting the issues identified requires an investment of over \$8,000,000 across several buildings.
2. There will be funding available through Tax Increment Financing projects to address many of the facility needs. The County Supervisors have asked County residents to provide public input on the long-term vision for County facilities with a goal of making wise investments. Are you aware that a public Advisory Task Force (ATF), made up of over fifty volunteers, has participated in public meetings and two full days of design workshops to provide guidance and prioritize facility needs?
3. Did you or a family member participate in any of the Public Advisory Task Force (ATF) meetings or workshops?
4. Do you or a family member work for Worth County?
5. Do you agree with the ATF prioritizations and recommendations that the Sheriff and Jail facility expansion to meet Iowa Code should be the top priority for County building projects?
6. Do you think the County Sheriff & Jail should remain connected to or close to the County Courthouse?
7. Do you agree with the majority of the ATF participants who support renovating and expanding the existing courthouse building instead of deconstructing it and building a new Courthouse?
8. Do you agree with constructing a new County Conservation building on a different site?
9. The County Roads Department has facilities in Northwood, Kensett, Manly, Joice, and Fertile. Except for the Kensett Facility, all other structures are over 70 years old and beyond their expected life. Do you support replacing the County Roads facility in Northwood with a new facility in a different location outside of town?
10. While there is funding that will be available for some of the facility investments required, additional funding may be needed. Would you support a voter referendum that would increase property taxes? If so, at what level might you support annually?

Worth County Citizen Survey

Q1 Are you aware that Worth County has recently completed a study of many of its facilities to identify building code violations, maintenance needs, ADA non-compliance, and State of Iowa Code violations? Correcting the issues identified requires an investment of over \$8,000,000 across several buildings.

Answered: 138 Skipped: 0

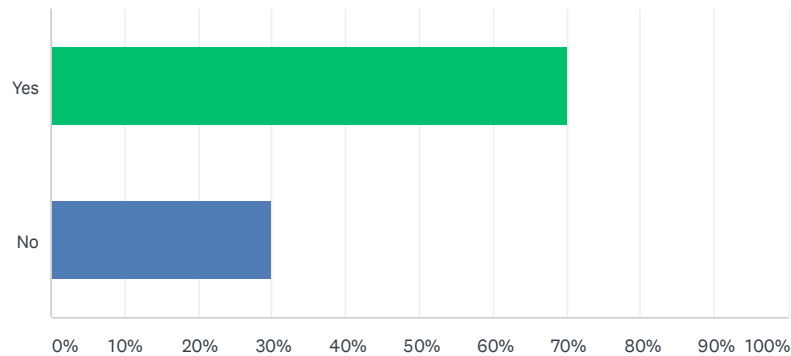


ANSWER CHOICES	RESPONSES	
Yes	77.54%	107
No	22.46%	31
TOTAL		138

Worth County Citizen Survey

Q2 There will be funding available through Tax Increment Financing projects to address many of the facility needs. The County Supervisors have asked County residents to provide public input on the long-term vision for County facilities with a goal of making wise investments. Are you aware that a public Advisory Task Force (ATF), made up of over fifty volunteers, has participated in public meetings and two full days of design workshops to provide guidance and prioritize facility needs? Ideas can be found at FEHDESIGNSPARKS.COM

Answered: 137 Skipped: 1

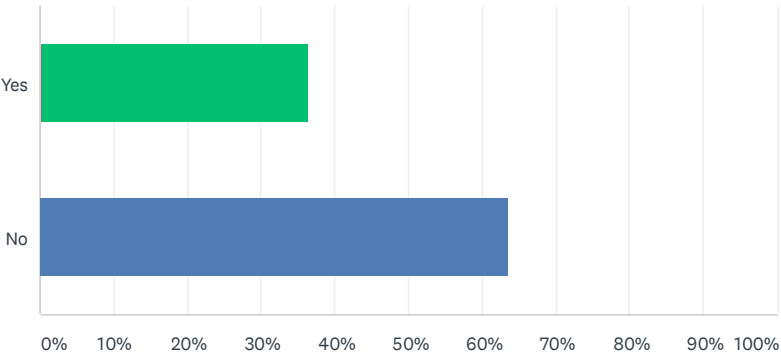


ANSWER CHOICES		RESPONSES	
Yes		70.07%	96
No		29.93%	41
TOTAL			137

Worth County Citizen Survey

Q3 Did you or a family member participate in any of the Public Advisory Task Force (ATF) meetings or workshops?

Answered: 137 Skipped: 1

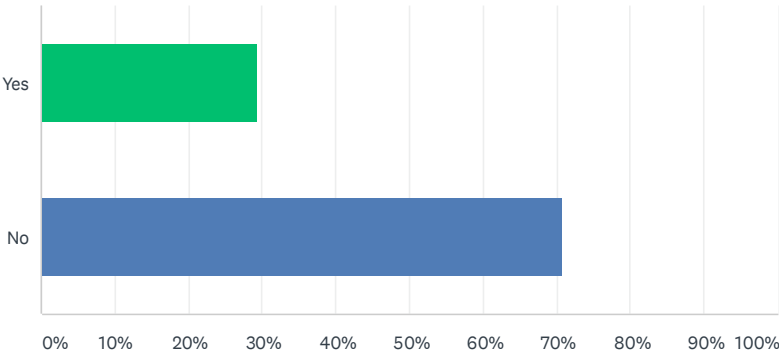


ANSWER CHOICES		RESPONSES	
Yes		36.50%	50
No		63.50%	87
TOTAL			137

Worth County Citizen Survey

Q4 Do you or a family member work for Worth County?

Answered: 137 Skipped: 1

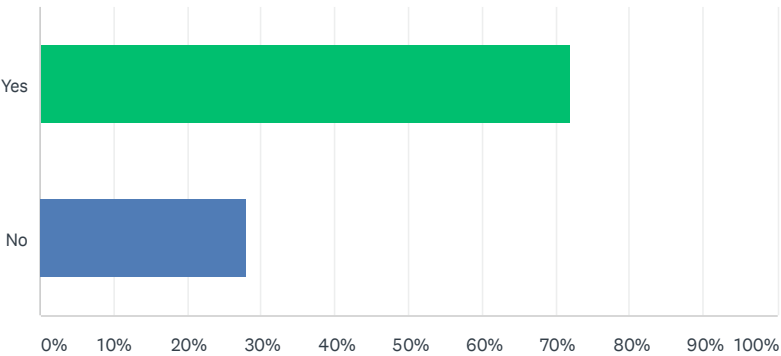


ANSWER CHOICES		RESPONSES	
Yes		29.20%	40
No		70.80%	97
TOTAL			137

Worth County Citizen Survey

Q5 Do you agree with the ATF prioritizations and recommendations that the Sheriff and Jail facility expansion to meet Iowa Code should be the top priority for County building projects?

Answered: 136 Skipped: 2

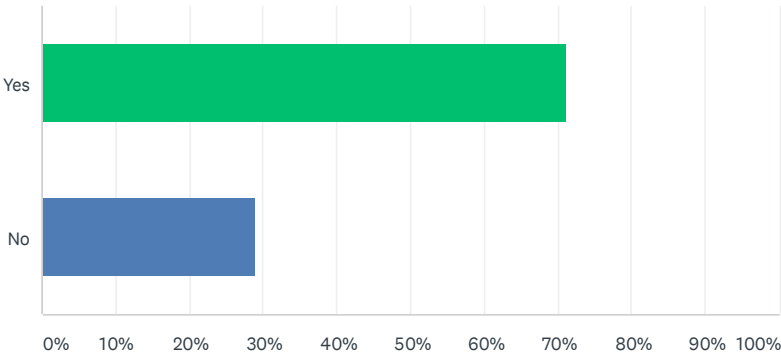


ANSWER CHOICES		RESPONSES	
Yes		72.06%	98
No		27.94%	38
TOTAL			136

Worth County Citizen Survey

Q6 Do you think the County Sheriff & Jail should remain connected to or close to the County Courthouse?

Answered: 135 Skipped: 3

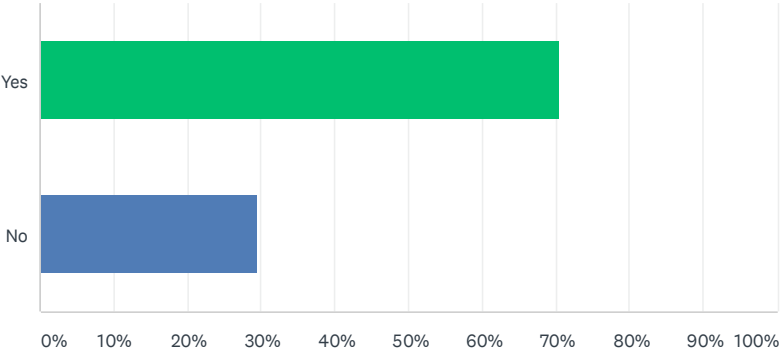


ANSWER CHOICES		RESPONSES	
Yes		71.11%	96
No		28.89%	39
TOTAL			135

Worth County Citizen Survey

Q7 Do you agree with the majority of the ATF participants who support renovating and expanding the existing courthouse building instead of deconstructing it and building a new Courthouse, assuming the construction cost is the same?

Answered: 136 Skipped: 2

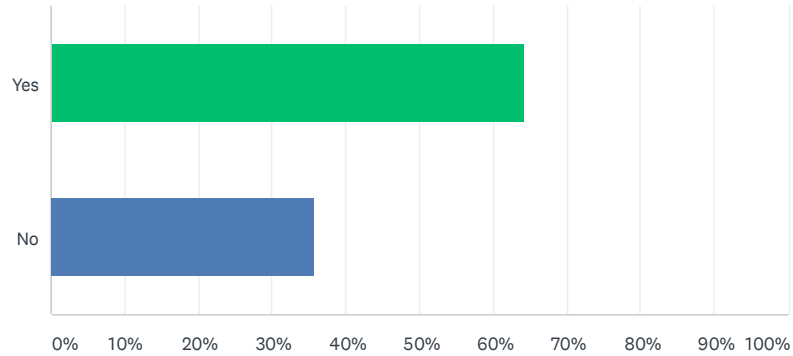


ANSWER CHOICES		RESPONSES	
Yes		70.59%	96
No		29.41%	40
TOTAL			136

Worth County Citizen Survey

Q8 Do you support centralizing the county departments into one building to save operating costs and improve convenience?

Answered: 137 Skipped: 1

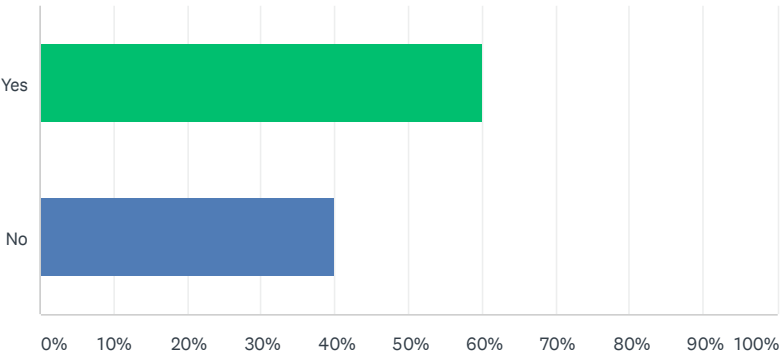


ANSWER CHOICES	RESPONSES	
Yes	64.23%	88
No	35.77%	49
TOTAL		137

Worth County Citizen Survey

Q9 Do you agree with constructing a new County Conservation building on a different site?

Answered: 138 Skipped: 0

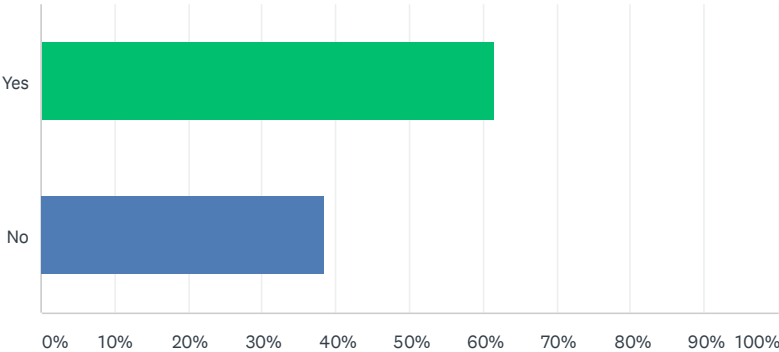


ANSWER CHOICES	RESPONSES	
Yes	60.14%	83
No	39.86%	55
TOTAL		138

Worth County Citizen Survey

Q10 The County Roads Department has facilities in Northwood, Kensett, Manly, Joice, and Fertile. Except for the Kensett Facility, all other structures are over 70 years old and beyond their expected life. Do you support replacing the County Roads facility in Northwood with a new facility in a different location outside of town?

Answered: 138 Skipped: 0

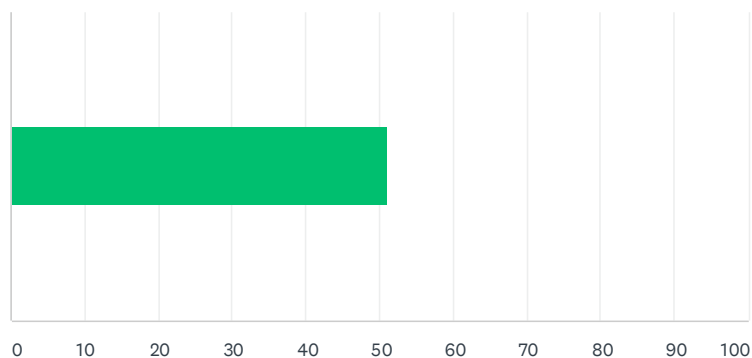


ANSWER CHOICES	RESPONSES	
Yes	61.59%	85
No	38.41%	53
TOTAL		138

Worth County Citizen Survey

Q11 While there is funding that will be available for some of the facility investments required, additional funding may be needed. Would you support a voter referendum that would increase property taxes? If so, at what level might you support annually? Dollars are yearly per \$100,000 of assessed value. (If your answer is no leave the slider at 0.)

Answered: 95 Skipped: 43



ANSWER CHOICES	AVERAGE NUMBER	TOTAL NUMBER	RESPONSES
	51	4,850	95
Total Respondents: 95			

#		DATE
1	8	7/28/2021 10:28 PM
2	198	7/25/2021 6:35 AM
3	16	7/24/2021 5:13 PM
4	25	7/23/2021 3:15 PM
5	15	7/23/2021 12:03 PM
6	100	7/23/2021 10:49 AM
7	53	7/23/2021 10:37 AM
8	25	7/23/2021 10:17 AM
9	200	7/23/2021 10:06 AM
10	0	7/22/2021 3:49 PM
11	1	7/22/2021 12:42 PM
12	75	7/22/2021 11:34 AM
13	0	7/22/2021 9:35 AM
14	50	7/22/2021 7:21 AM
15	100	7/21/2021 12:16 PM
16	28	7/21/2021 10:18 AM

Worth County Citizen Survey

17	20	7/21/2021 10:10 AM
18	160	7/21/2021 9:42 AM
19	101	7/9/2021 10:52 PM
20	0	7/9/2021 9:56 PM
21	0	7/9/2021 6:08 PM
22	25	7/9/2021 4:33 PM
23	0	7/9/2021 4:21 PM
24	50	7/9/2021 3:53 PM
25	0	7/7/2021 10:30 PM
26	100	6/29/2021 1:51 PM
27	132	6/28/2021 2:19 PM
28	105	6/28/2021 9:21 AM
29	175	6/28/2021 9:20 AM
30	50	6/28/2021 9:19 AM
31	50	6/28/2021 9:18 AM
32	70	6/28/2021 9:17 AM
33	20	6/28/2021 9:15 AM
34	30	6/28/2021 9:14 AM
35	100	6/28/2021 9:13 AM
36	100	6/28/2021 9:11 AM
37	100	6/28/2021 9:10 AM
38	30	6/28/2021 9:09 AM
39	50	6/28/2021 9:06 AM
40	100	6/28/2021 9:05 AM
41	100	6/28/2021 9:04 AM
42	100	6/28/2021 9:03 AM
43	200	6/28/2021 9:02 AM
44	70	6/26/2021 7:38 AM
45	99	6/25/2021 6:25 PM
46	0	6/25/2021 12:16 PM
47	3	6/24/2021 8:16 PM
48	30	6/24/2021 3:00 PM
49	0	6/23/2021 5:47 PM
50	14	6/23/2021 1:42 PM
51	1	6/23/2021 12:25 PM
52	0	6/23/2021 9:11 AM
53	1	6/22/2021 10:36 AM
54	15	6/21/2021 5:21 PM

Worth County Citizen Survey

55	0	6/20/2021 10:41 AM
56	0	6/20/2021 10:40 AM
57	3	6/20/2021 10:09 AM
58	52	6/19/2021 8:46 AM
59	4	6/18/2021 11:28 PM
60	104	6/18/2021 9:03 PM
61	54	6/18/2021 6:56 PM
62	0	6/18/2021 5:34 PM
63	25	6/18/2021 3:54 PM
64	1	6/18/2021 2:49 PM
65	0	6/18/2021 12:56 PM
66	0	6/18/2021 8:19 AM
67	100	6/18/2021 7:00 AM
68	25	6/17/2021 10:35 PM
69	0	6/17/2021 9:43 PM
70	0	6/17/2021 9:28 PM
71	50	6/17/2021 11:44 AM
72	30	6/17/2021 11:29 AM
73	200	6/17/2021 9:45 AM
74	200	6/17/2021 8:28 AM
75	100	6/16/2021 11:35 PM
76	0	6/16/2021 6:06 PM
77	11	6/16/2021 12:28 PM
78	0	6/16/2021 12:09 PM
79	50	6/16/2021 11:51 AM
80	67	6/16/2021 9:05 AM
81	100	6/16/2021 7:24 AM
82	106	6/16/2021 6:07 AM
83	5	6/15/2021 10:01 PM
84	50	6/15/2021 9:42 PM
85	100	6/15/2021 8:13 PM
86	0	6/15/2021 4:14 PM
87	30	6/15/2021 4:12 PM
88	40	6/15/2021 4:09 PM
89	8	6/15/2021 3:37 PM
90	0	6/15/2021 3:08 PM
91	50	6/15/2021 2:47 PM
92	25	6/15/2021 2:32 PM

Worth County Citizen Survey

93	50	6/15/2021 2:29 PM
94	100	6/15/2021 2:29 PM
95	15	6/15/2021 1:54 PM